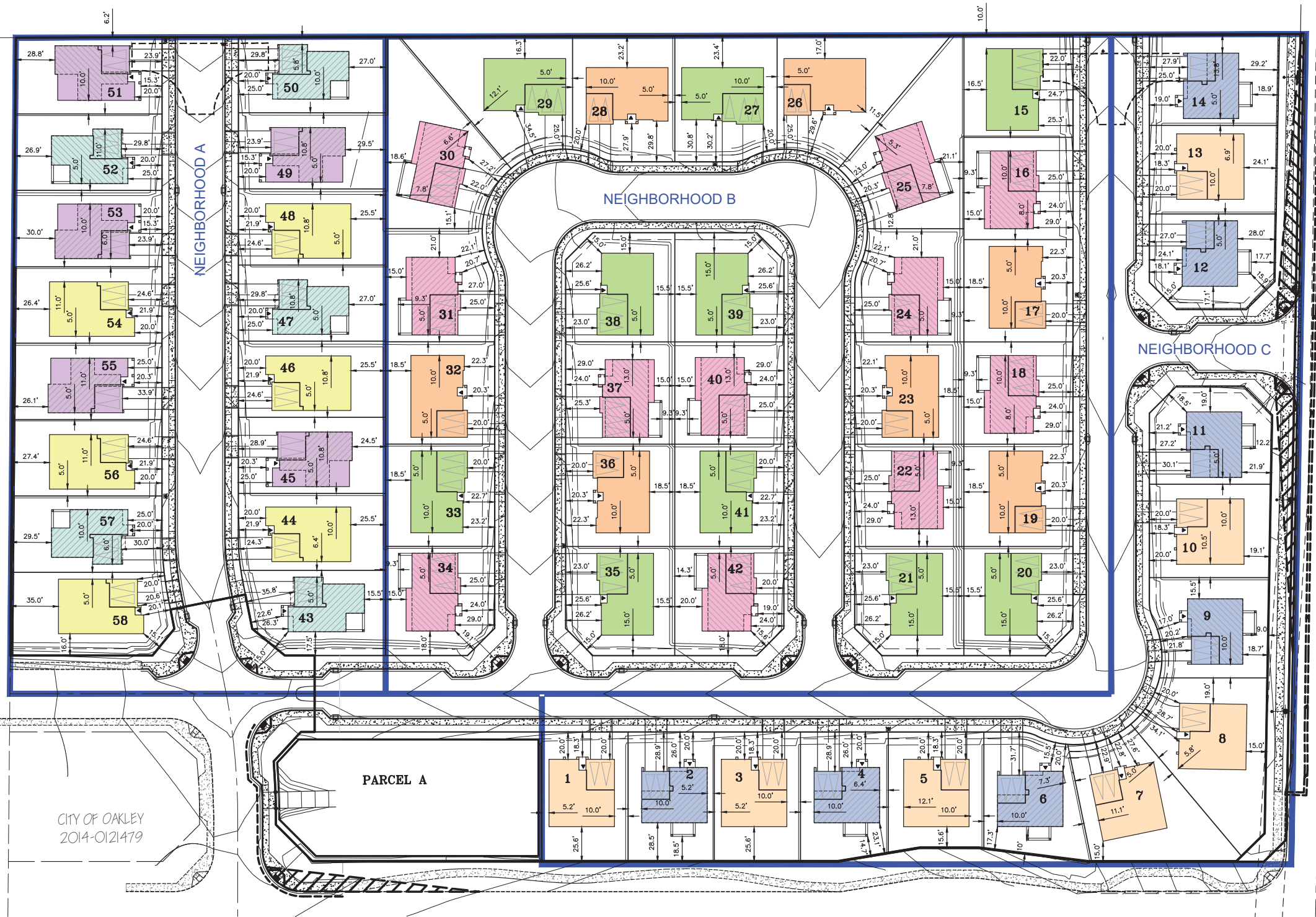




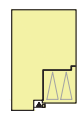
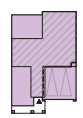
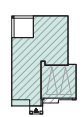
ROSEWOOD ESTATES

OAKLEY, CA






DISTRIBUTION TABLE

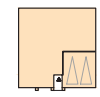

NEIGHBORHOOD A

	PLAN 1	6 LOTS	10.2%
	PLAN 2	5 LOTS	8.6%
	PLAN 3	5 LOTS	8.6%

NEIGHBORHOOD B

	PLAN 4	10 LOTS	17.3%
	PLAN 5	7 LOTS	12.1%
	PLAN 6	11 LOTS	19.0%

NEIGHBORHOOD C

	PLAN 7	7 LOTS	12.1%
	PLAN 8	7 LOTS	12.1%

TOTAL		58 LOTS	100.0%
-------	--	---------	--------

MASTER PLOTTING PLAN
FORECAST LAND INVESTMENTS, LLC

ROSEWOOD ESTATES
OAKLEY, CA



JUNE 10, 2024 SCALE: 1"=40'

CITY OF OAKLEY

R-6 ZONING DISTRICT
 DEVELOPMENT REGULATION

BUILDING SETBACKS:

- FRONT 20 FEET
- PORCH 15 FEET
- CORNER 15 FEET
- SIDEYARD 5 FEET
- MIN AGGREGATE 15 FEET
- REAR YARD 15 FEET

15 FT BETWEEN ADJACENT LOT'S
 TWO-STORY ELEMENTS

CITY OF OAKLEY
 2014-0121479

C:\DRAWING\PROJECTS\2024\1479\1479_001.dwg



**Elevation A
Scheme - #2**

MATERIAL LEGEND

- | | |
|---|--|
| <p>A CONCRETE VILLA ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIM. STONE VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> | <p>B FLAT CONCRETE TILE ROOFING
GABLE ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM GABLE ACCENT
MOCK SHUTTERS
SIM. BRICK VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> |
|---|--|



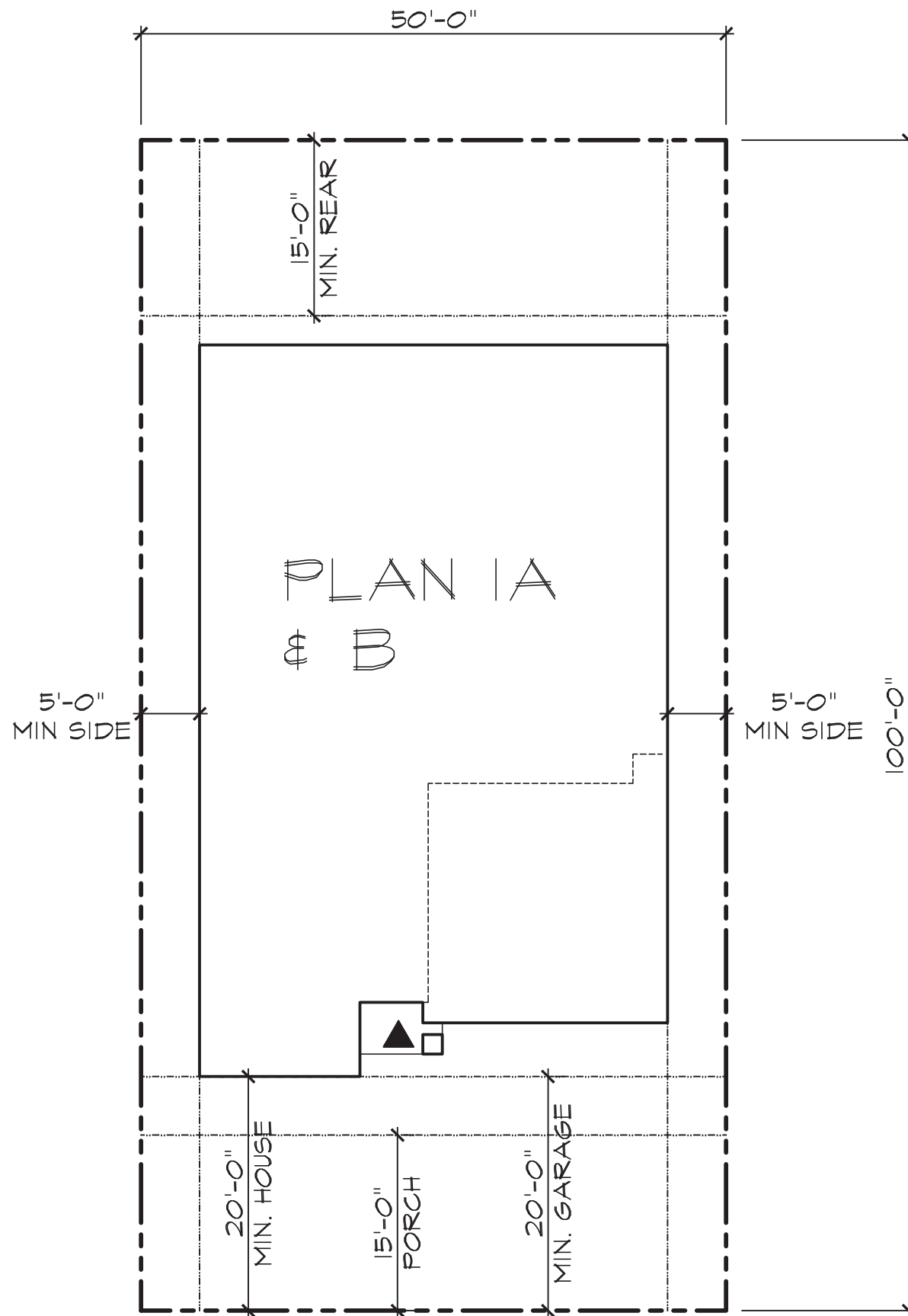
**Elevation B
Scheme - #6**

**Front Elevations
Plan 1
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

<u>SMALLEST LOT SIZE</u>	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
6,000 SQ. FT.	2,398 SQ. FT.	39.97%

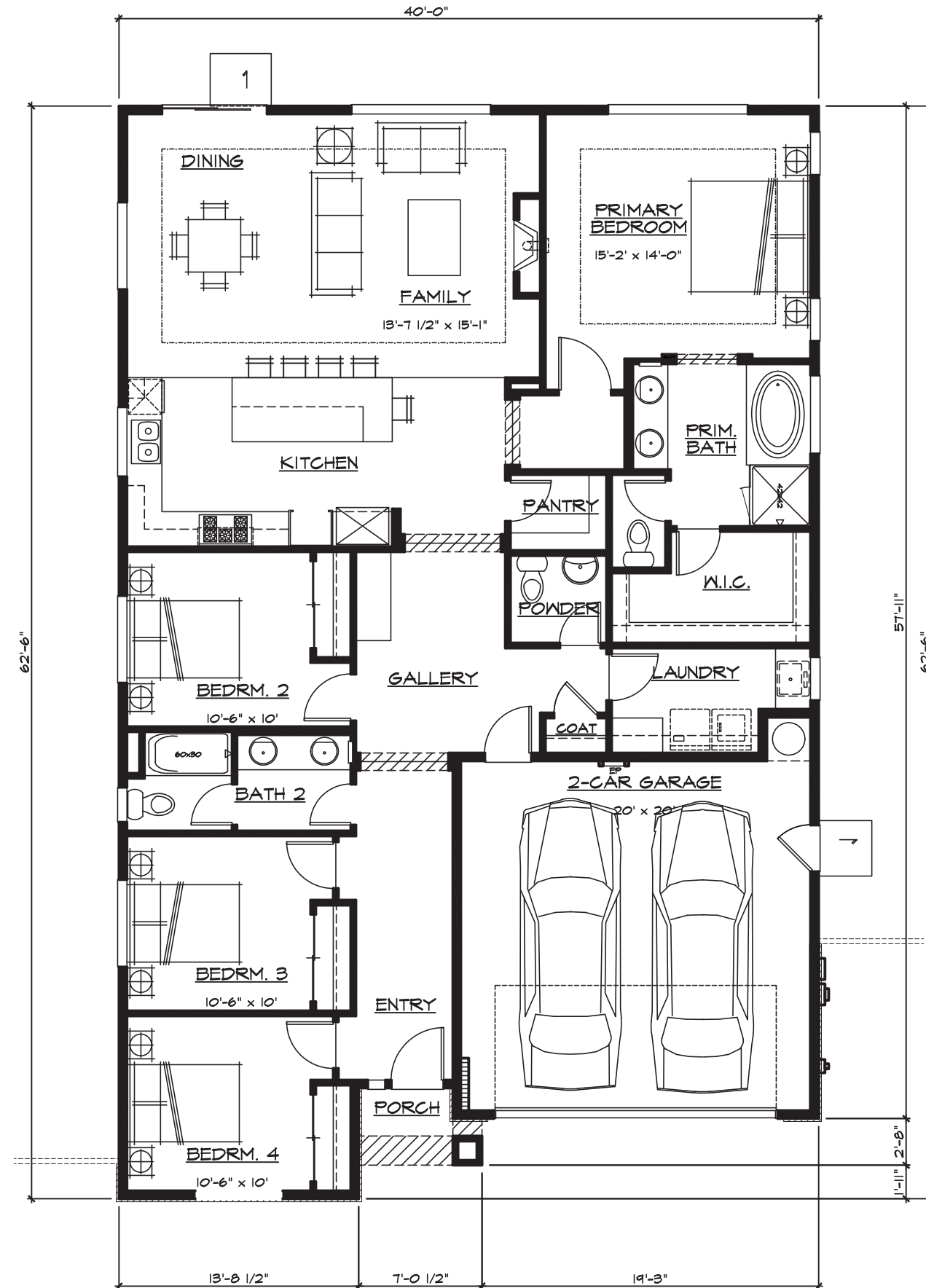


**Site Plan - Neighborhood A
Plan 1
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



SQUARE FOOTAGE	
TOTAL LIVING AREA	1943 SF
PORCH	28 SF
GARAGE	427 SF
FOOTPRINT	2398 SF



Floor Plan
Plan 1
ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
 Date 06/14/24



Front



Right

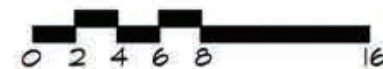


Rear



Left

Plan 1
Elevations 'A'



NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

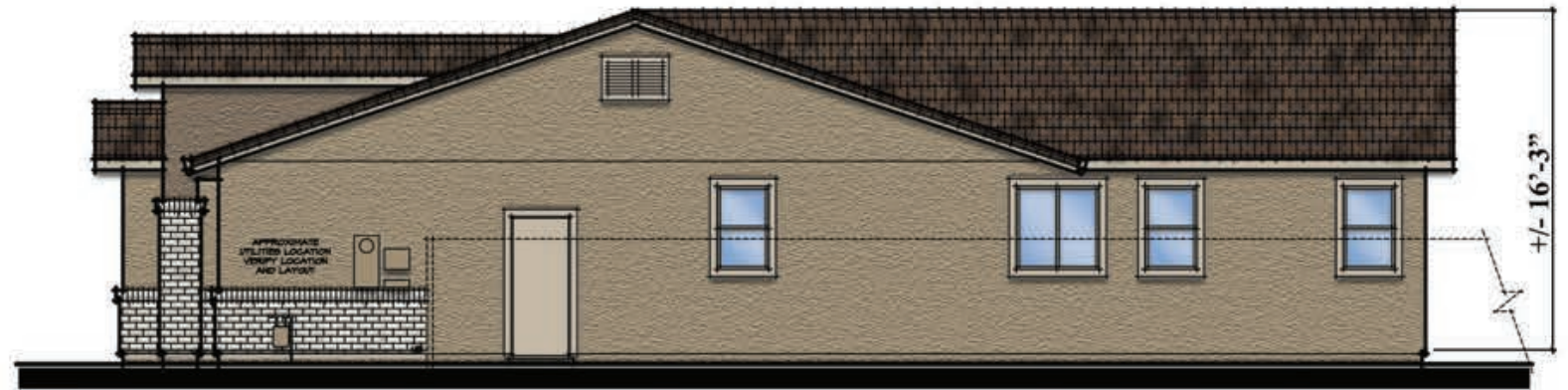
OAKLEY, CA



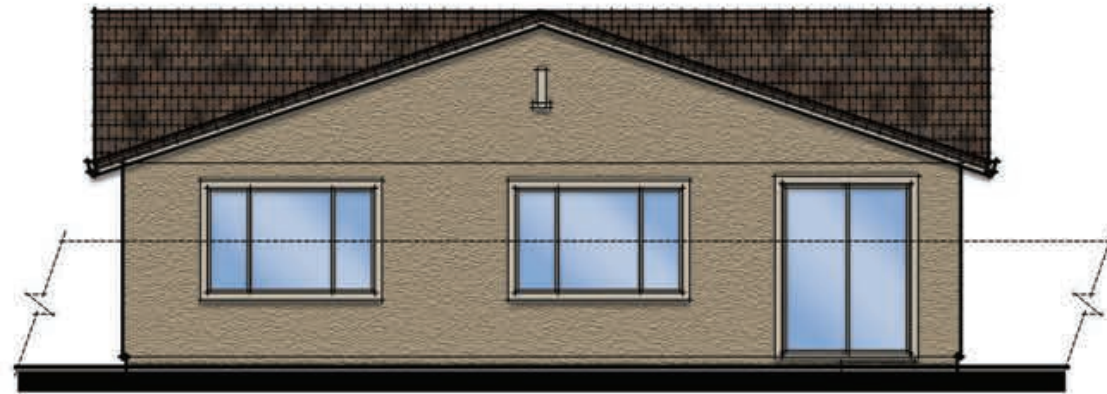
Discovery Builders Inc.
Date 06/14/24



Front



Right

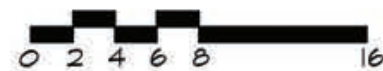


Rear



Left

Plan 1
Elevations 'B'



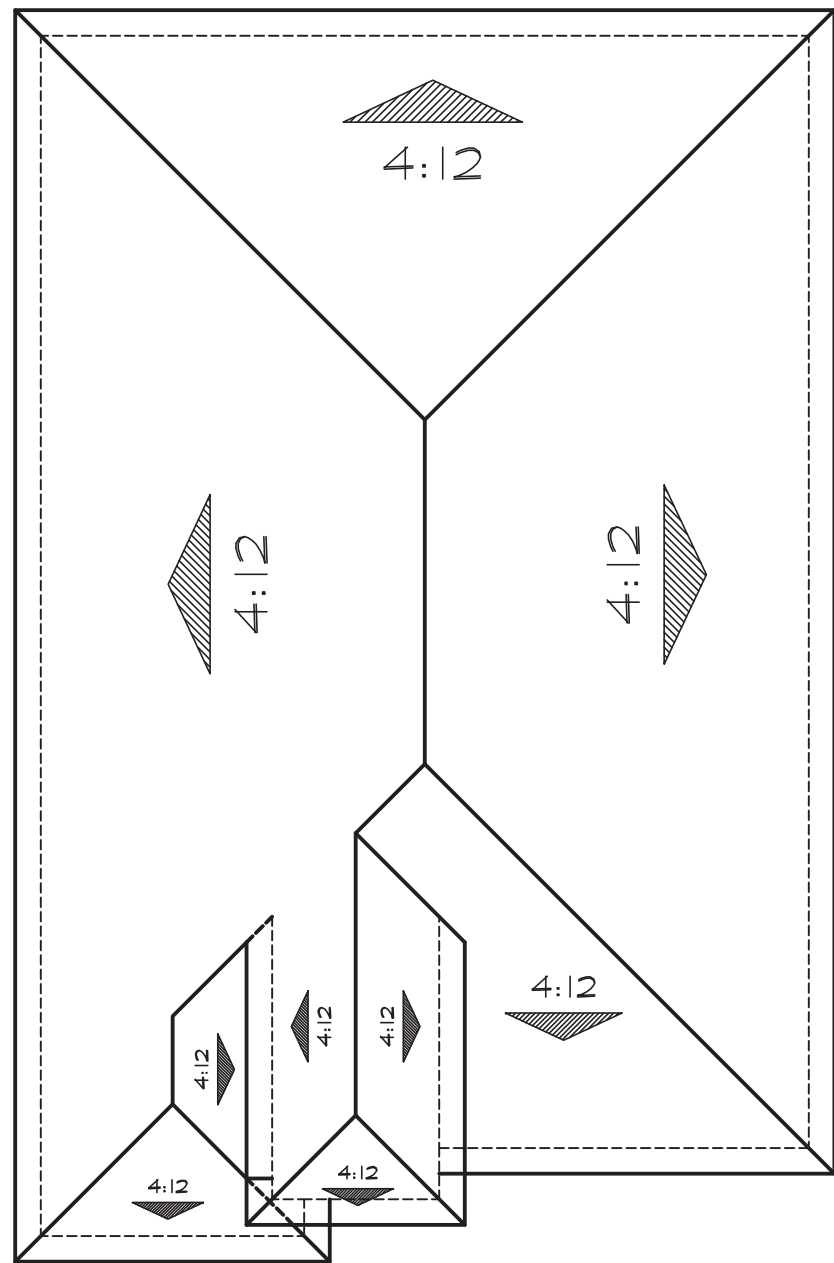
NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

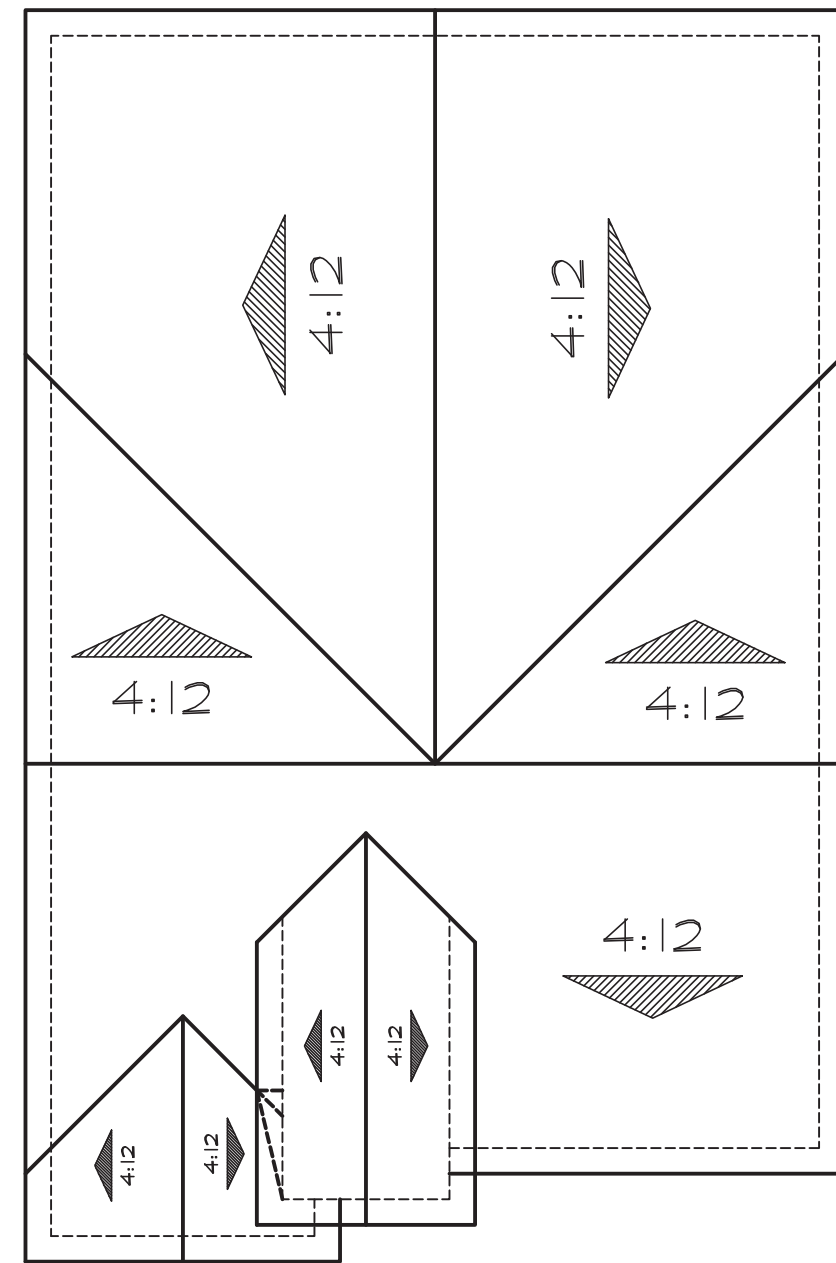
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

**Plan 1
Roof Plans**



ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



**Elevation A
Scheme - #3**



**Elevation B
Scheme - #7**

MATERIAL LEGEND

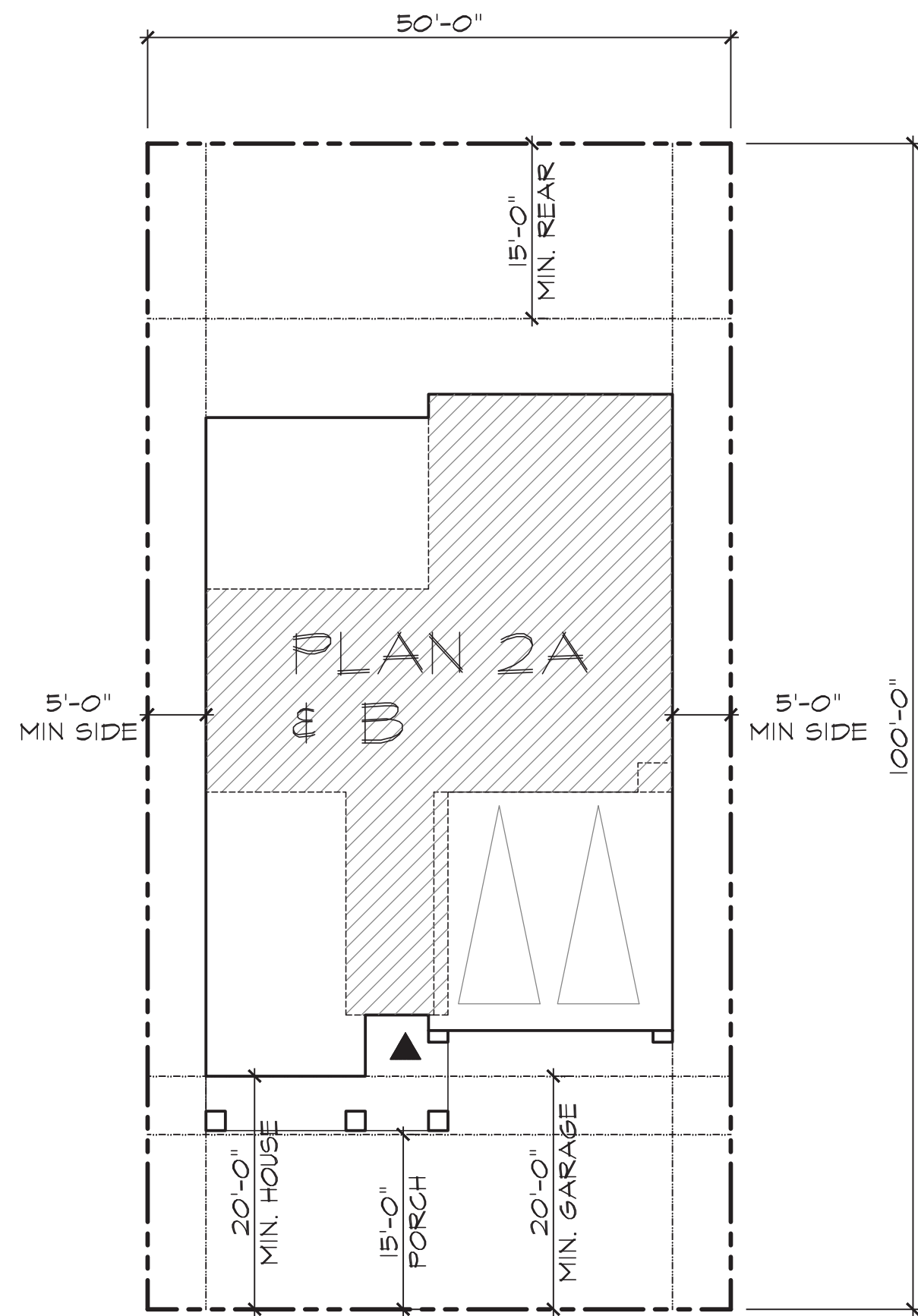
- | | |
|---|--|
| <p>A CONCRETE VILLA ROOFING
GABLE & HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIM. STONE VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> | <p>B FLAT CONCRETE TILE ROOFING
GABLE ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM GABLE ACCENT
MOCK SHUTTERS
SIM. BRICK VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> |
|---|--|

**Front Elevations
Plan 2
ROSEWOOD ESTATES**
OAKLEY, CA



**DISCOVERY
DESIGN
GROUP**

Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

<u>SMALLEST LOT SIZE</u>	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
6,000 SQ. FT.	2,324 SQ. FT.	38.73%

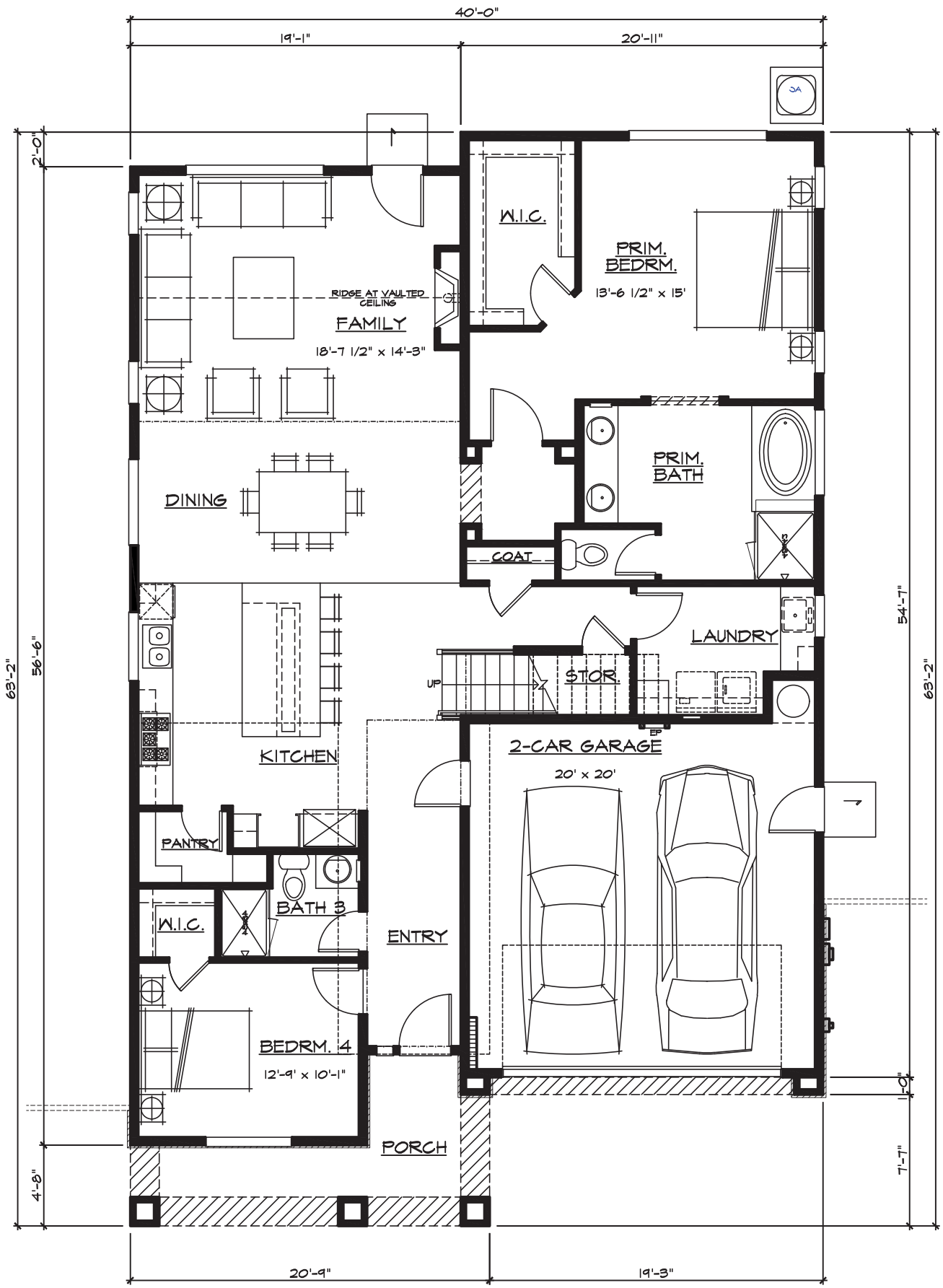


**Site Plan - Neighborhood A
Plan 2
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



SQUARE FOOTAGE	
FIRST FLOOR	1765 SF
SECOND FLOOR	1001 SF
TOTAL LIVING AREA	2766 SF
PORCH	132 SF
GARAGE	427 SF
FOOTPRINT	2324 SF

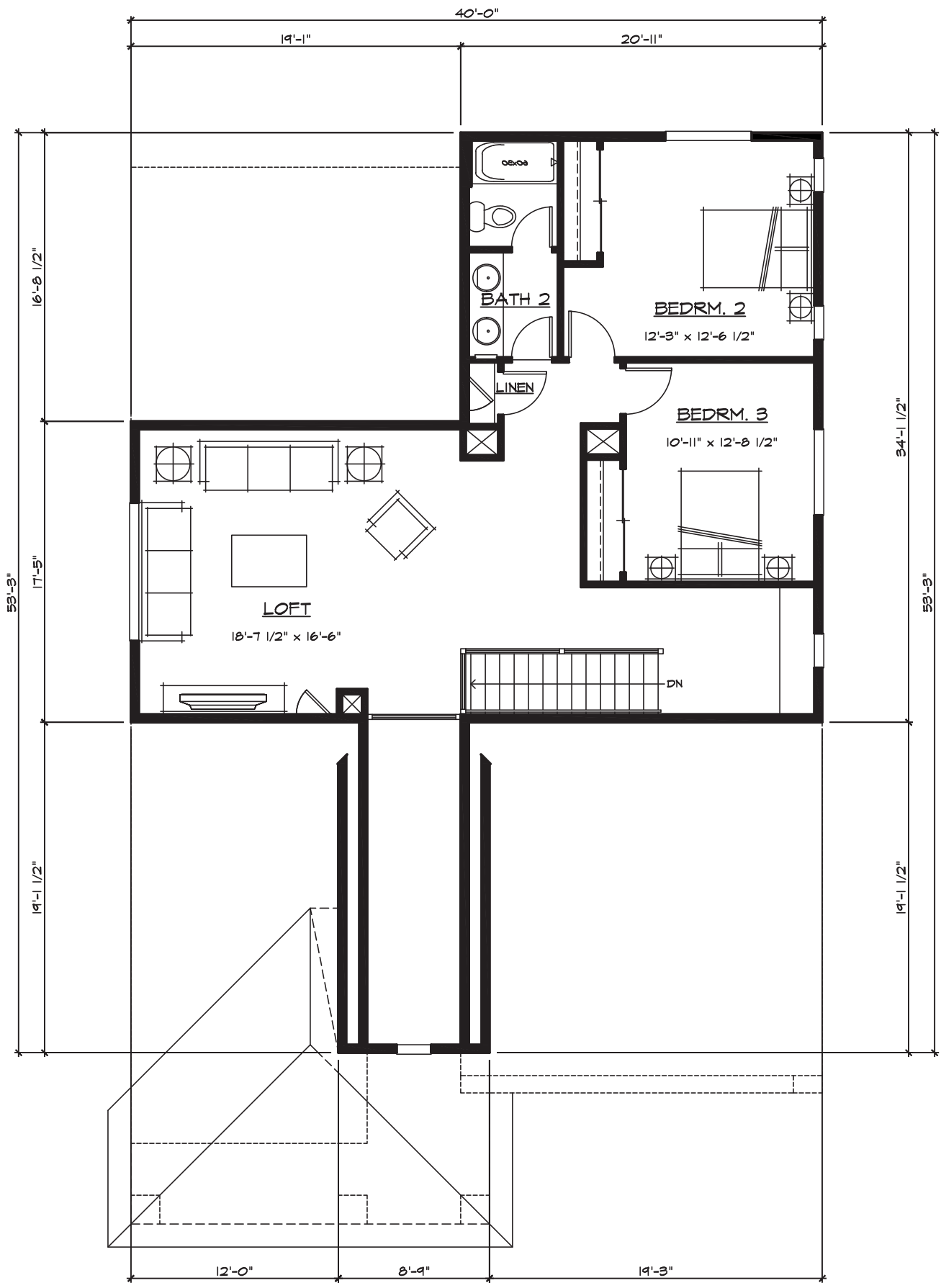


**First Floor
Plan 2
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



**Second Floor
Plan 2
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

 DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 2
Elevations 'A'

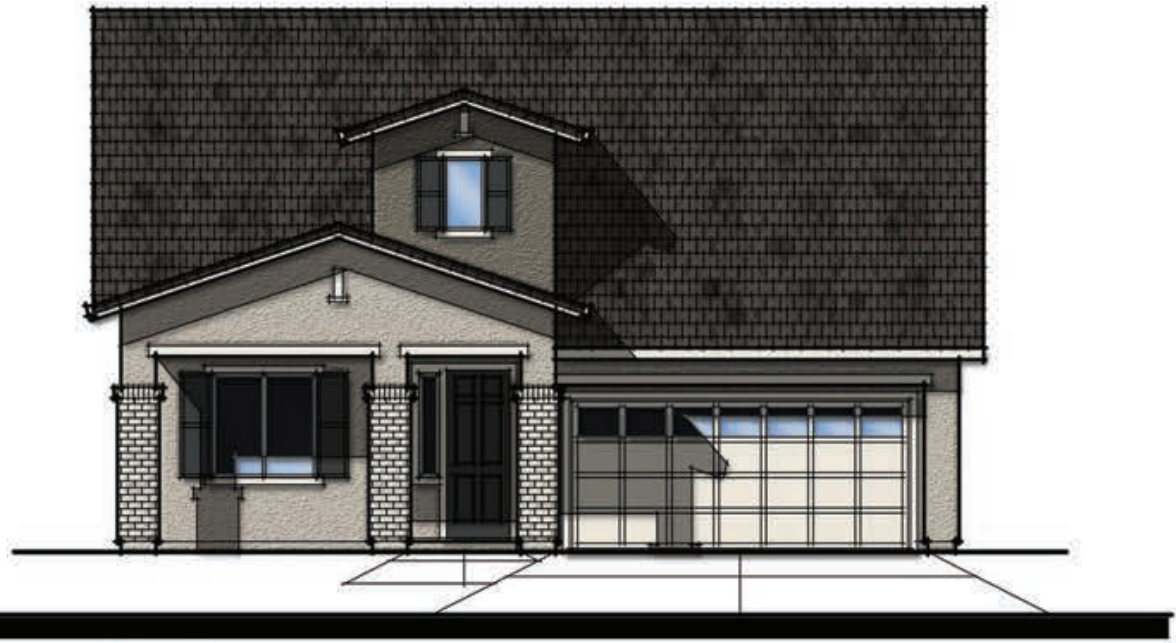


ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

 DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 2
Elevations 'B'

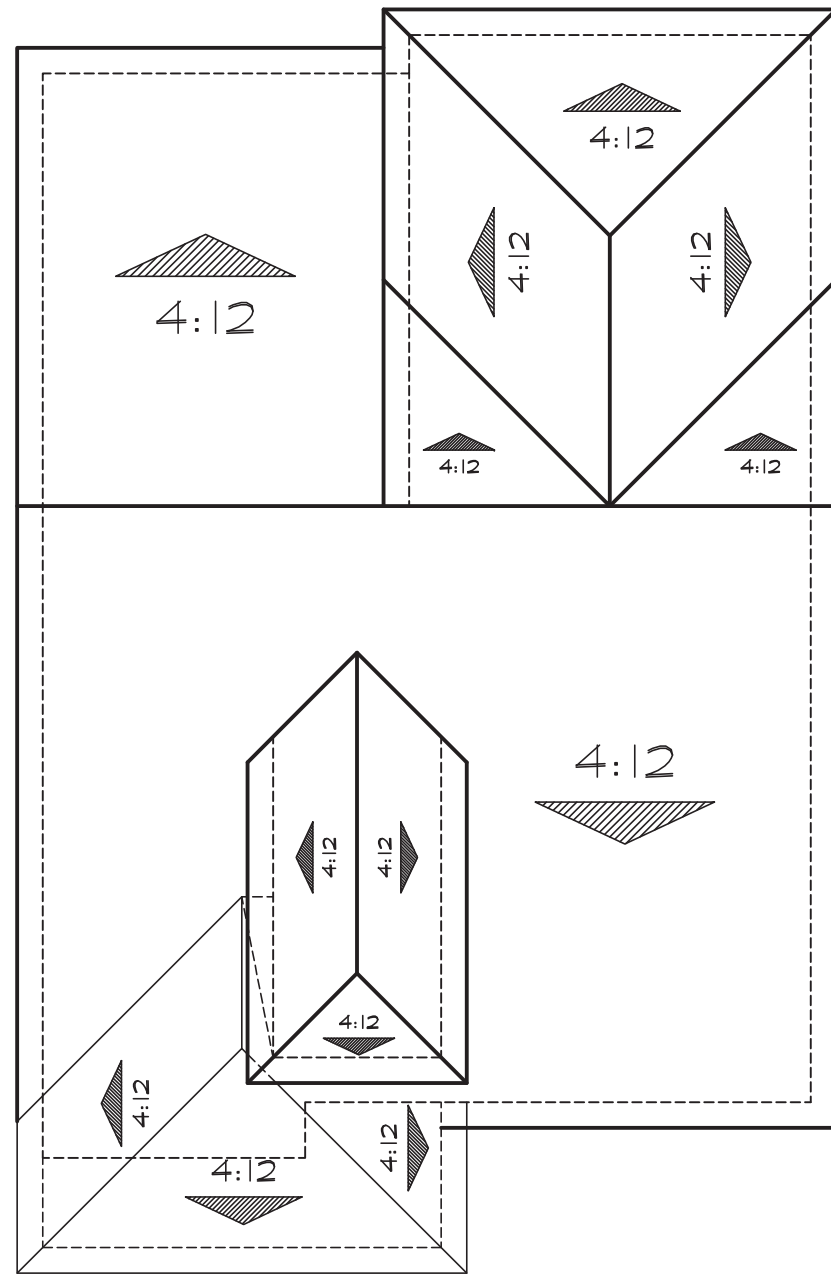


ROSEWOOD ESTATES

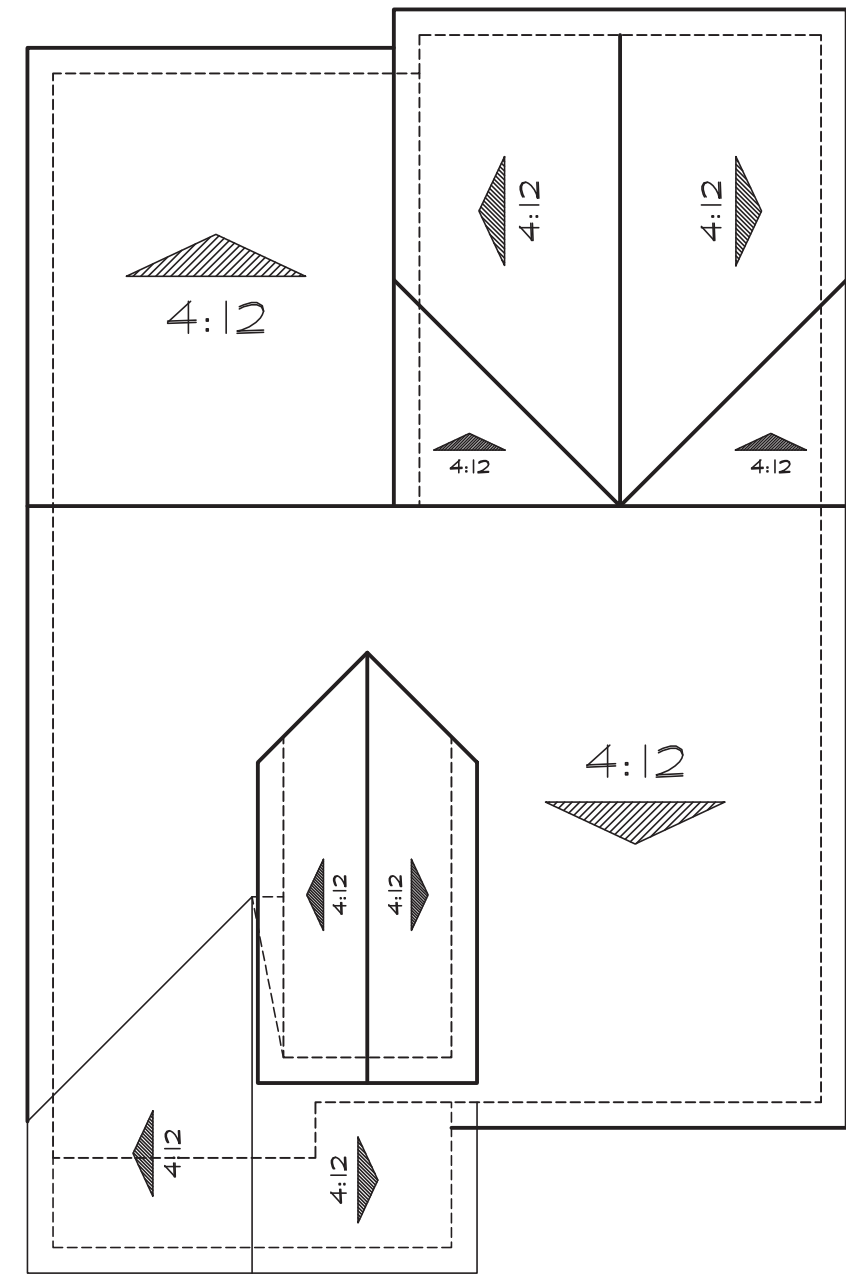
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

**Plan 2
Roof Plans**



ROSEWOOD ESTATES
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



**Elevation A
Scheme - #1**



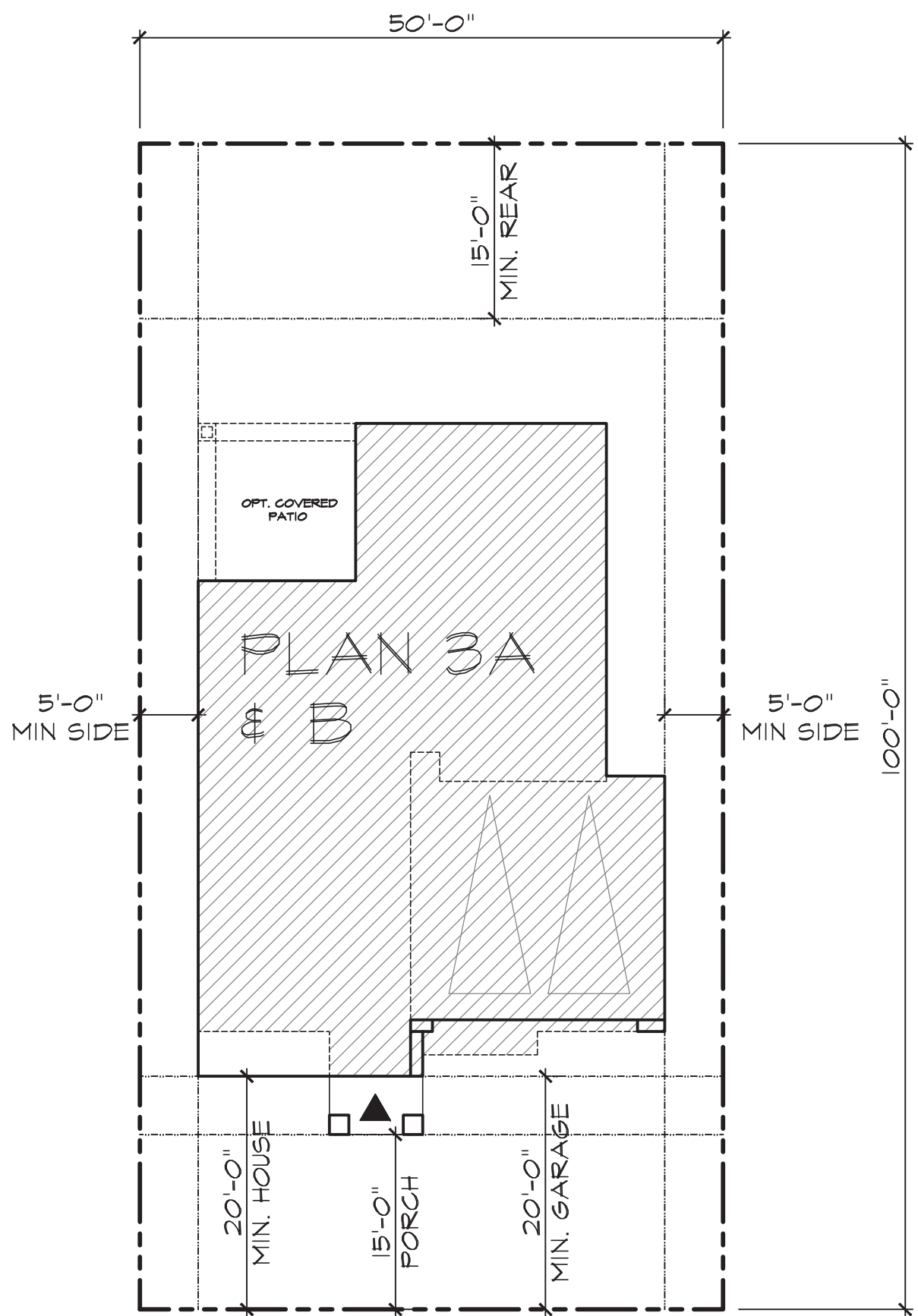
**Elevation B
Scheme - #8**

MATERIAL LEGEND

- | | |
|---|--|
| <p>A CONCRETE VILLA ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIM. STONE VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> | <p>B FLAT CONCRETE TILE ROOFING
GABLE ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM GABLE ACCENT
MOCK SHUTTERS
SIM. BRICK VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> |
|---|--|

**Front Elevations
Plan 3
ROSEWOOD ESTATES**
OAKLEY, CA

 **DISCOVERY
DESIGN
GROUP**
Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
<u>SMALLEST LOT SIZE</u>	1,841 SQ. FT.	30.68%
6,000 SQ. FT.	<u>PLAN FOOTPRINT W/ OPT. PATIO</u>	<u>APPROX. COVERAGE</u>
	2,023 SQ. FT.	33.72%

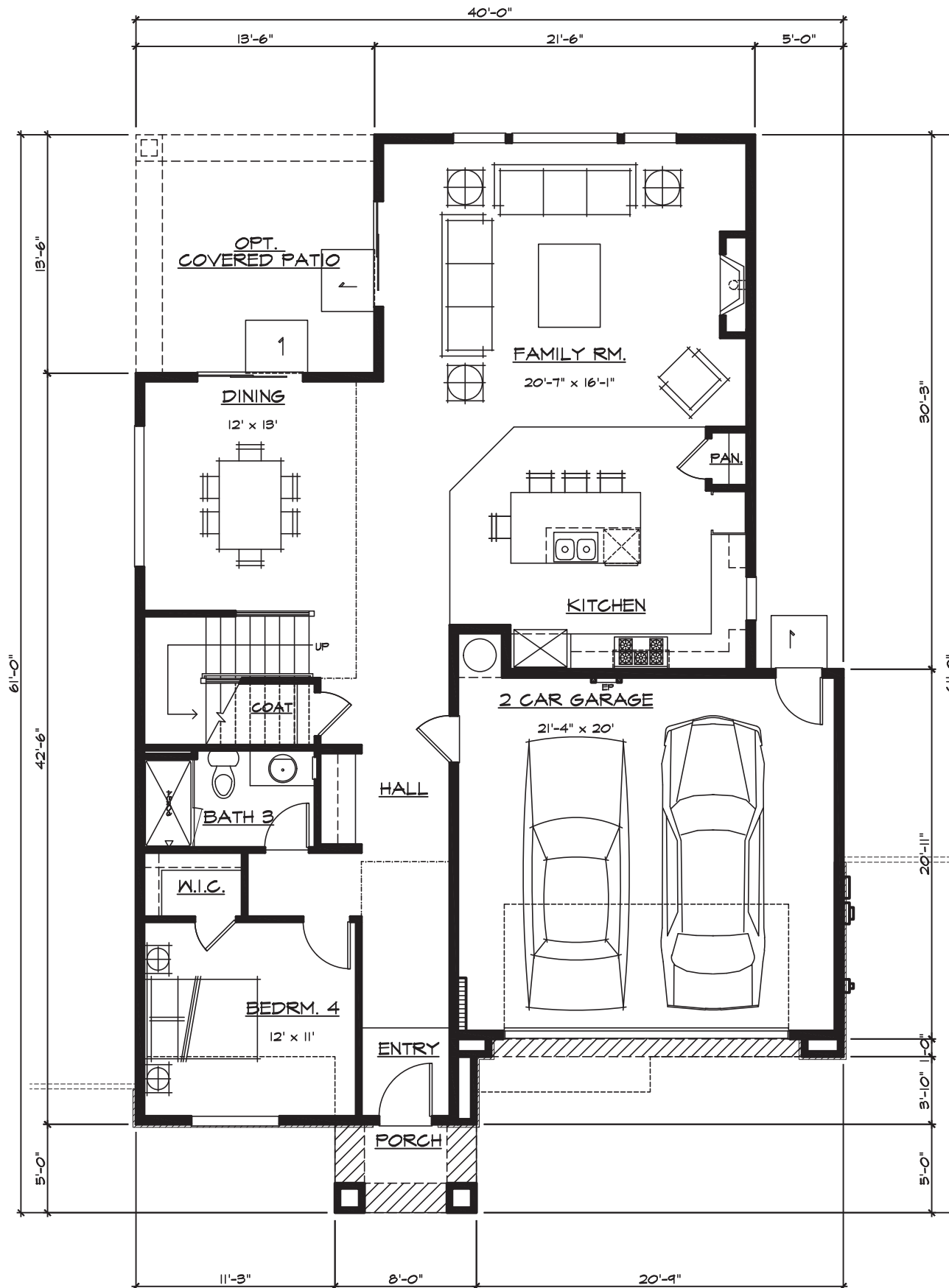


**Site Plan - Neighborhood A
Plan 3
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



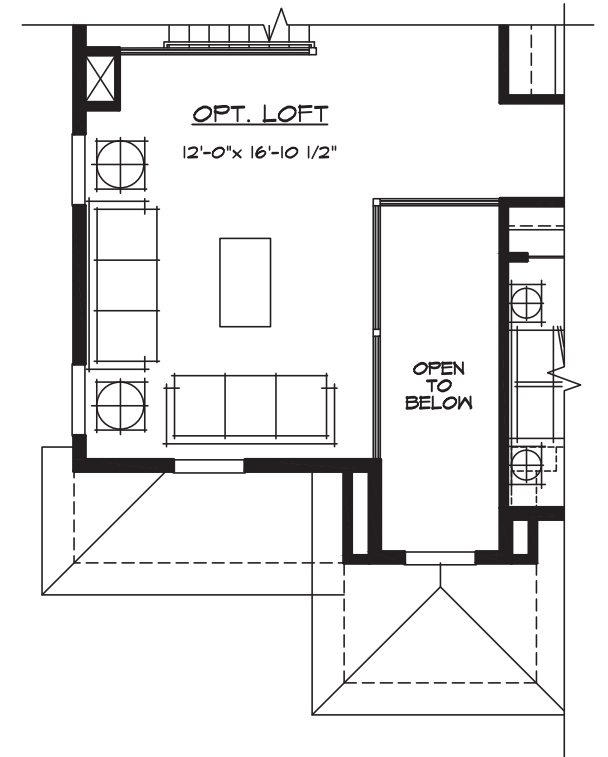
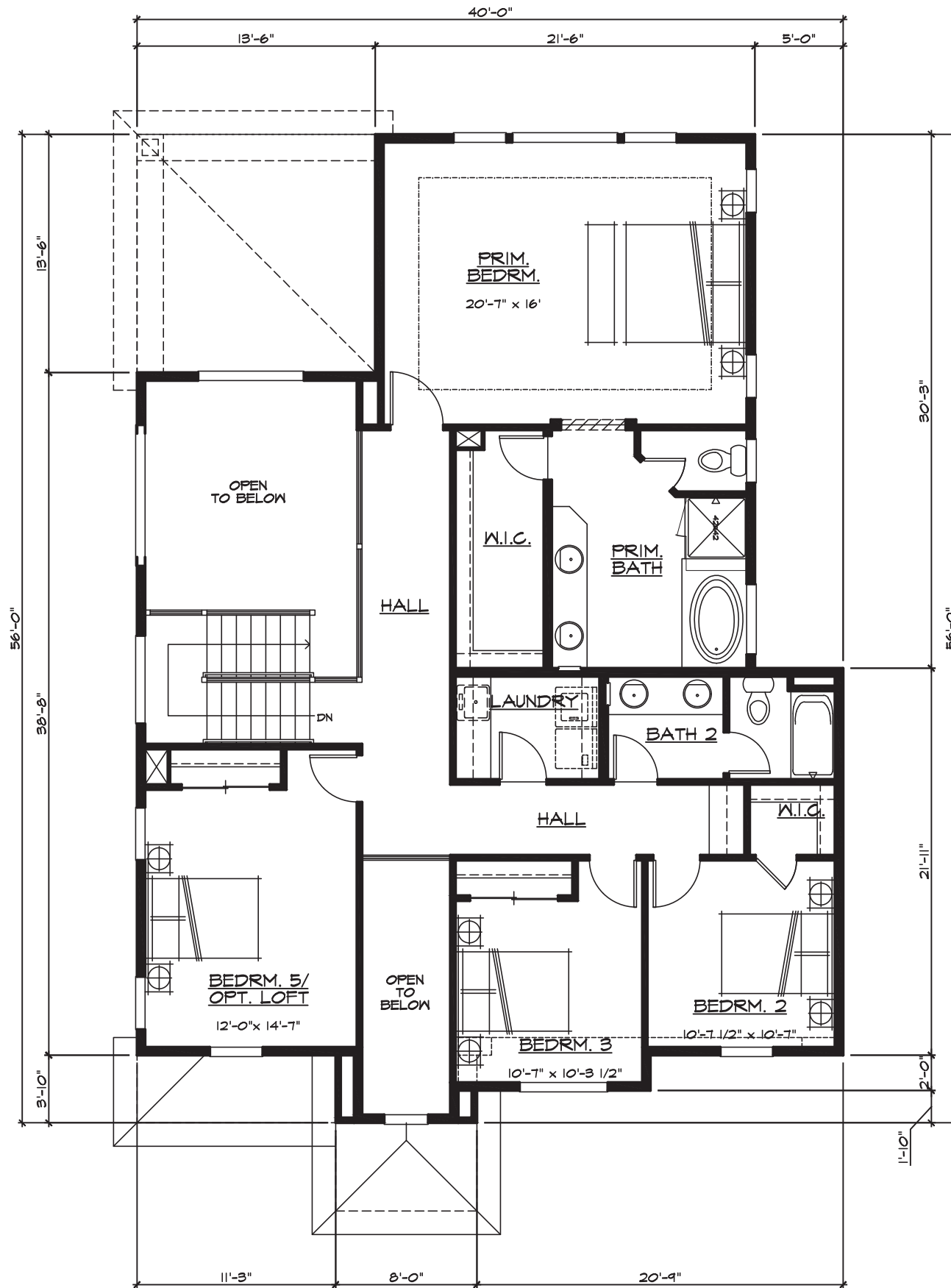
SQUARE FOOTAGE	
FIRST FLOOR	1347 SF
SECOND FLOOR	1561 SF
TOTAL LIVING AREA	2908 SF
PORCH	40 SF
GARAGE	454 SF
FOOTPRINT	1841 SF
OPT. COVERED PATIO	182 SF
FOOTPRINT	2023 SF



First Floor
Plan 3
ROSEWOOD ESTATES
 OAKLEY, CA



Discovery Builders Inc.
 Date 06/14/24



Optional Loft



**Second Floor
Plan 3
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

① OPTIONAL COVERED PATIO

☐ DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 3
Elevations 'A'



ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



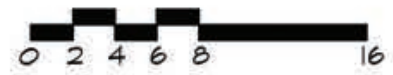
Left

① OPTIONAL COVERED PATIO

☐ DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 3
Elevations 'B'

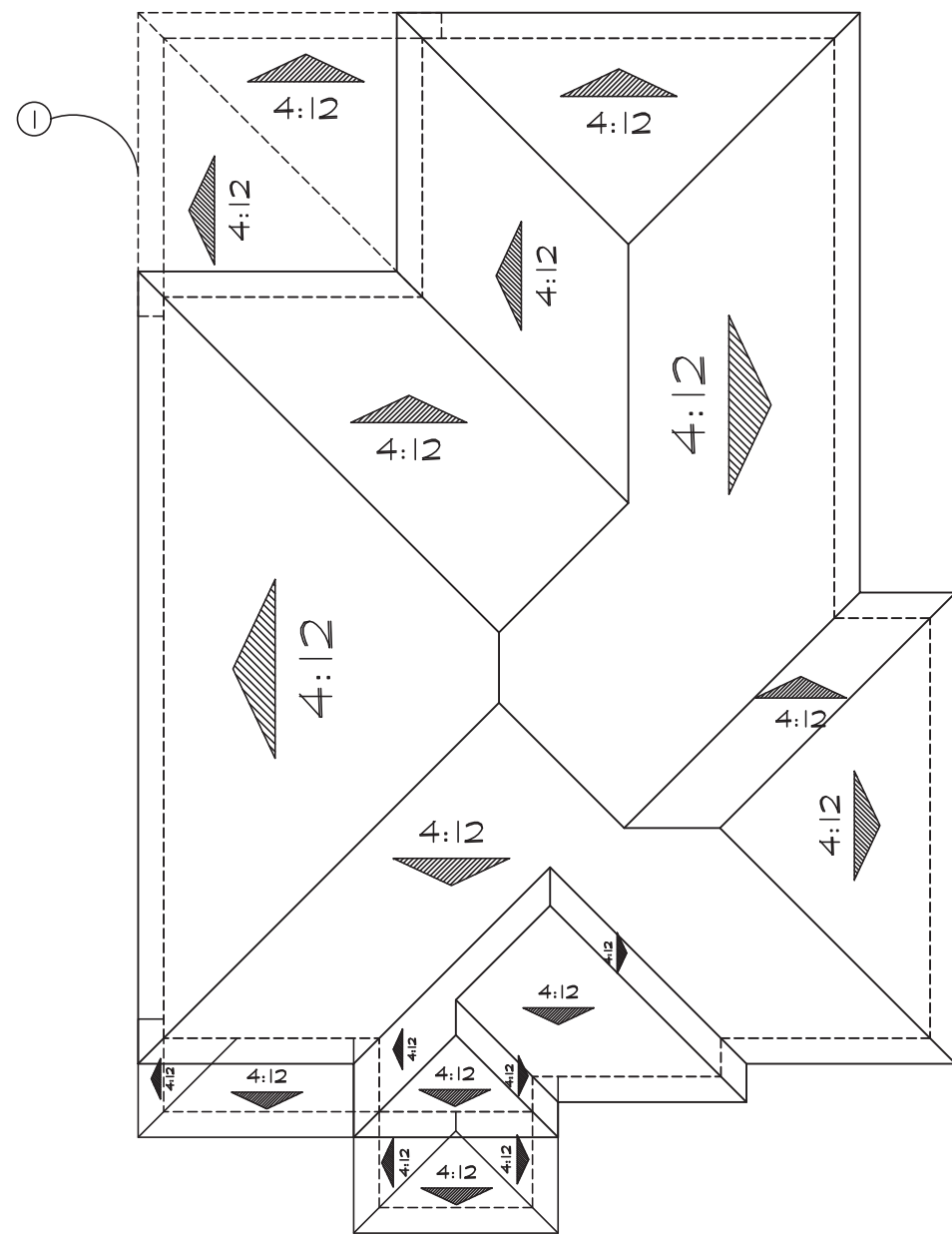


ROSEWOOD ESTATES

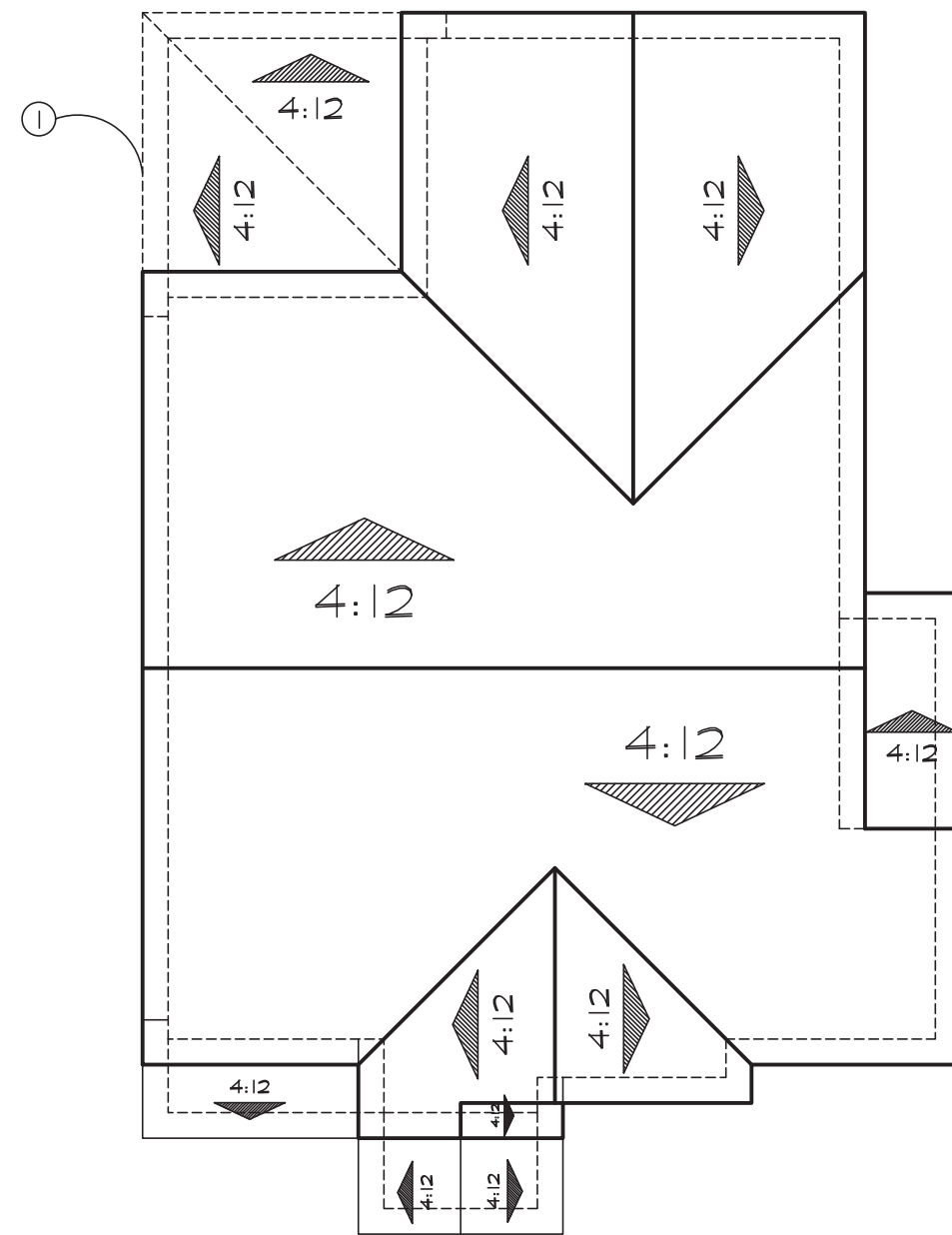
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

① OPTIONAL COVERED PATIO

**Plan 3
Roof Plans**



ROSEWOOD ESTATES
OAKLEY, CA

**DISCOVERY
DESIGN
GROUP**

Discovery Builders Inc.
Date 06/14/24

MATERIAL LEGEND

- A** CONCRETE VILLA ROOFING
- HIP ROOFS
- STUCCO BODY
- STUCCO TRIM
- MOCK SHUTTERS
- SIM. STONE VENEER
- ROLL-UP GARAGE DOORS
W/ WINDOW LITES

- B** FLAT CONCRETE TILE ROOFING
- GABLE ROOFS
- STUCCO BODY
- STUCCO TRIM
- STUCCO/FOAM GABLE ACCENT
- MOCK SHUTTERS
- SIM. BRICK VENEER
- ROLL-UP GARAGE DOORS
W/ WINDOW LITES



**Elevation A
Scheme - #4**



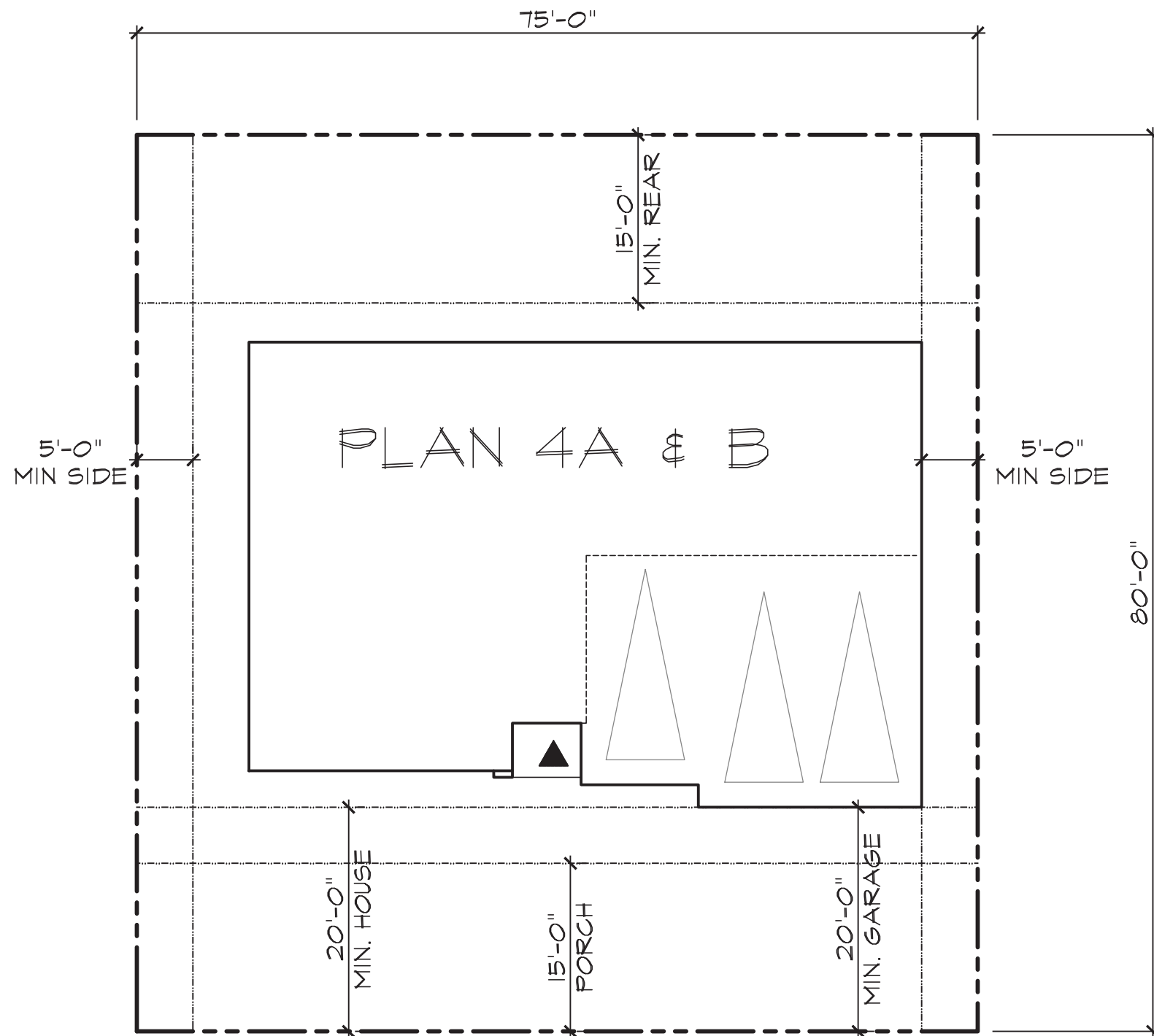
**Elevation B
Scheme - #5**

**Front Elevations
Plan 4
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE
40% Max

<u>SMALLEST LOT SIZE</u>	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
6,000 SQ. FT.	2,377 SQ. FT.	39.62%

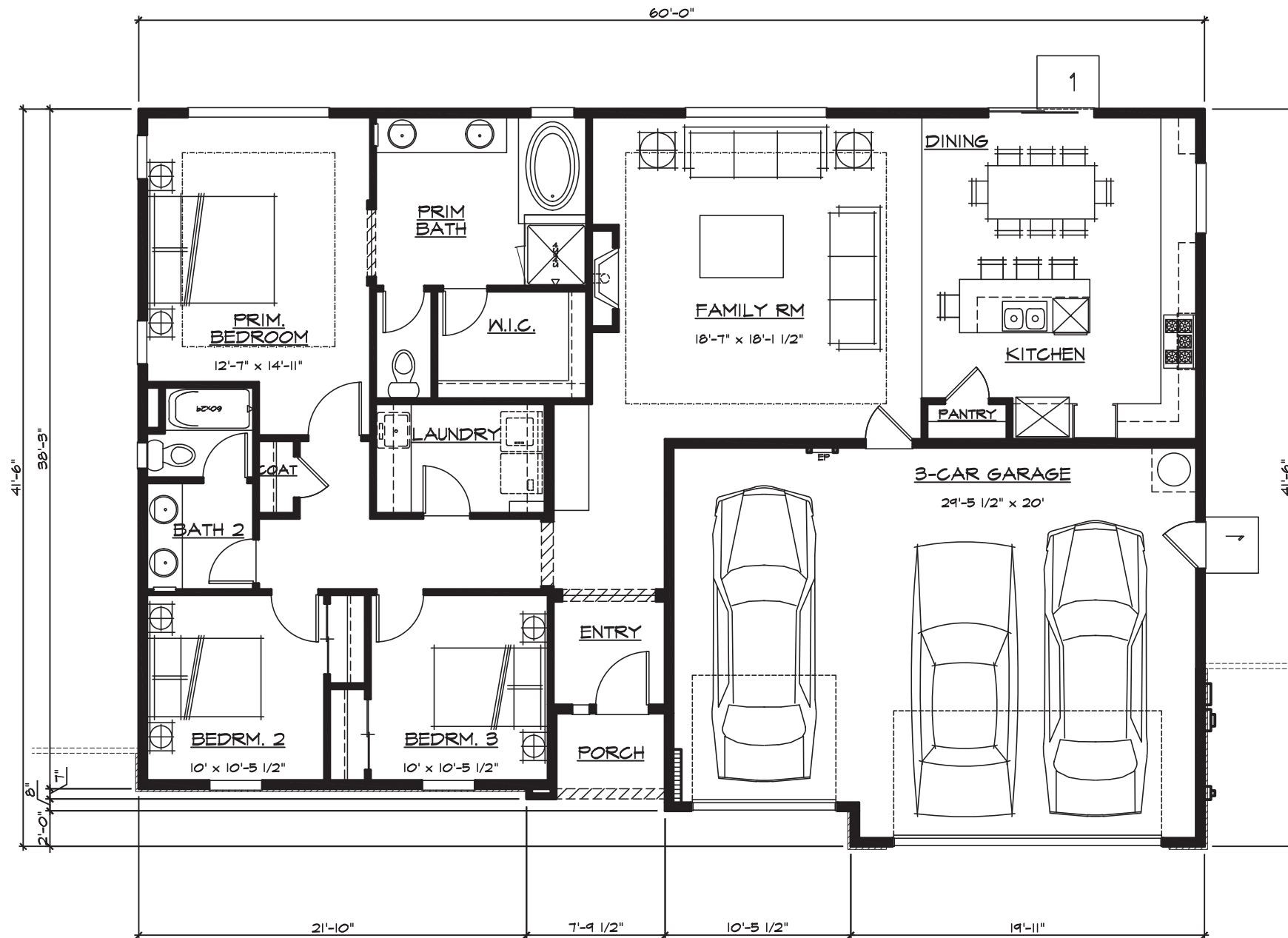


Site Plan - Neighborhood B
Plan 4
ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



SQUARE FOOTAGE	
TOTAL LIVING AREA	1692 SF
PORCH	31 SF
GARAGE	654 SF
FOOTPRINT	2377 SF



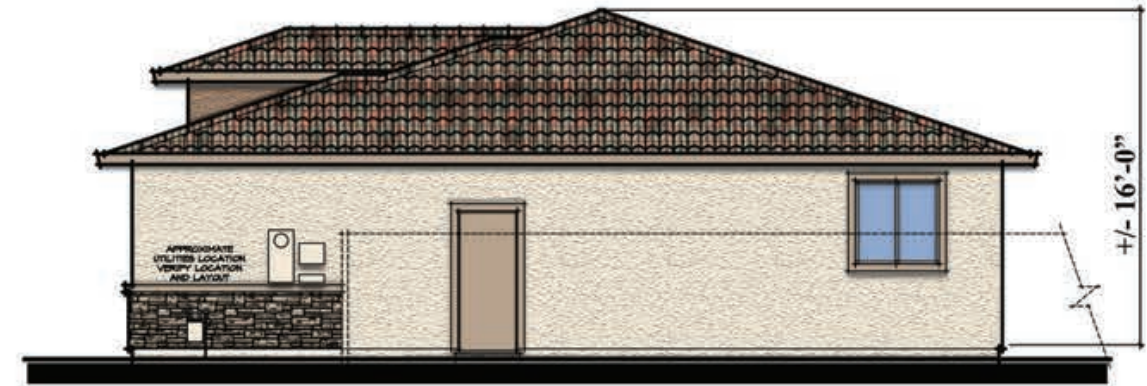
Floor Plan
Plan 4
ROSEWOOD ESTATES
 OAKLEY, CA



Discovery Builders Inc.
 Date 06/14/24



Front



Right



Rear



Left

Plan 4
Elevations 'A'



NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

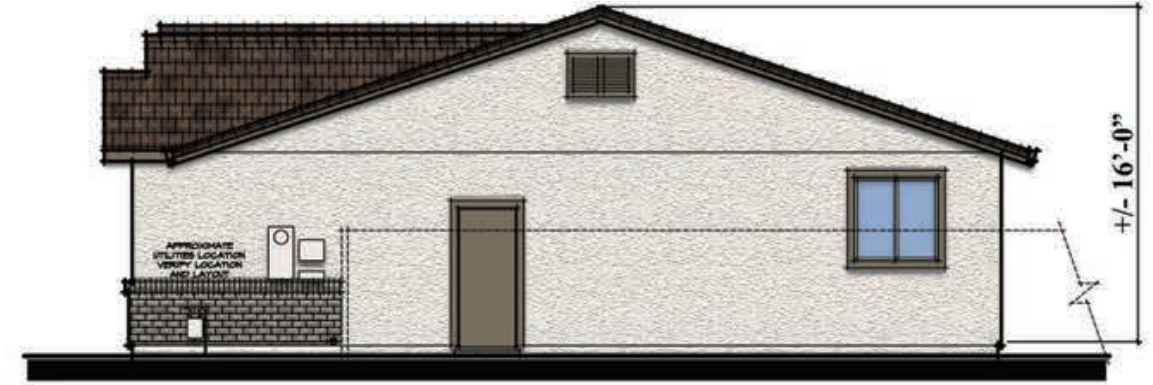
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right

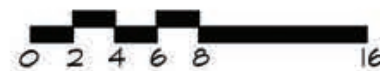


Rear



Left

Plan 4
Elevations 'B'



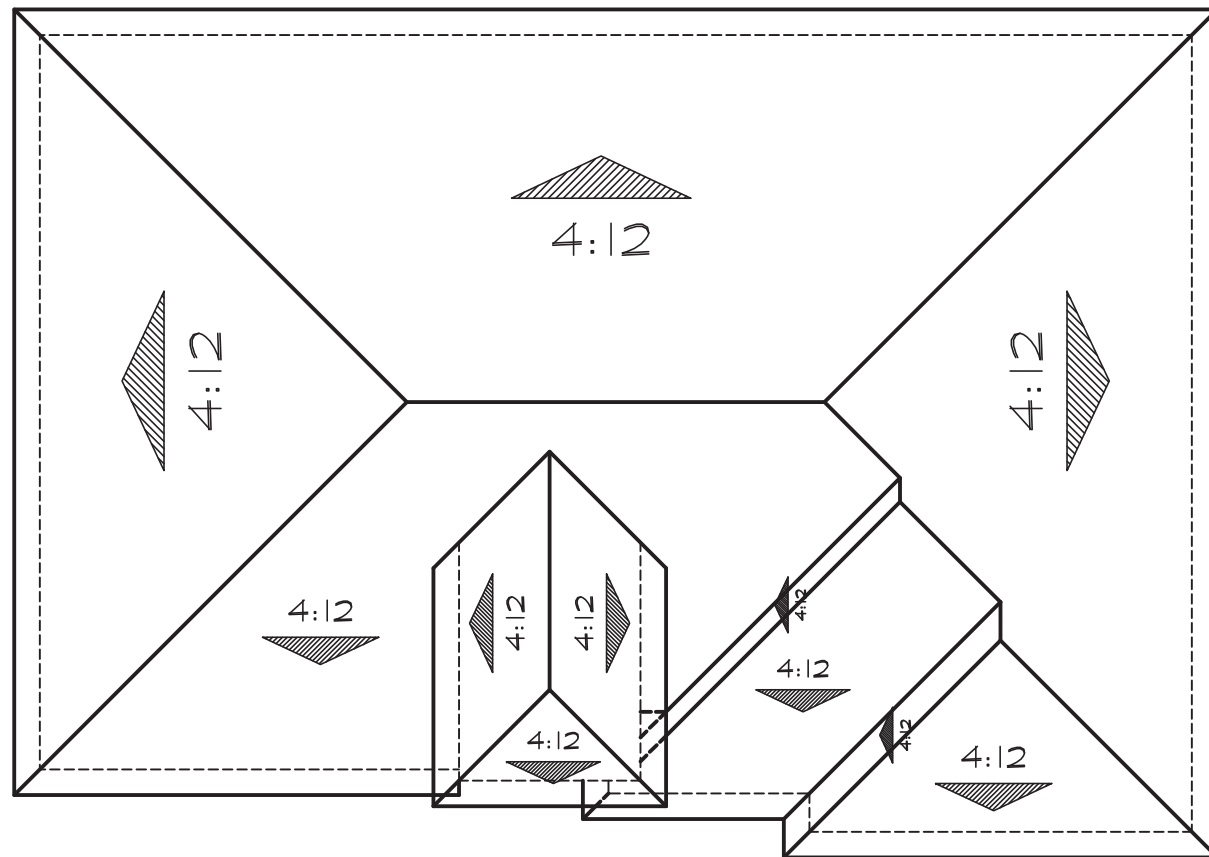
NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

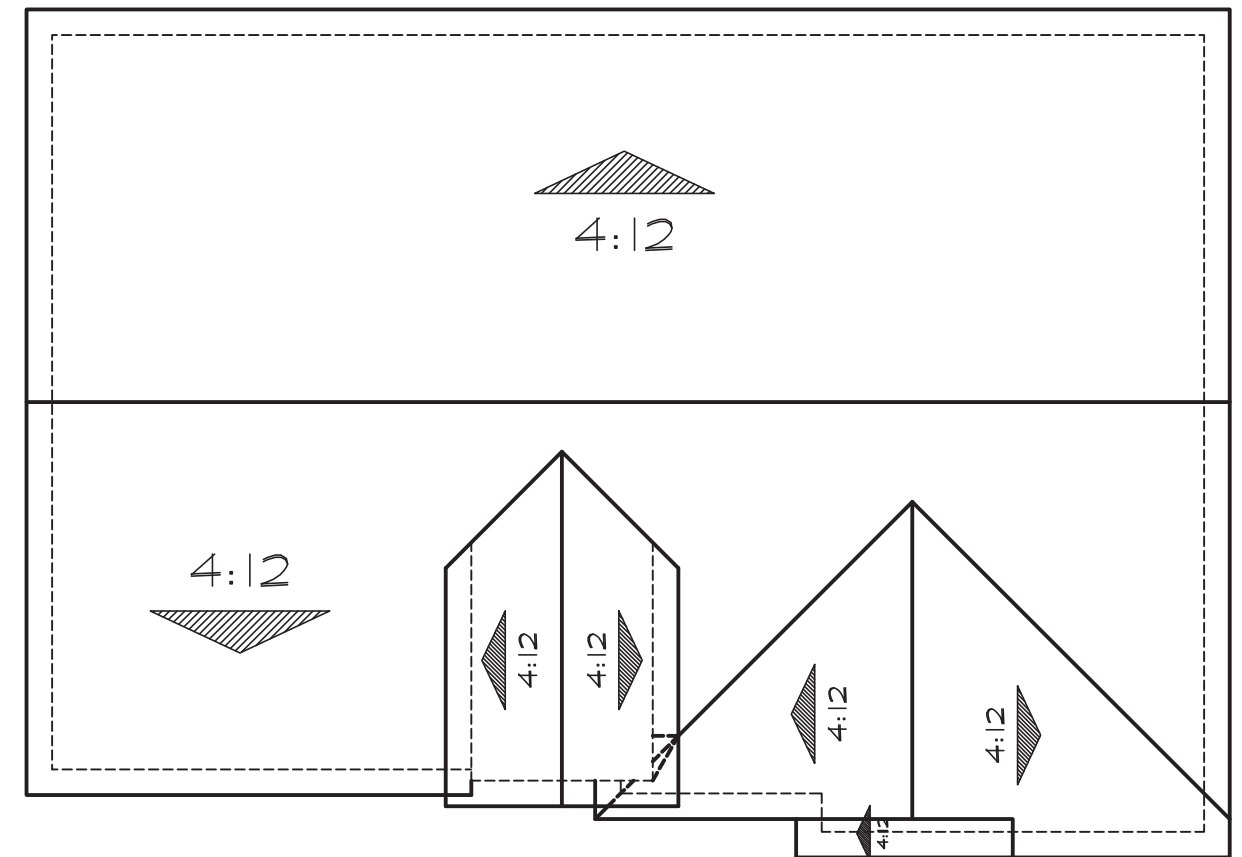
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

**Plan 4
Roof Plans**



ROSEWOOD ESTATES
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24

MATERIAL LEGEND

- | | |
|---|---|
| A CONCRETE VILLA ROOFING | B FLAT CONCRETE TILE ROOFING |
| HIP ROOFS | GABLE ROOFS |
| STUCCO BODY | STUCCO BODY |
| STUCCO TRIM | STUCCO TRIM |
| MOCK SHUTTERS | STUCCO/FOAM GABLE ACCENT |
| SIM. STONE VENEER | MOCK SHUTTERS |
| ROLL-UP GARAGE DOORS
W/ WINDOW LITES | SIM. BRICK VENEER |
| | ROLL-UP GARAGE DOORS
W/ WINDOW LITES |



**Elevation A
Scheme - #3**



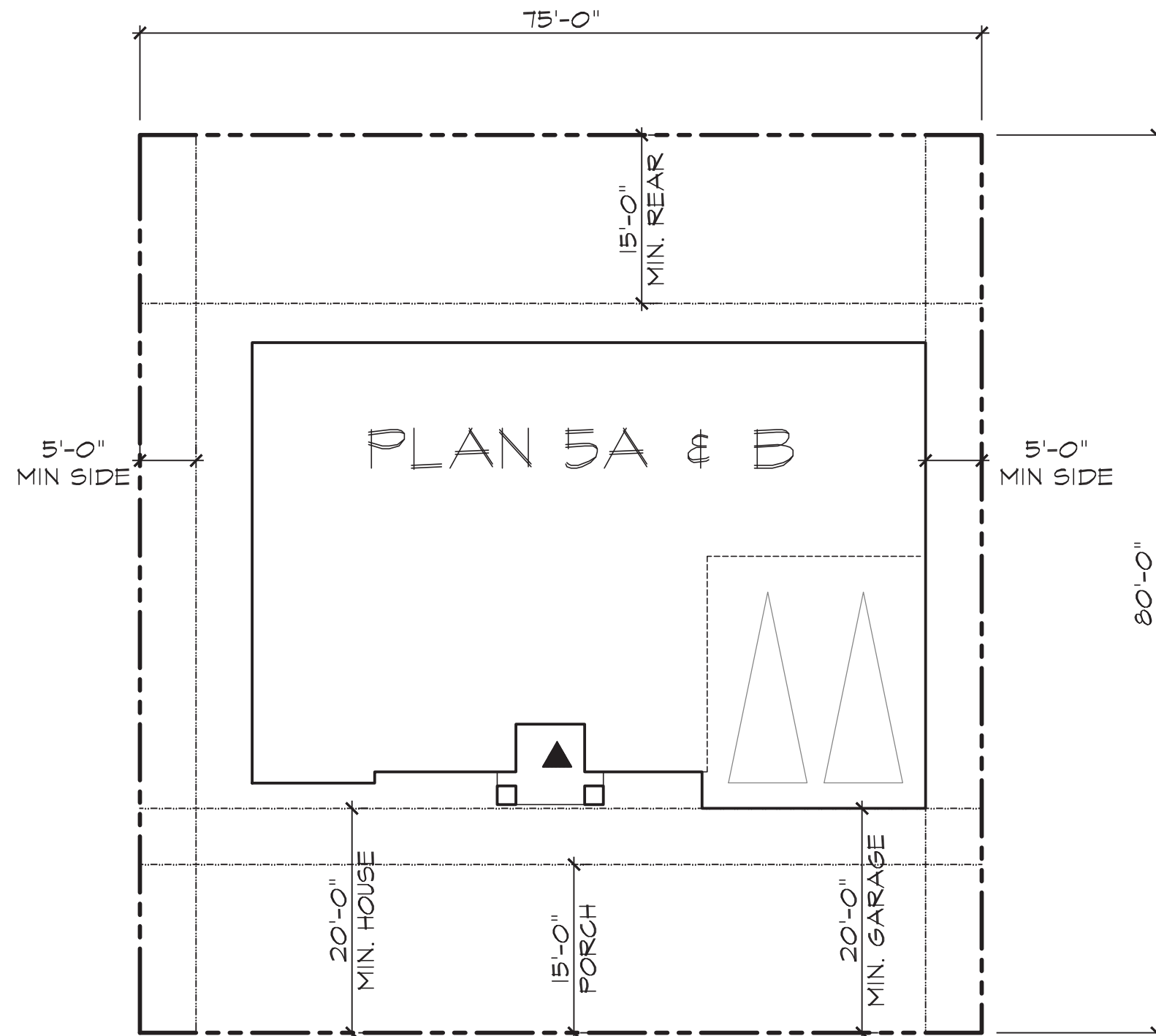
**Elevation B
Scheme - #5**

**Front Elevations
Plan 5
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

<u>SMALLEST LOT SIZE</u>	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
6,000 SQ. FT.	2,398 SQ. FT.	39.97%

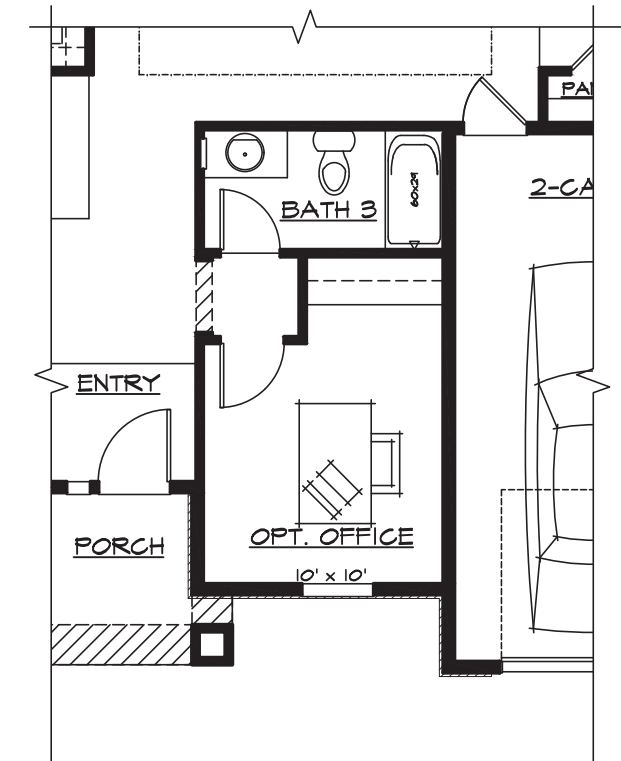
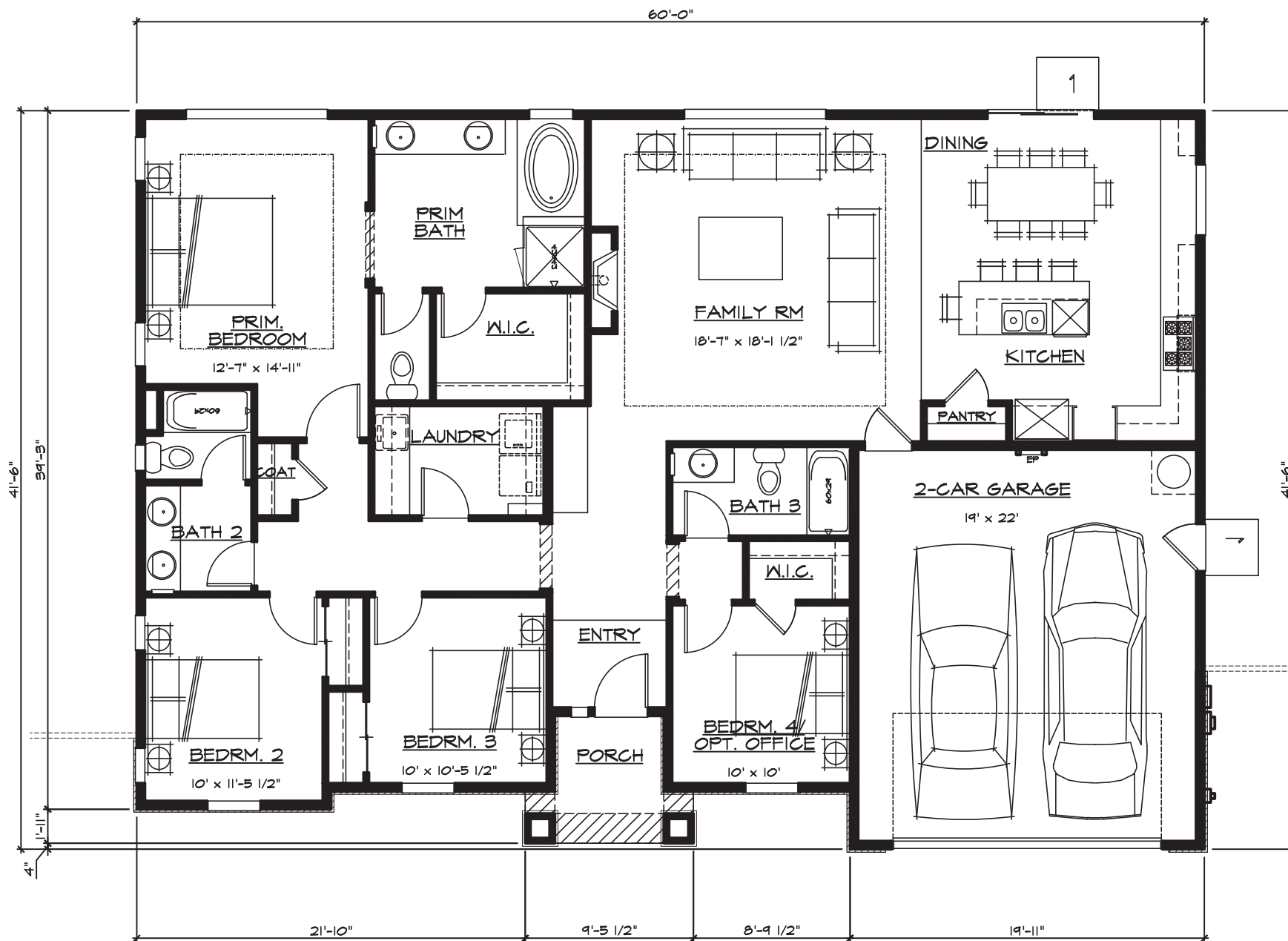


**Site Plan - Neighborhood B
Plan 5
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Optional Office

SQUARE FOOTAGE	
TOTAL LIVING AREA	1906 SF
PORCH	54 SF
GARAGE	438 SF
FOOTPRINT	2398 SF



**Floor Plan
Plan 5
ROSEWOOD ESTATES**

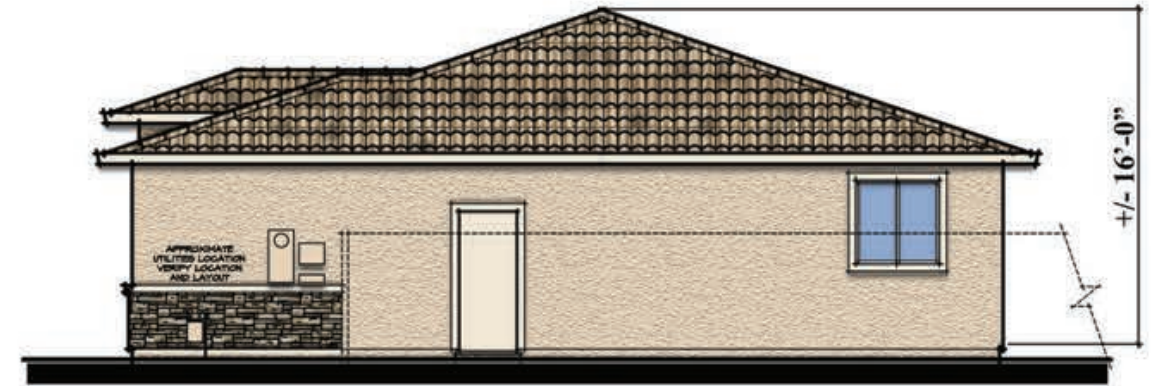
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



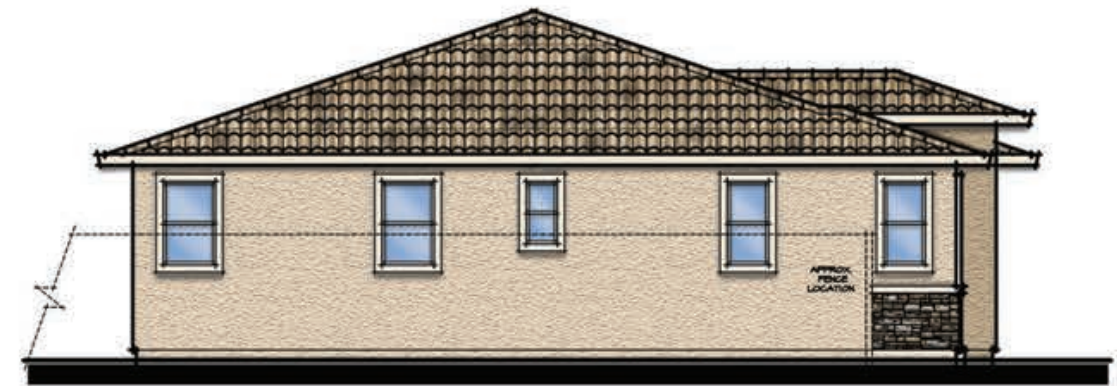
Front



Right

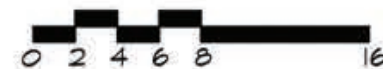


Rear



Left

Plan 5
Elevations 'A'



NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

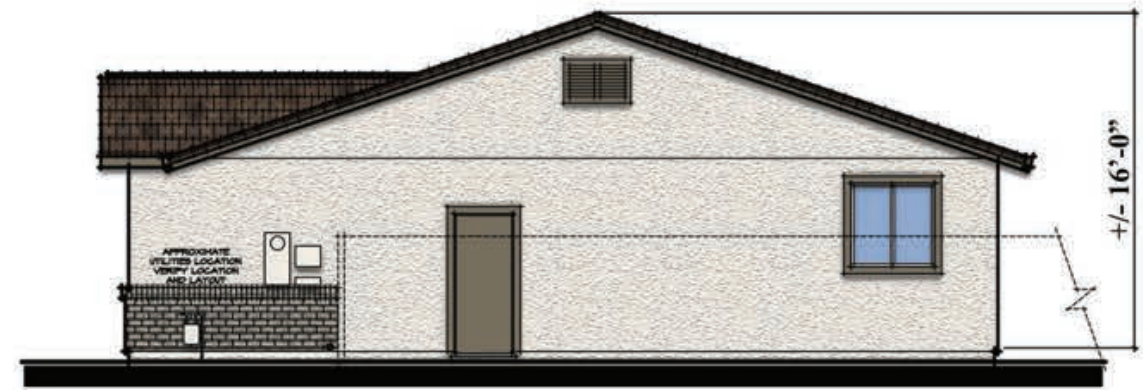
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right

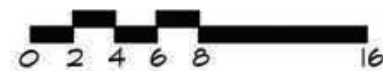


Rear



Left

Plan 5
Elevations 'B'



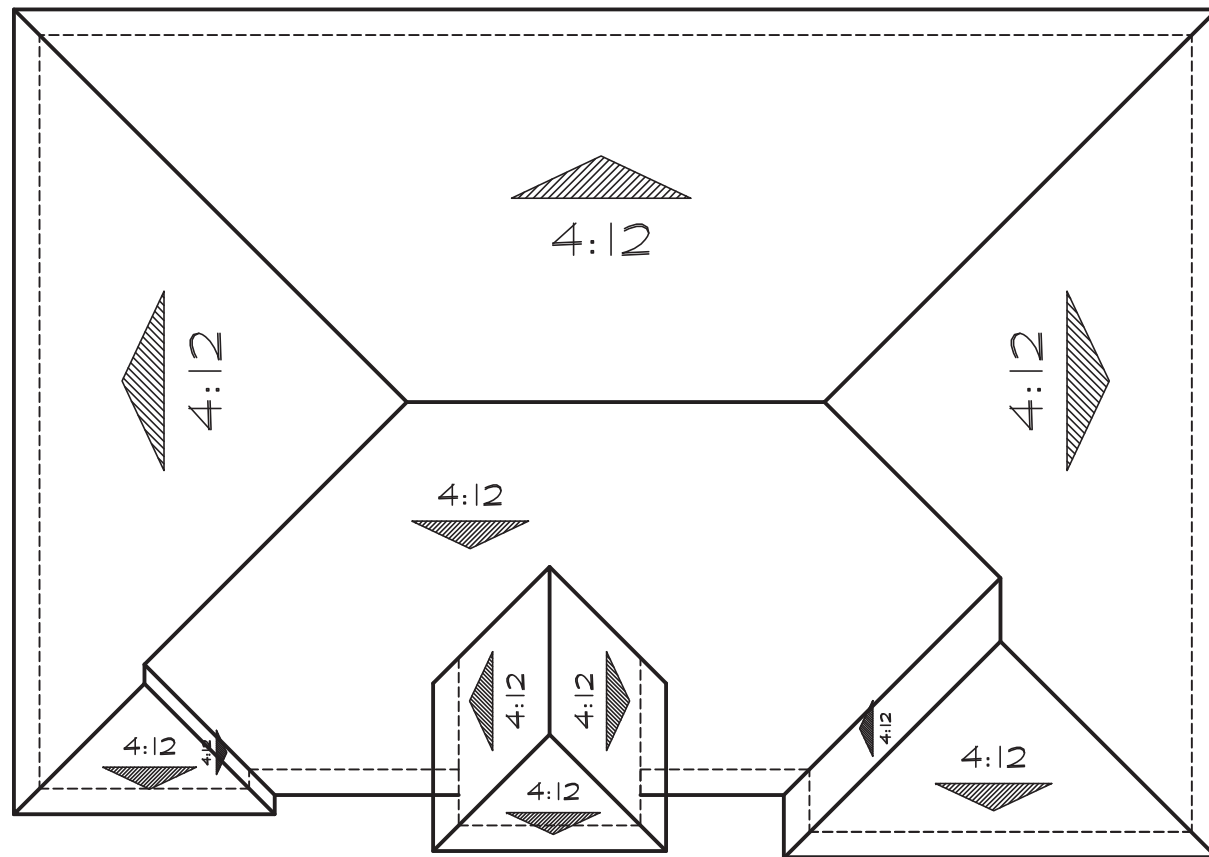
NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

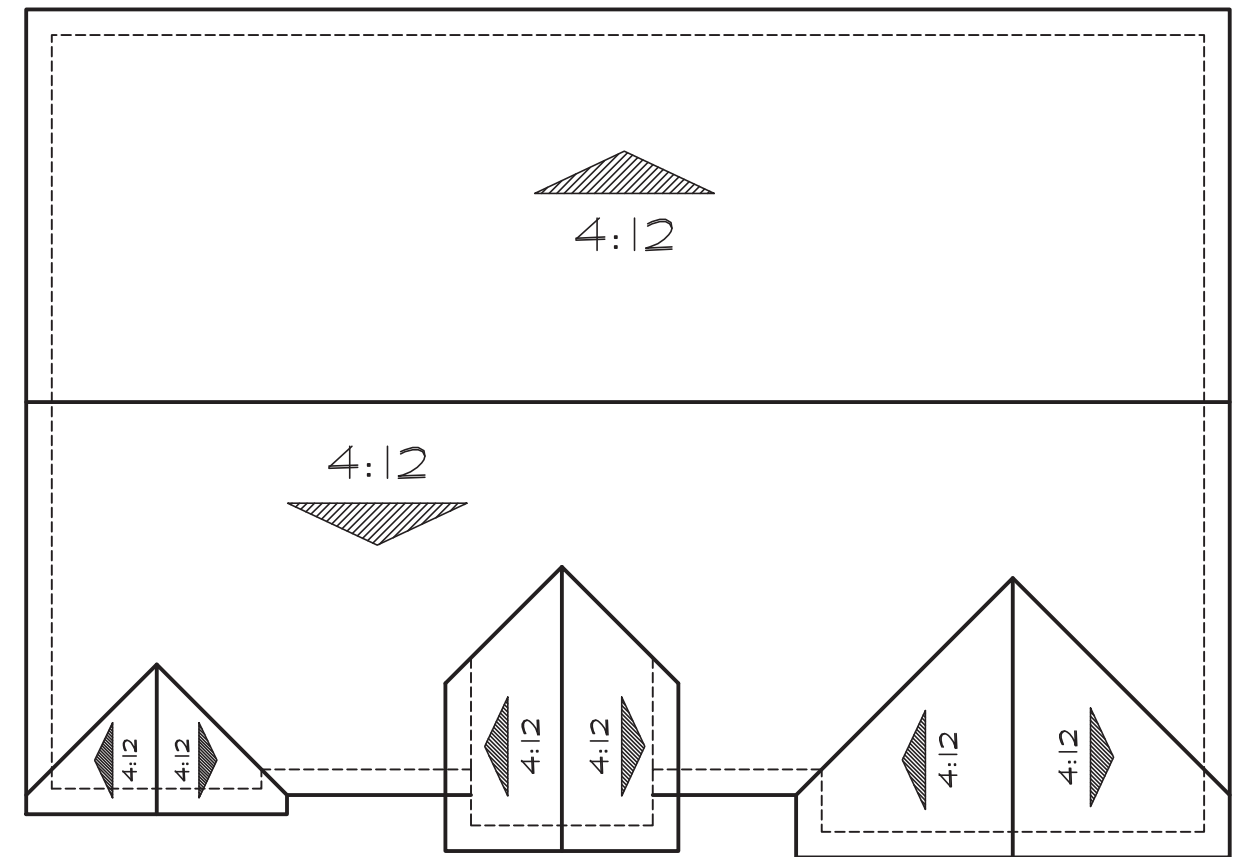
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

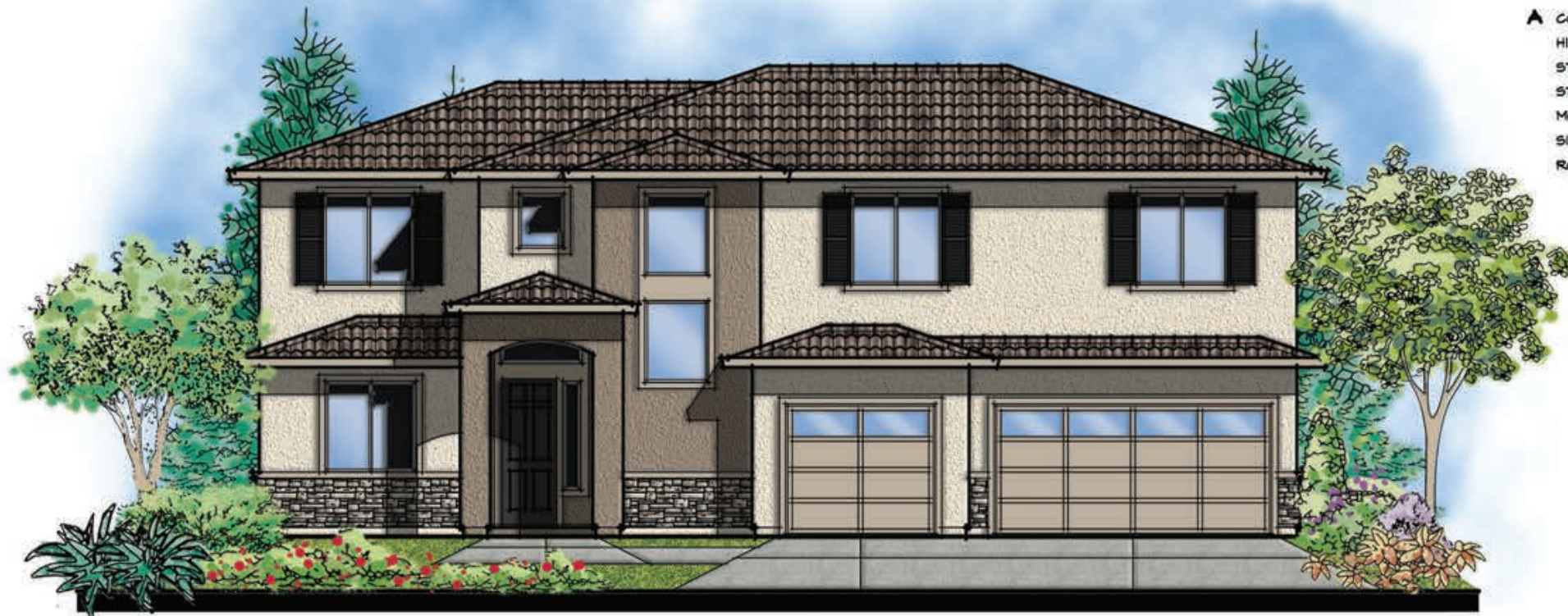
**Plan 5
Roof Plans**



ROSEWOOD ESTATES
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



**Elevation A
Scheme - #2**

MATERIAL LEGEND

- | | |
|---|--|
| <p>A CONCRETE VILLA ROOFING
HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIM. STONE VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> | <p>B FLAT CONCRETE TILE ROOFING
GABLE ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM GABLE ACCENT
MOCK SHUTTERS
SIM. BRICK VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> |
|---|--|



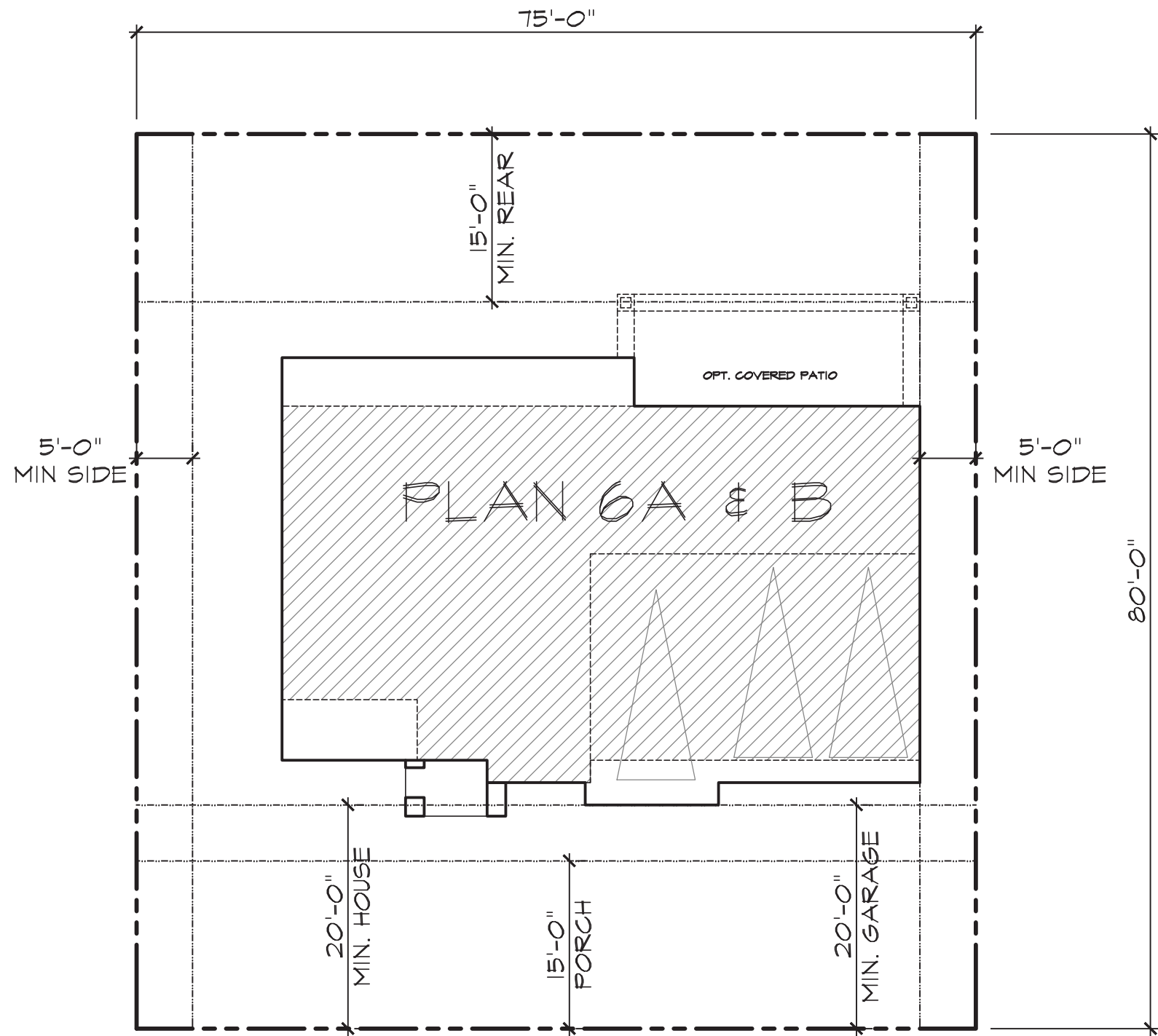
**Elevation B
Scheme - #6**

**Front Elevations
Plan 6
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
<u>SMALLEST LOT SIZE</u>	2,084 SQ. FT.	34.73%
6,000 SQ. FT.	<u>PLAN FOOTPRINT W/ OPT. PATIO</u>	<u>APPROX. COVERAGE</u>
	2,348 SQ. FT.	39.13%

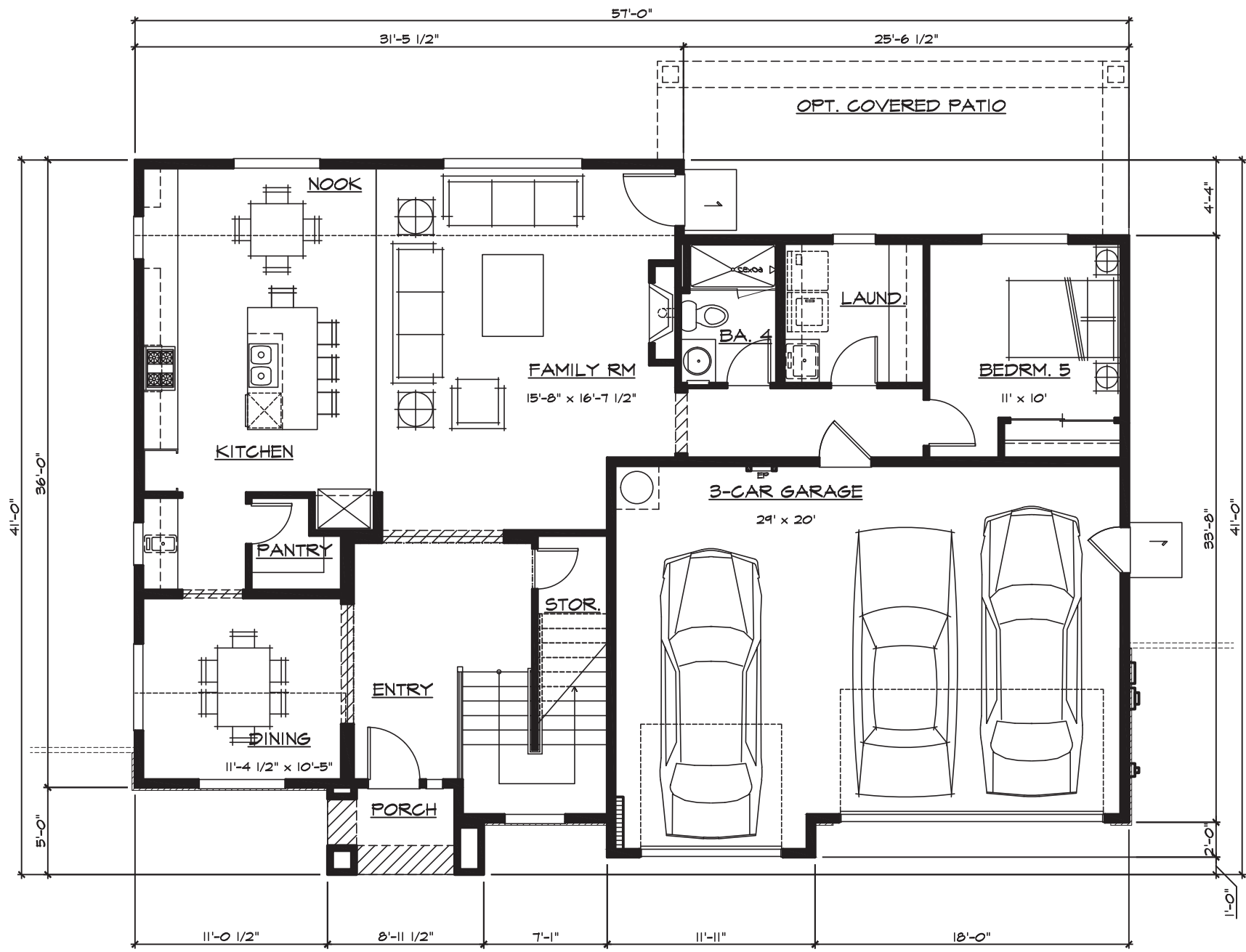


**Site Plan - Neighborhood B
Plan 6
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



SQUARE FOOTAGE	
FIRST FLOOR	1416 SF
SECOND FLOOR	1561 SF
TOTAL LIVING AREA	2977 SF
PORCH	41 SF
GARAGE	627 SF
FOOTPRINT	2084 SF
OPT. COVERED PATIO	264 SF
FOOTPRINT	2348 SF

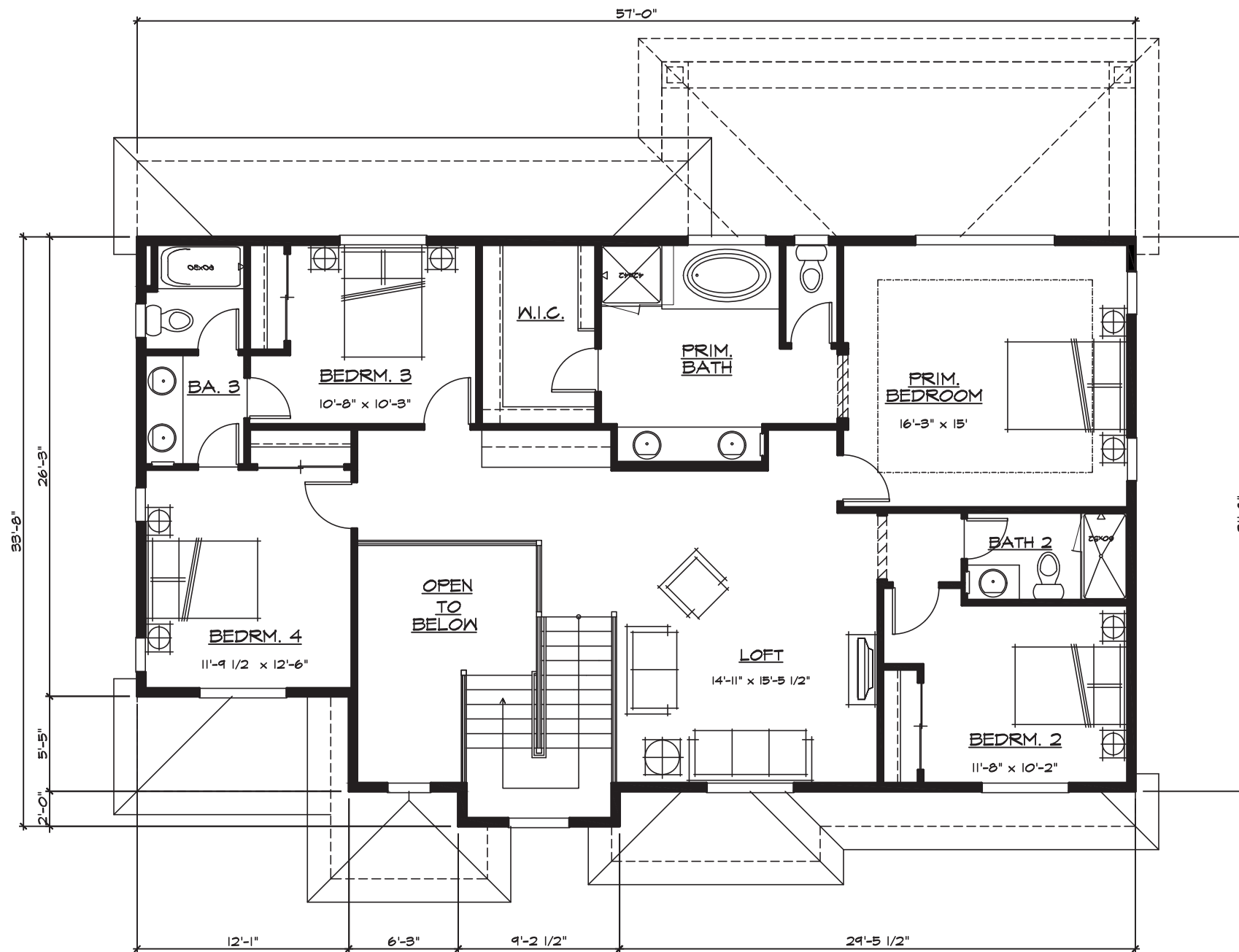


**First Floor
Plan 6
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24

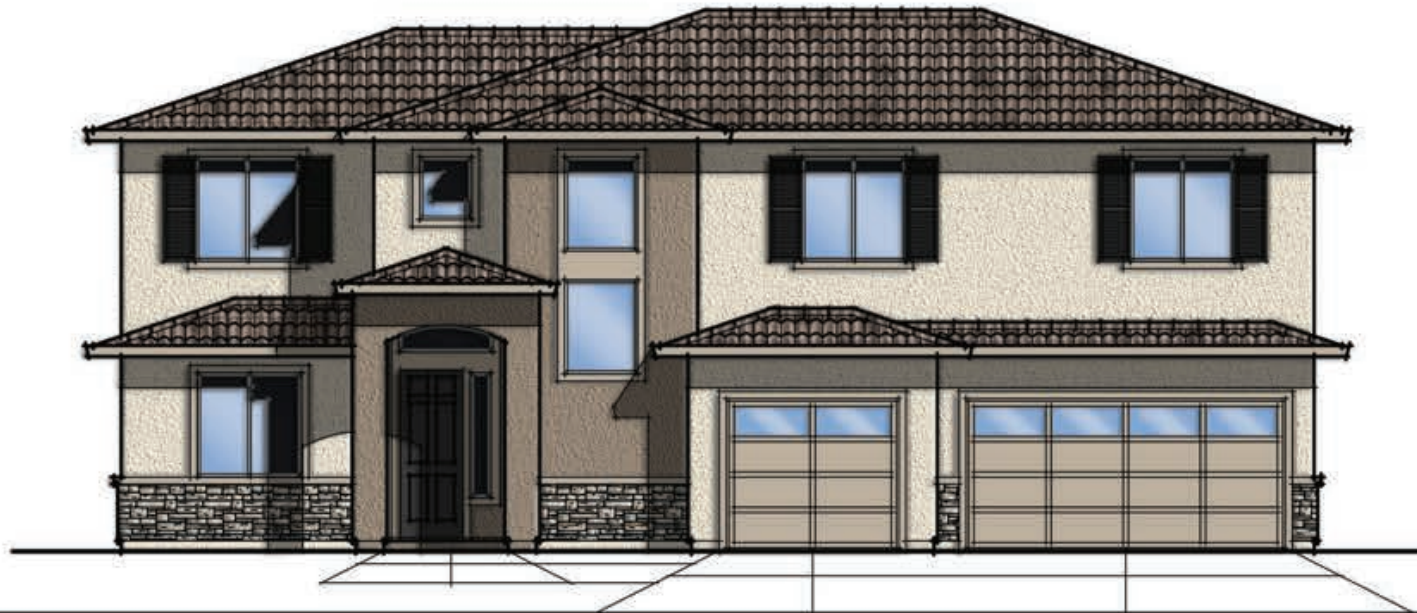


**Second Floor
Plan 6
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

① OPTIONAL COVERED PATIO

⋯ DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 6
Elevations 'A'

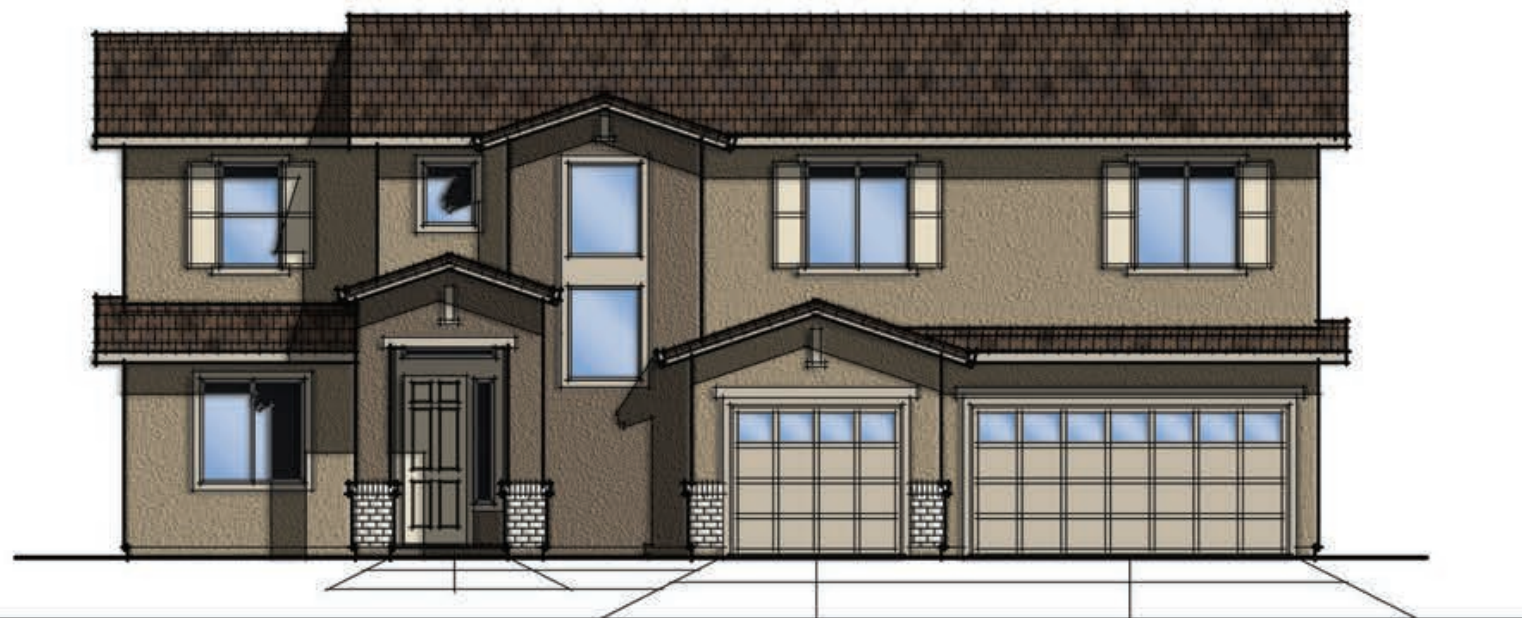


ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

① OPTIONAL COVERED PATIO

--- DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 6
Elevations 'B'

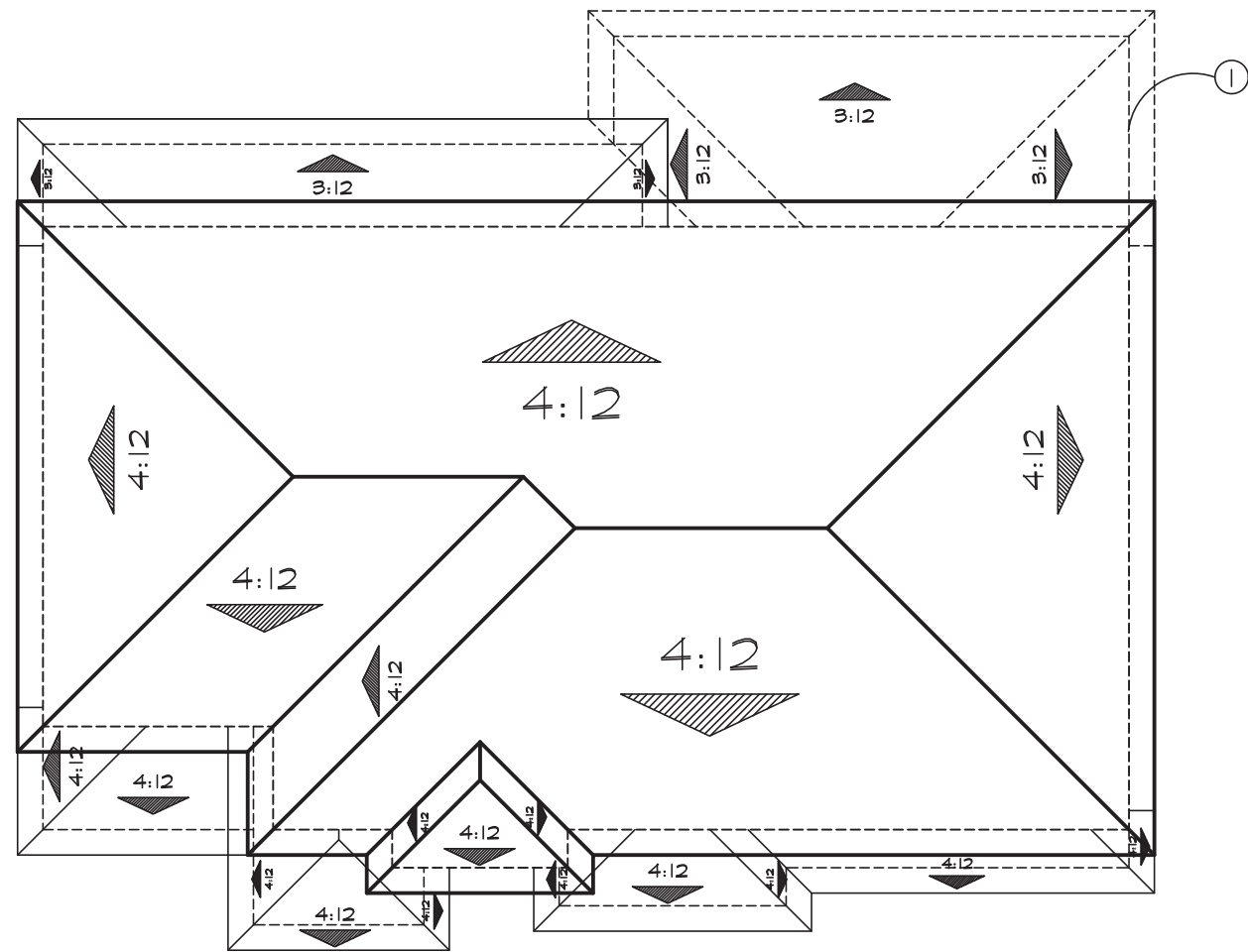


ROSEWOOD ESTATES

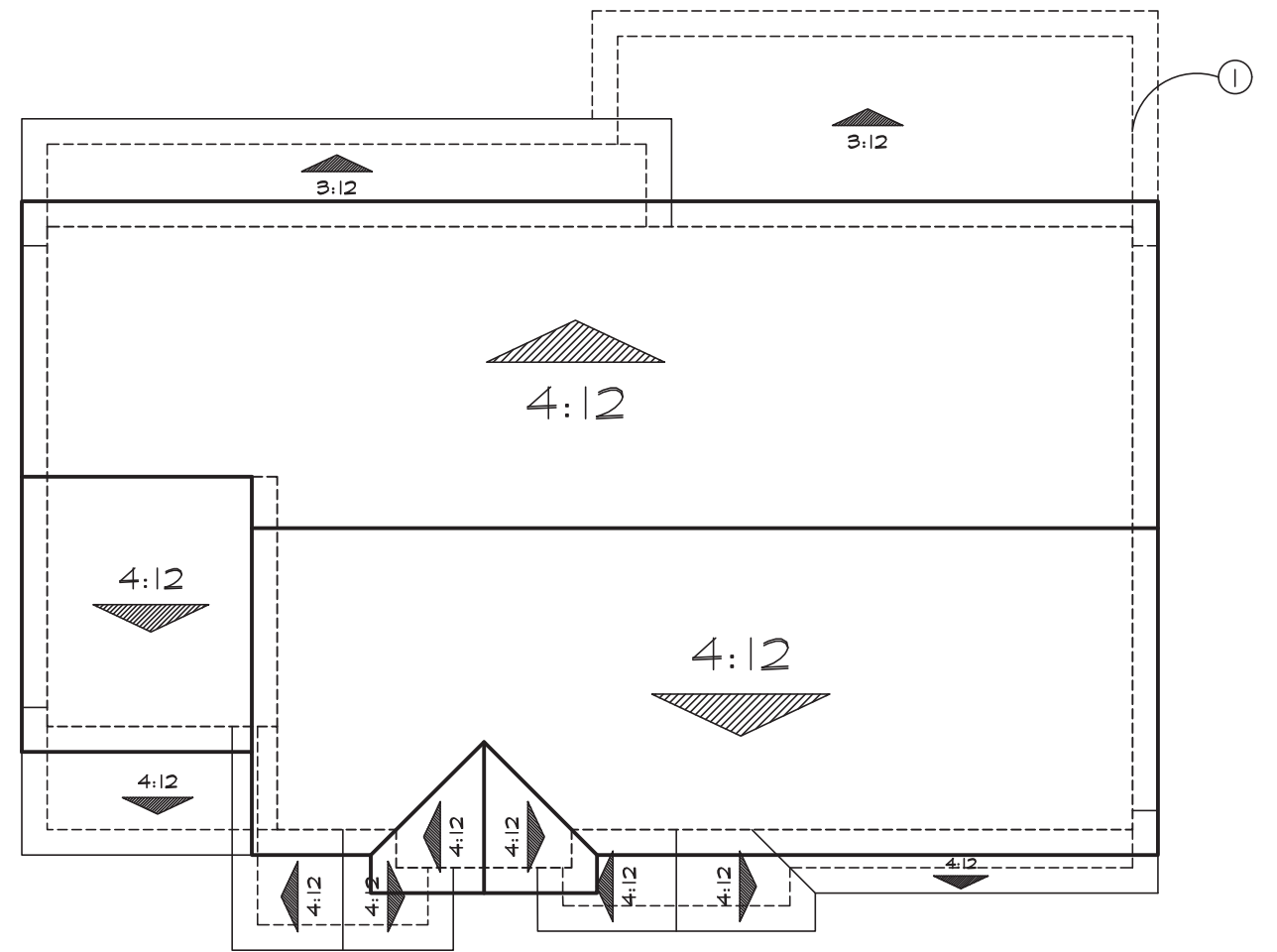
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

① OPTIONAL COVERED PATIO

**Plan 6
Roof Plans**



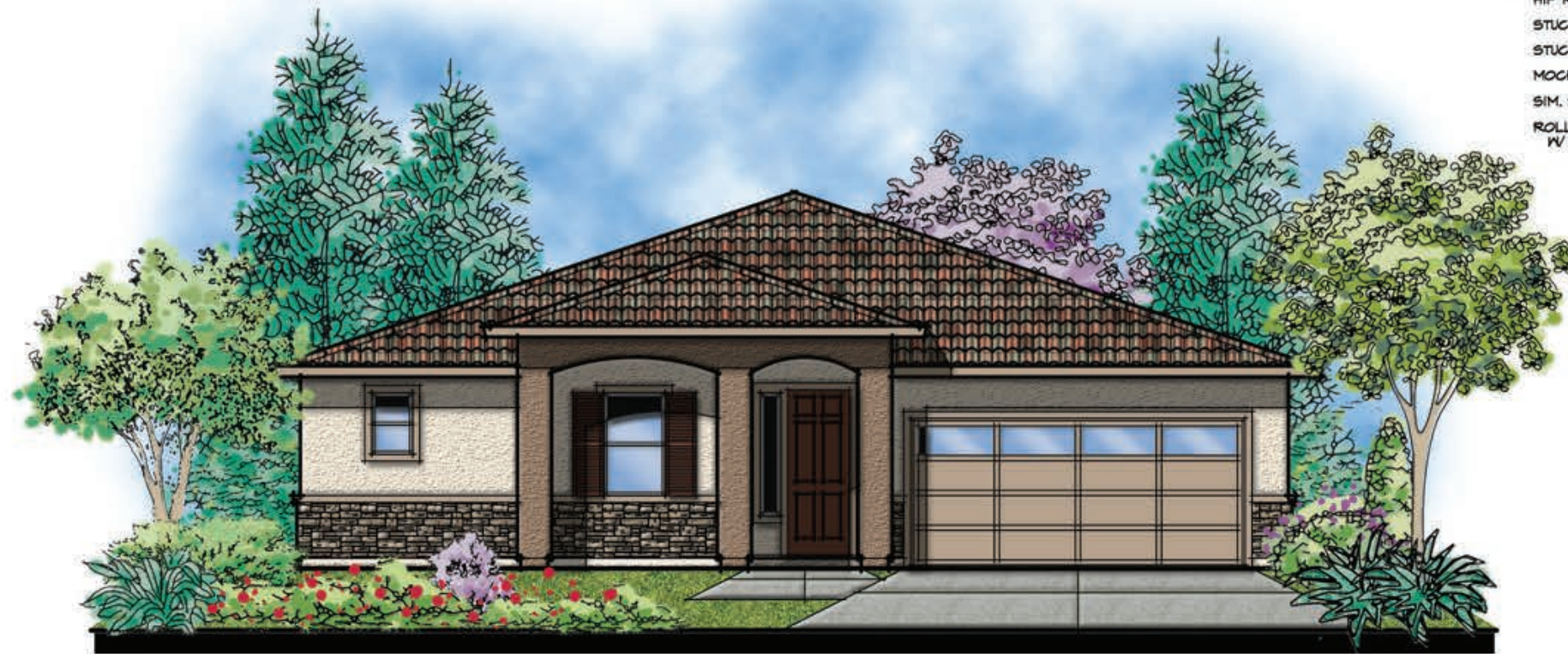
ROSEWOOD ESTATES
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24

MATERIAL LEGEND

- | | |
|---|---|
| A CONCRETE VILLA ROOFING | B FLAT CONCRETE TILE ROOFING |
| HIP ROOFS | GABLE ROOFS |
| STUCCO BODY | STUCCO BODY |
| STUCCO TRIM | STUCCO TRIM |
| MOCK SHUTTERS | STUCCO/FOAM GABLE ACCENT |
| SIM. STONE VENEER | MOCK SHUTTERS |
| ROLL-UP GARAGE DOORS
W/ WINDOW LITES | SIM. BRICK VENEER |
| | ROLL-UP GARAGE DOORS
W/ WINDOW LITES |



**Elevation A
Scheme - #4**



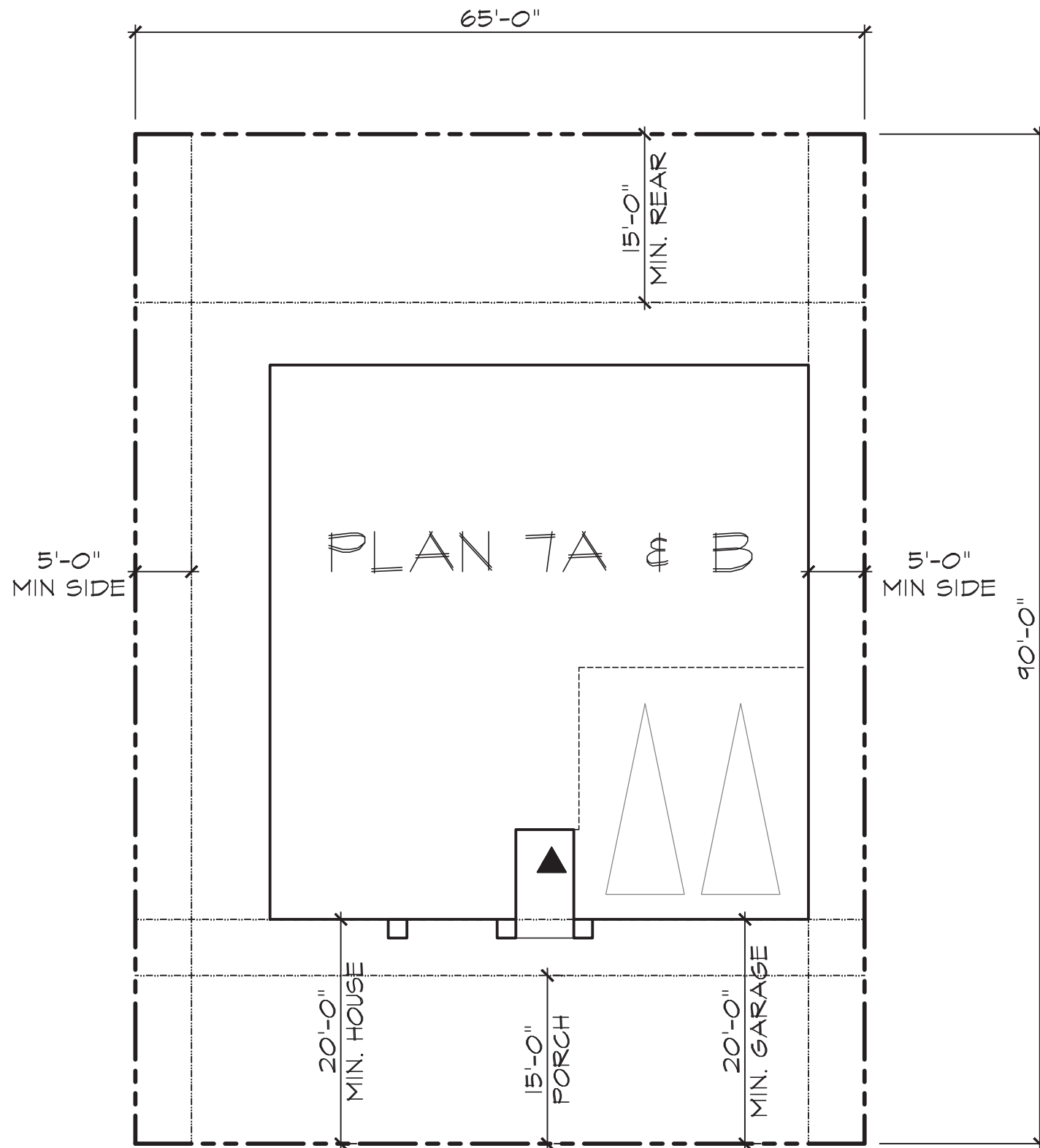
**Elevation B
Scheme - #7**

**Front Elevations
Plan 7
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

<u>SMALLEST LOT SIZE</u>	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
6,000 SQ. FT.	2,387 SQ. FT.	39.78%

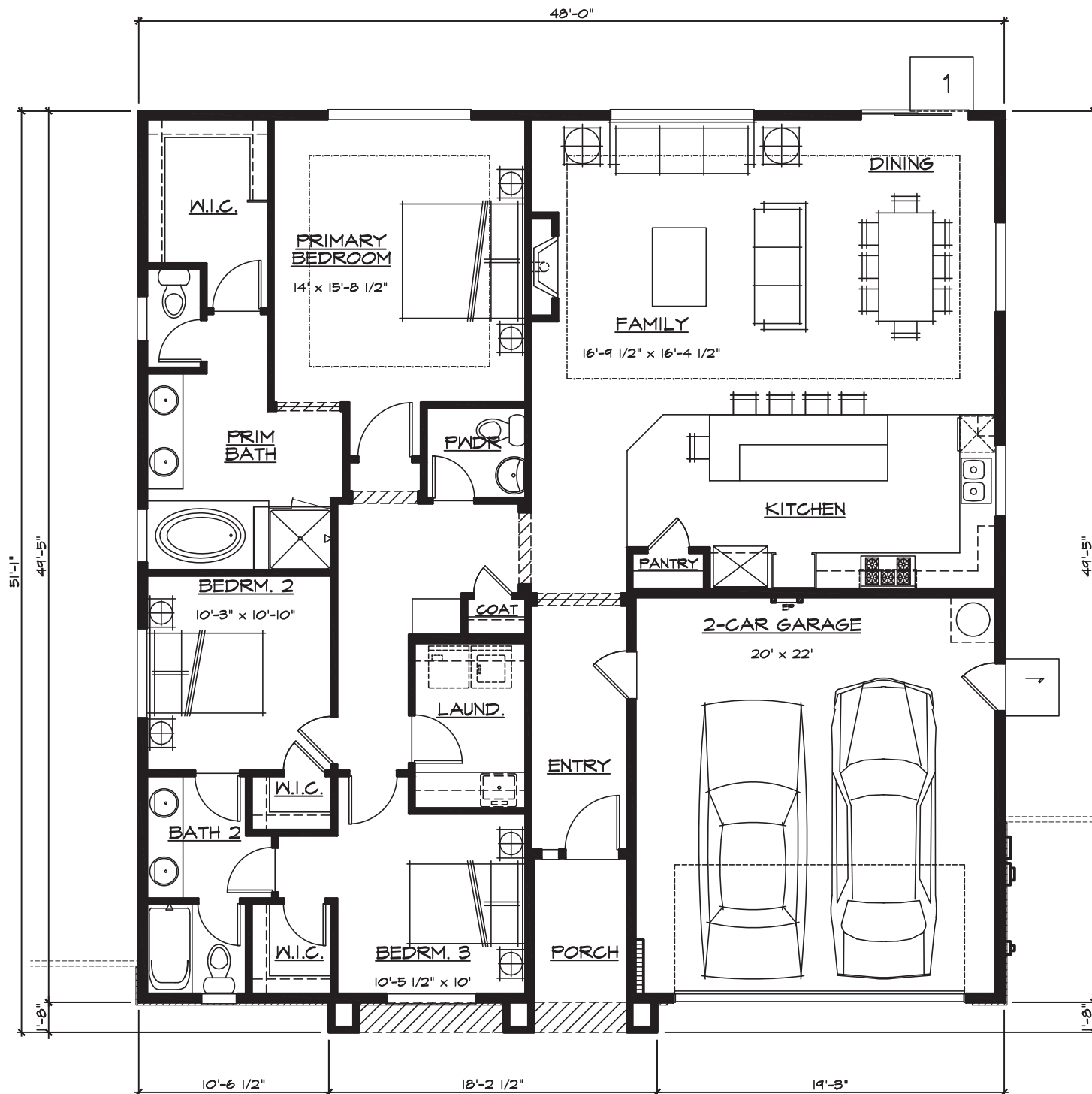


**Site Plan -Neighborhood C
Plan 7
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



SQUARE FOOTAGE	
TOTAL LIVING AREA	1868 SF
PORCH	56 SF
GARAGE	463 SF
FOOTPRINT	2387 SF

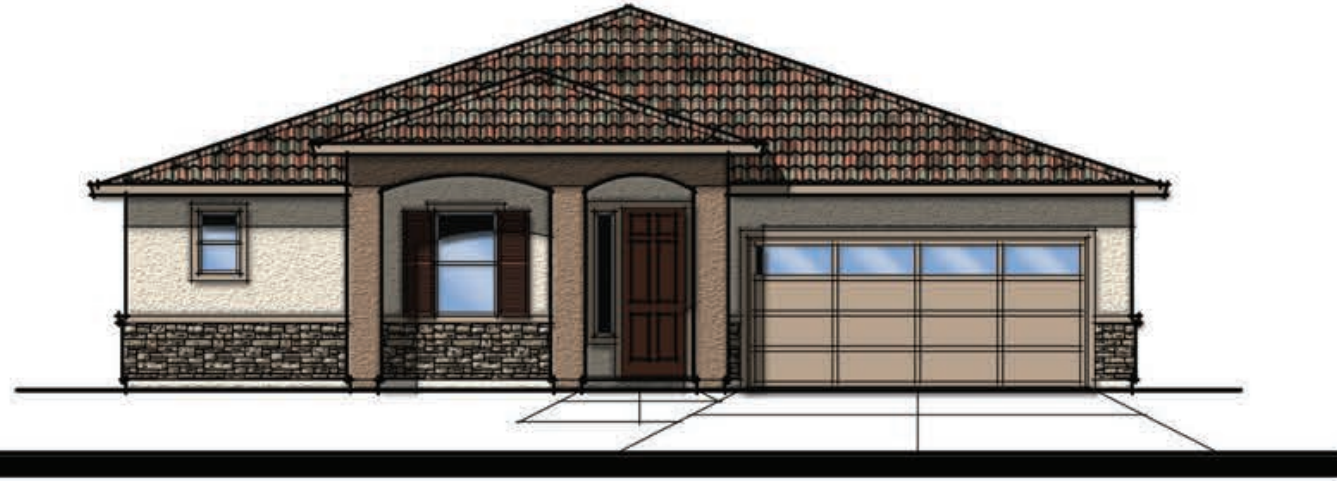


**Floor Plan
Plan 7
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

Plan 7
Elevations 'A'



NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



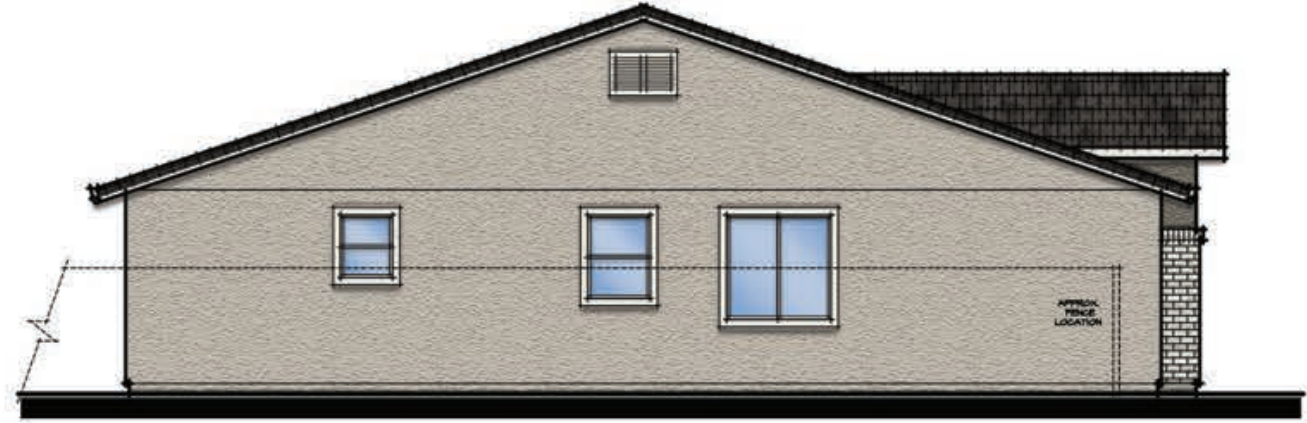
Front



Right



Rear



Left

Plan 7
Elevations 'B'



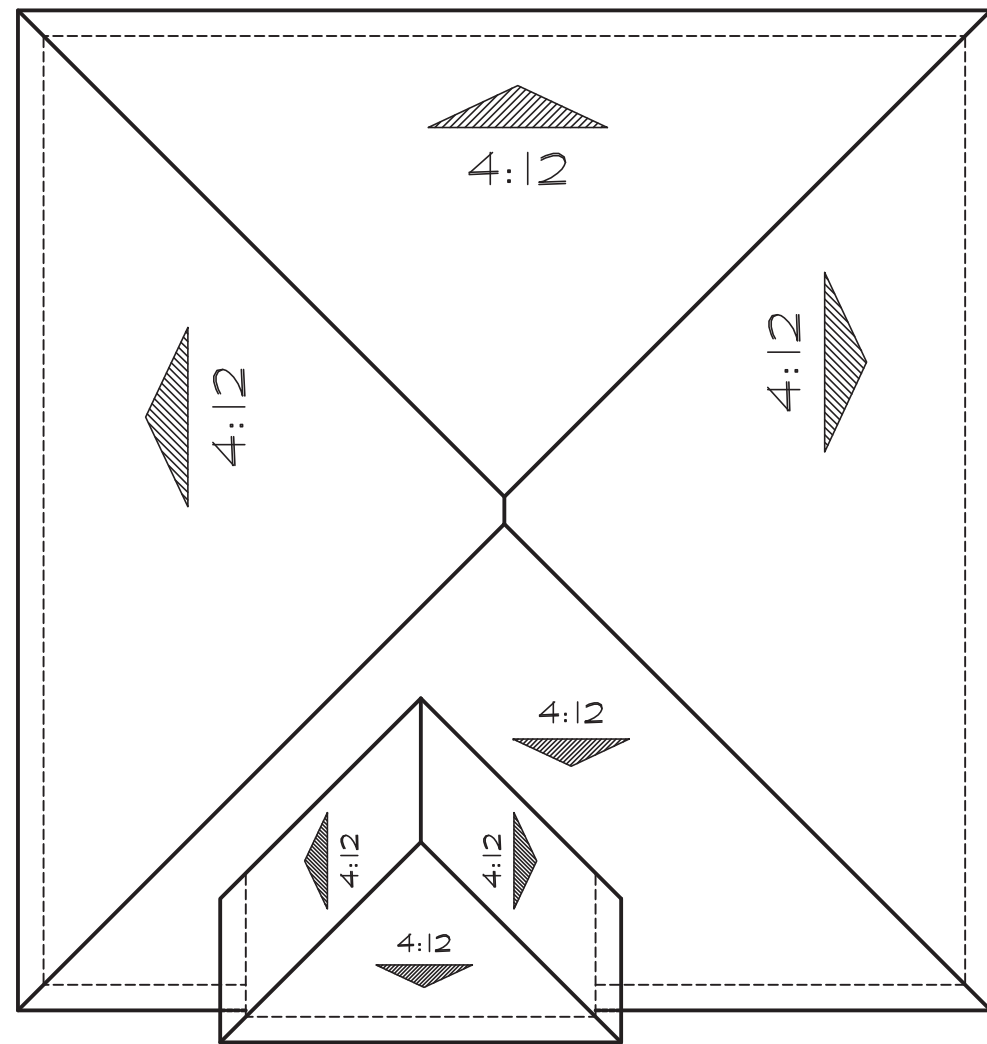
NOTE: DECORATIVE MATERIAL
TO TERMINATE AT FENCELINE.

ROSEWOOD ESTATES

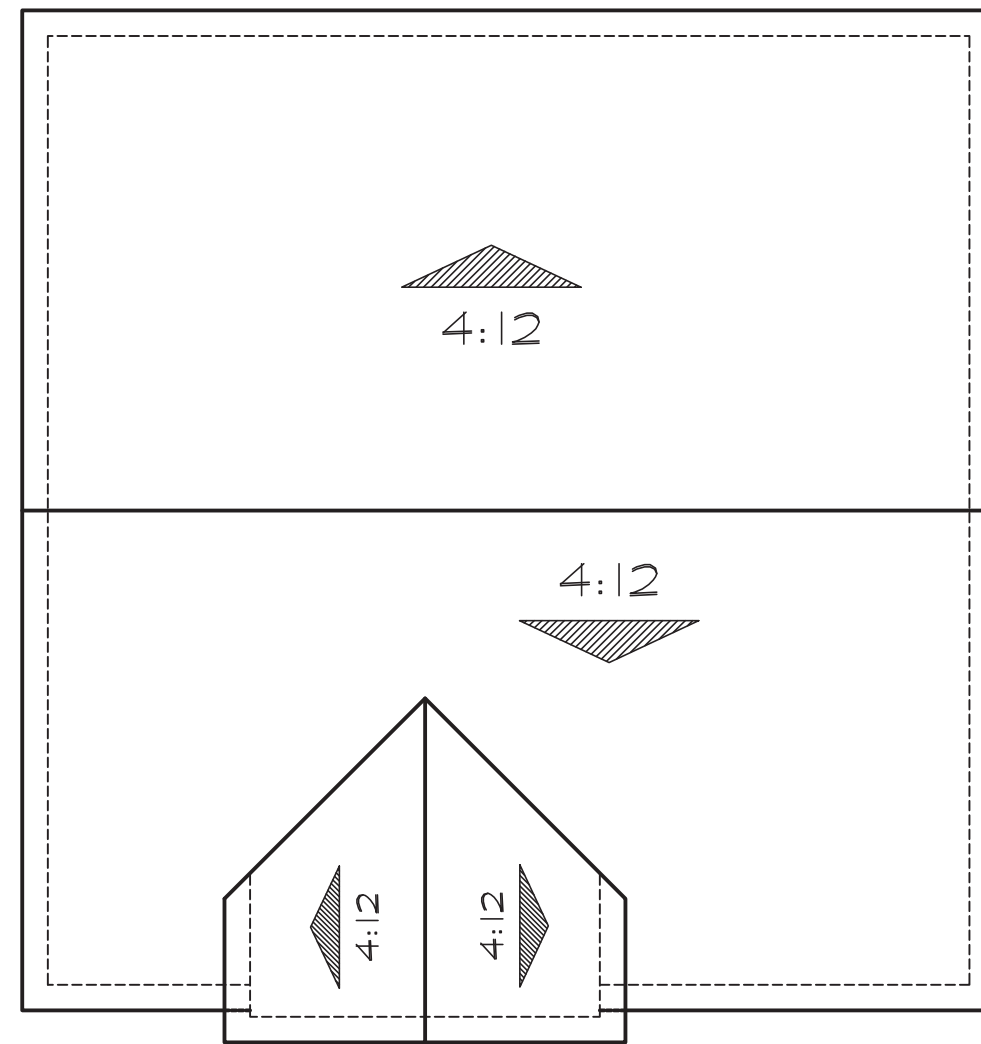
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

**Plan 7
Roof Plans**



ROSEWOOD ESTATES
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



**Elevation A
Scheme - #1**

MATERIAL LEGEND

- | | |
|---|--|
| <p>A CONCRETE VILLA ROOFING
GABLE & HIP ROOFS
STUCCO BODY
STUCCO TRIM
MOCK SHUTTERS
SIM. STONE VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> | <p>B FLAT CONCRETE TILE ROOFING
GABLE ROOFS
STUCCO BODY
STUCCO TRIM
STUCCO/FOAM GABLE ACCENT
MOCK SHUTTERS
SIM. BRICK VENEER
ROLL-UP GARAGE DOORS
W/ WINDOW LITES</p> |
|---|--|



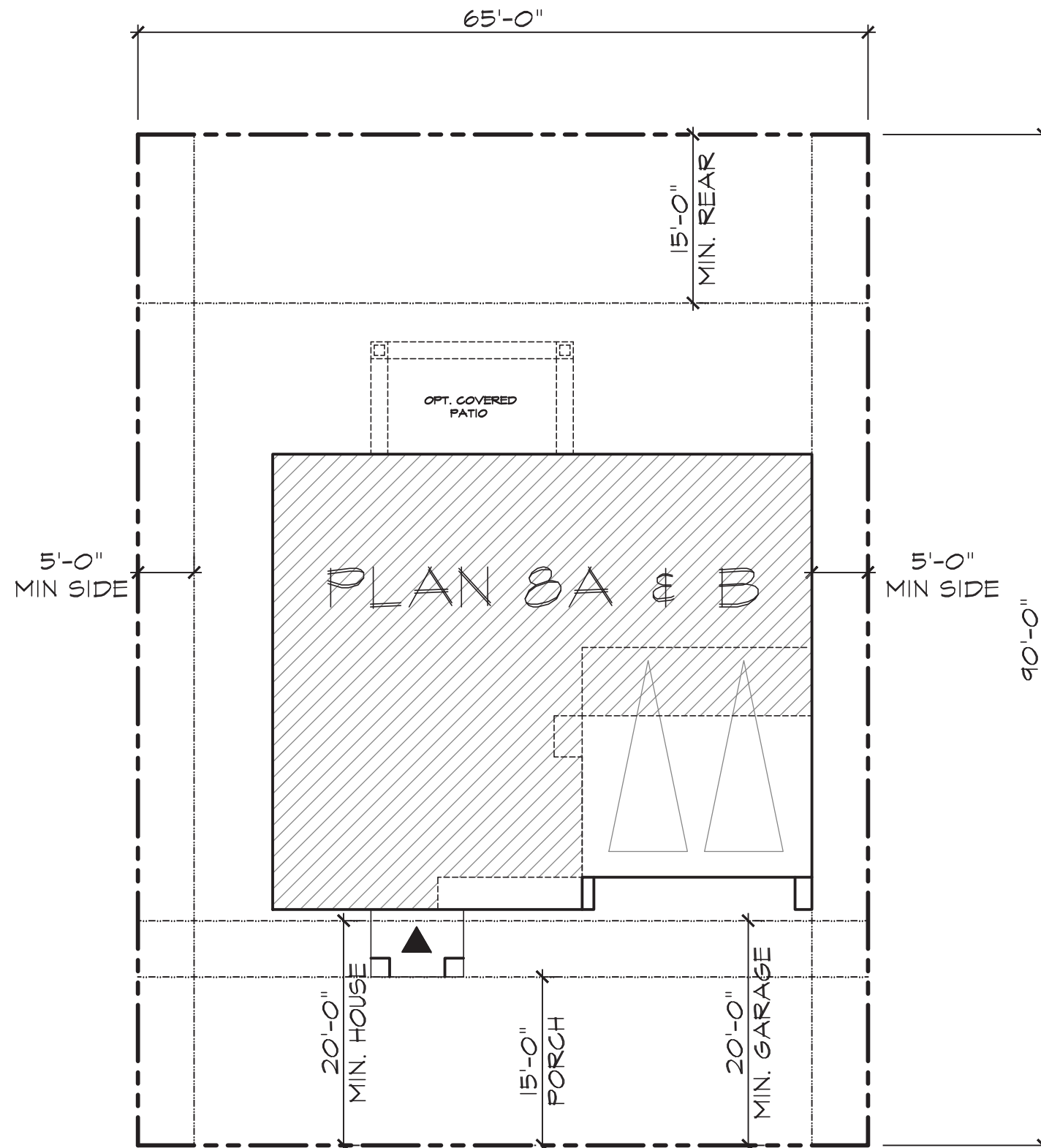
**Elevation B
Scheme - #8**

**Front Elevations
Plan 8
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



CITY OF OAKLEY

R-6 ZONING DISTRICT
DEVELOPMENT REGULATION

BUILDING SETBACKS:

FRONT	20 FEET
PORCH	15 FEET
GARAGE	20 FEET
CORNER	15 FEET
SIDE YARD	5 FEET
MIN. AGGREGATE	15 FEET
REAR YARD	15 FEET
MAX. BLDG. HT.	30 FEET

LOT COVERAGE

40% Max

	<u>PLAN FOOTPRINT</u>	<u>APPROX. COVERAGE</u>
<u>SMALLEST LOT SIZE</u>	1,937 SQ. FT.	32.28%
6,000 SQ. FT.	<u>PLAN FOOTPRINT W/ OPT. PATIO</u>	<u>APPROX. COVERAGE</u>
	2,117 SQ. FT.	35.28%

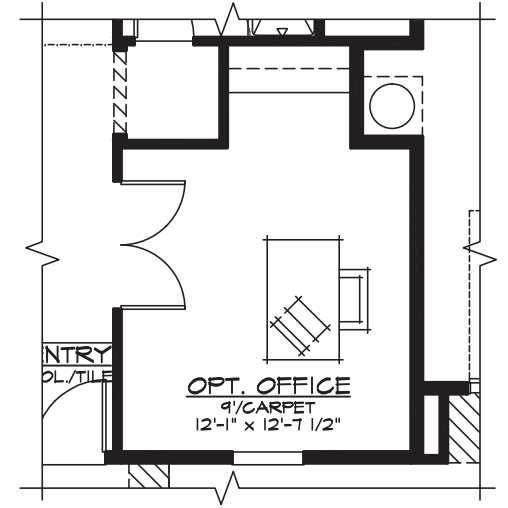
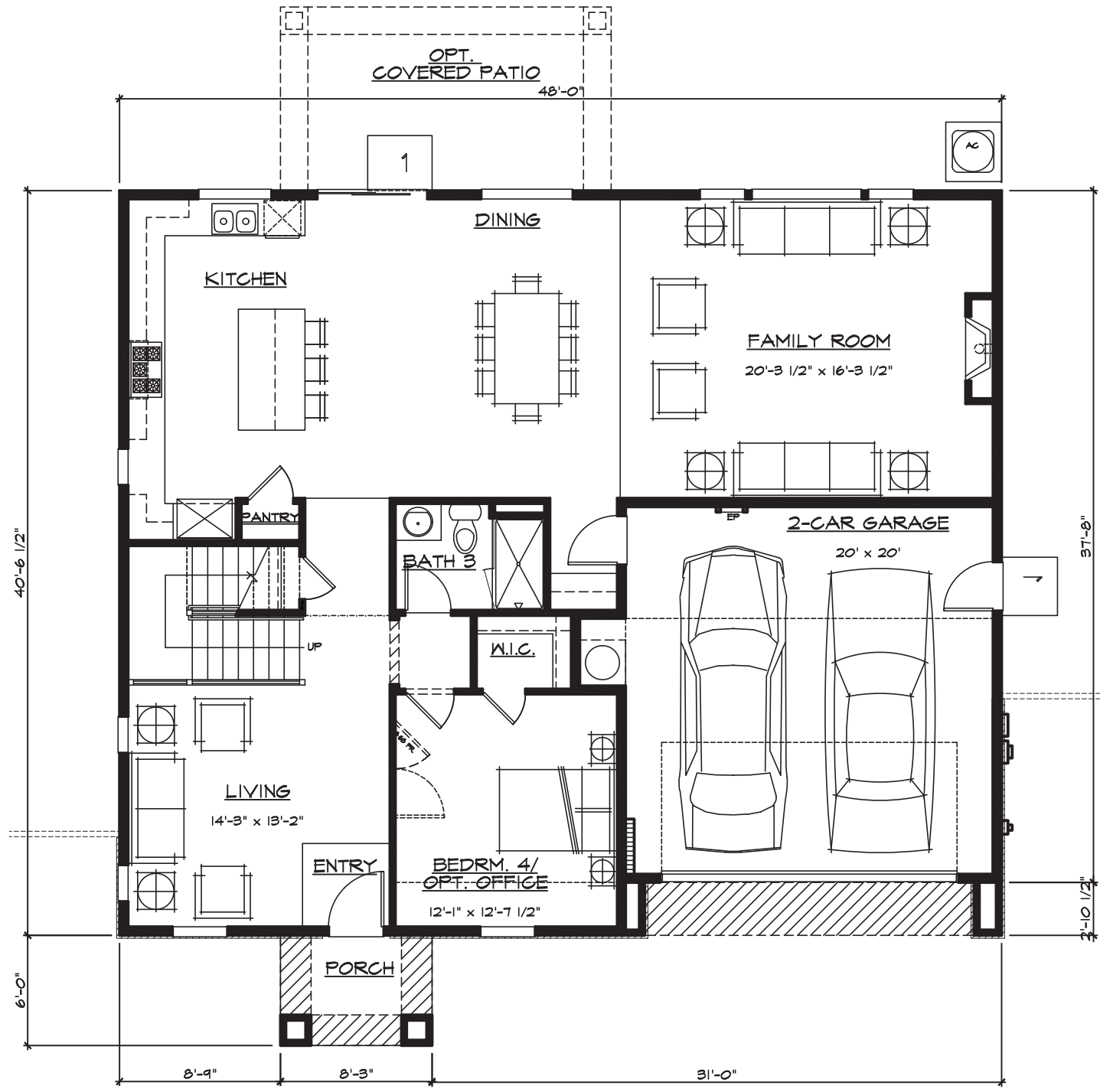


**Site Plan - Neighborhood C
Plan 8
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Optional Office

SQUARE FOOTAGE	
FIRST FLOOR	1459 SF
SECOND FLOOR	1263 SF
TOTAL LIVING AREA	2722 SF
PORCH	50 SF
GARAGE	428 SF
FOOTPRINT	1937 SF
OPT. COVERED PATIO	180 SF
FOOTPRINT	2117 SF

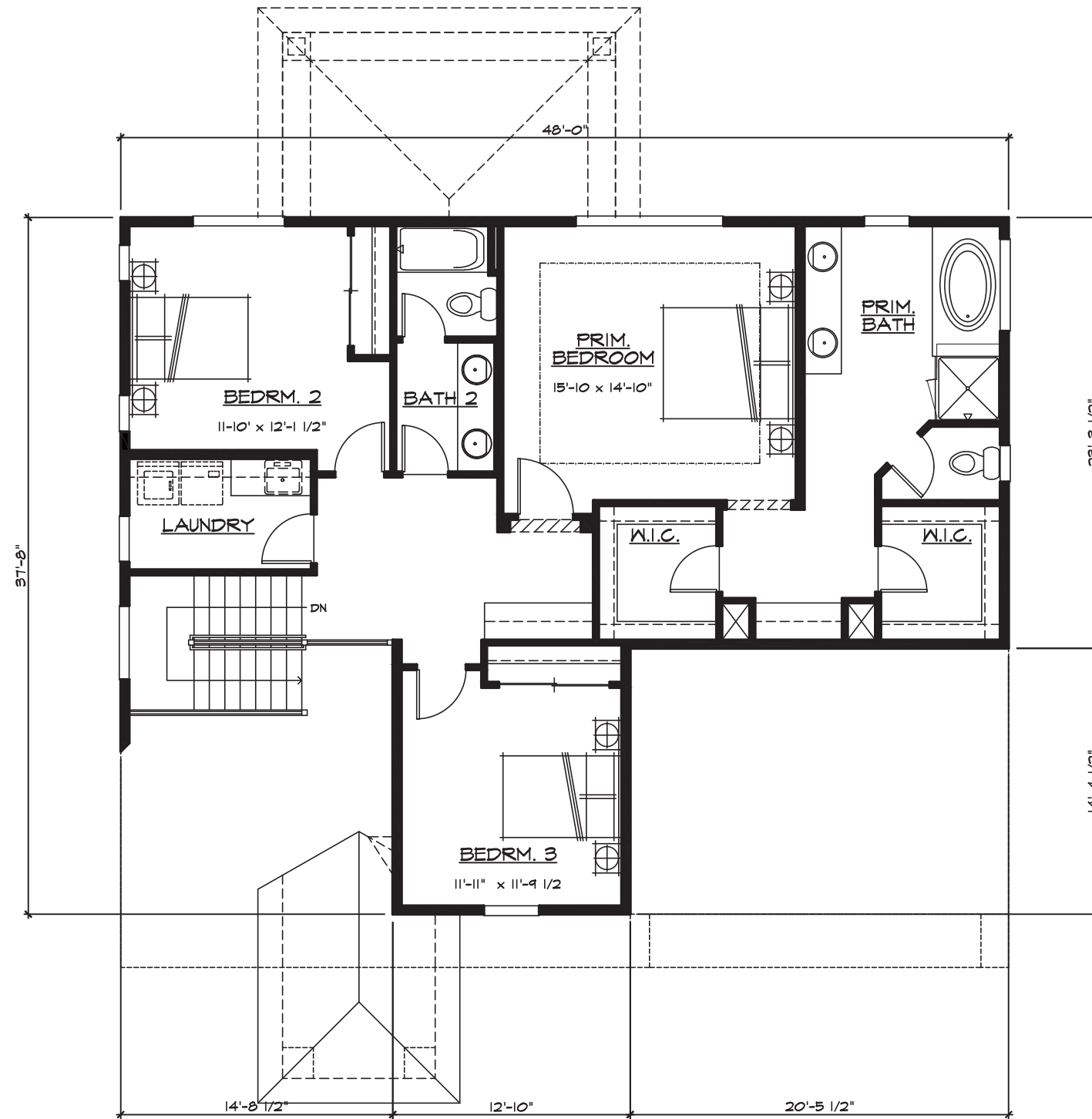


**First Floor
Plan 8
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24

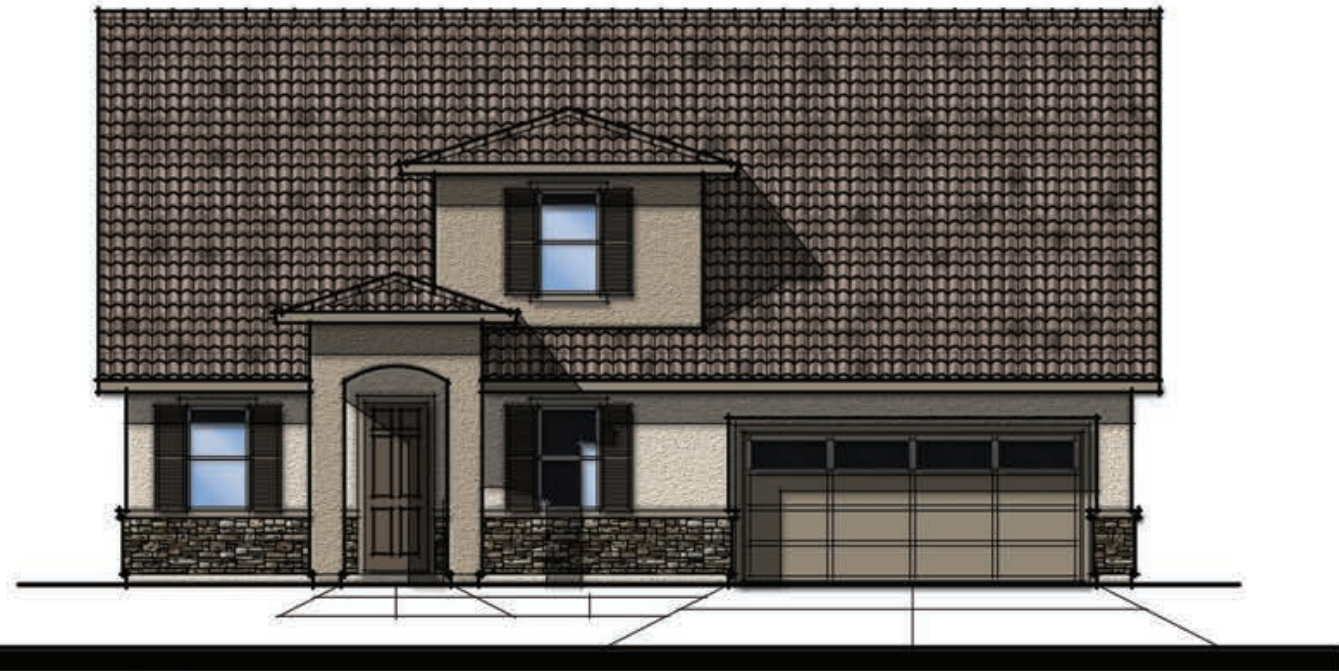


**Second Floor
Plan 8
ROSEWOOD ESTATES**

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

① OPTIONAL COVERED PATIO

--- DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 8
Elevations 'A'

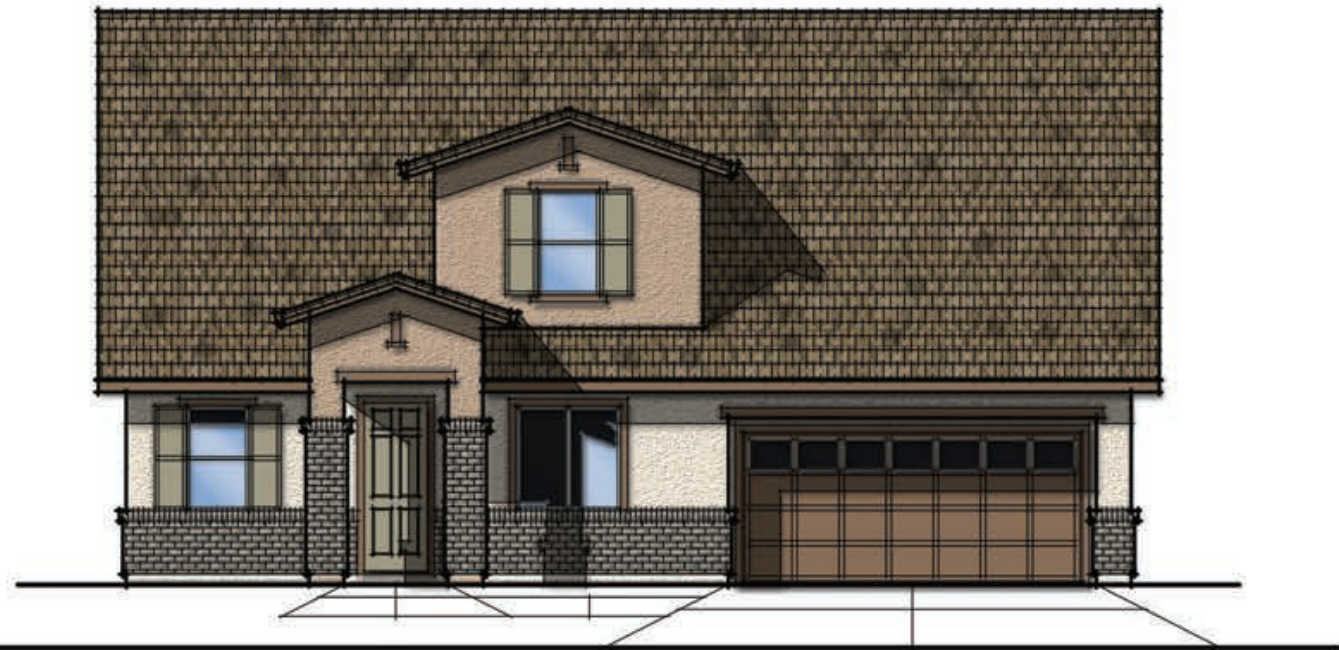


ROSEWOOD ESTATES

OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Front



Right



Rear



Left

① OPTIONAL COVERED PATIO

--- DENOTES ENHANCEMENTS AT ELEVATIONS FACING STREETS.

NOTE: DECORATIVE MATERIAL TO TERMINATE AT FENCELINE.

Plan 8
Elevations 'B'

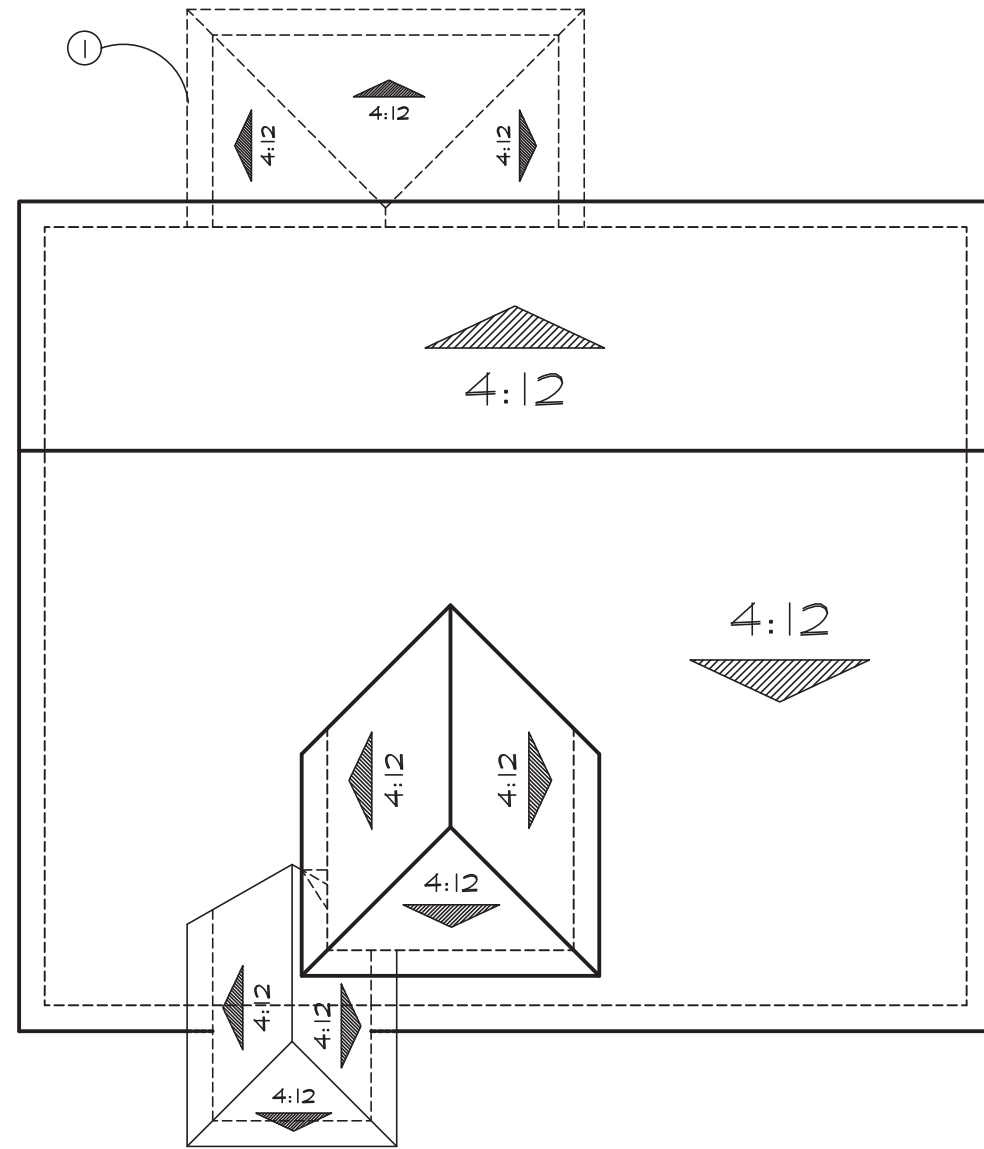


ROSEWOOD ESTATES

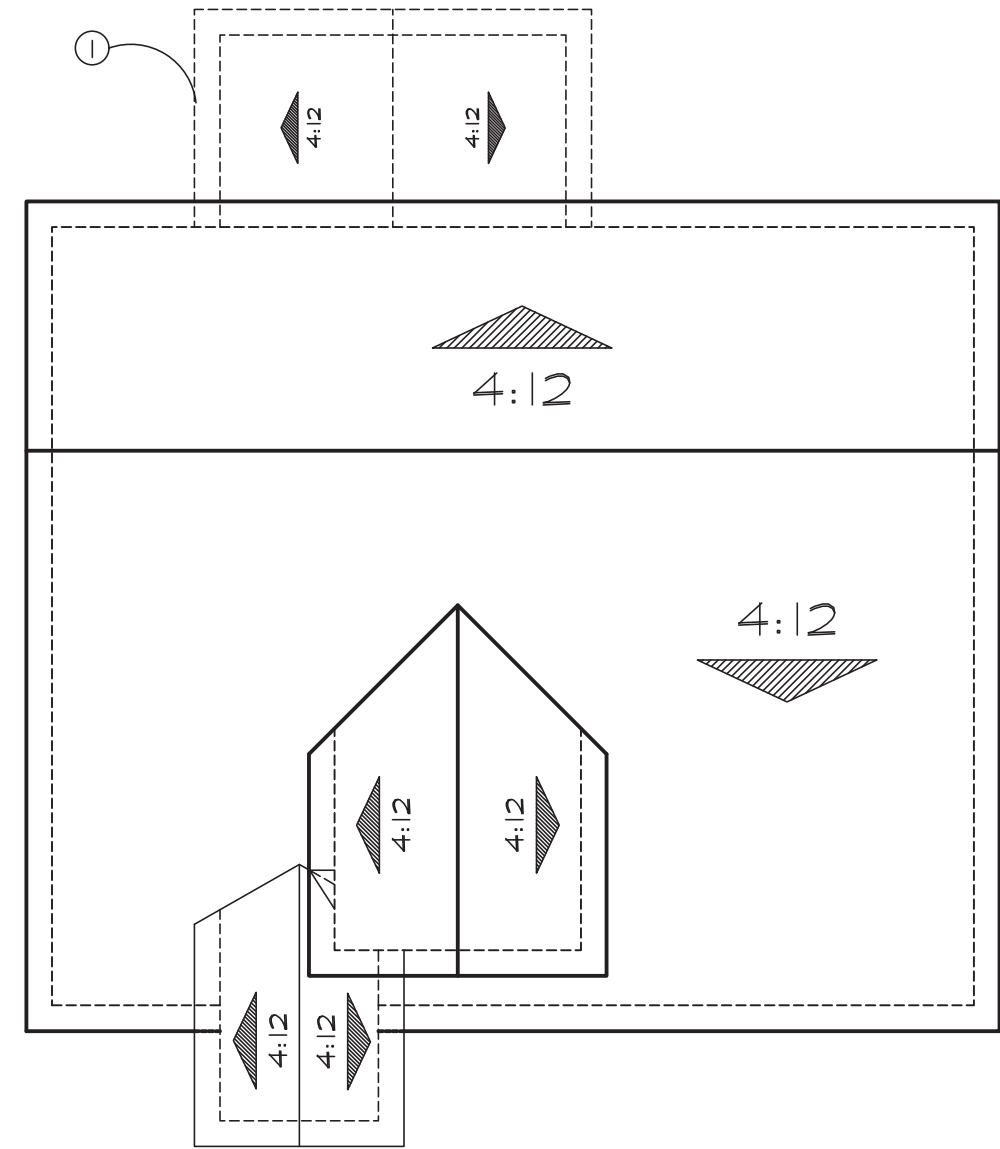
OAKLEY, CA



Discovery Builders Inc.
Date 06/14/24



Roof Plan 'A'



Roof Plan 'B'

① OPTIONAL COVERED PATIO

**Plan 8
Roof Plans**



ROSEWOOD ESTATES

OAKLEY, CA

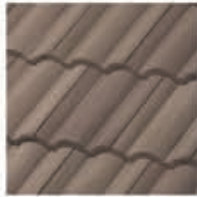























Discovery Builders Inc.
Date 06/14/24

SUBDIVISION: ROSEWOOD

OAKLEY, CA

ELEVATION A

SCHEME	ROOFING TILE NEW POINT CONCRETE ROOF TILE	ROOFING TILE EAGLE ROOFING	BODY 1	BODY 2	TRIM & GARAGE DOOR	ACCENT & FRONT DOOR	MASONRY
SCHEME 1	1VICS3233 BROWN BLEND 	2689 BROWN RANGE 	KMW28 CLAM 	KM5784 CREEK BAY 	KM5792 STACKED STONE 	KM4582 BEAVER PELT 	BUCKS COUNTY SOUTHERN LEDGESTONE 
SCHEME 2	1VICS3233 BROWN BLEND 	2689 BROWN RANGE 	KMW10 POGO SANDS 	KM5785-3 COUNTRY CLUB 	KM5777-2 CANNERY PARK 	KM4897 YIN MIST 	ECHO RIDGE COUNTRY LEDGESTONE 
SCHEME 3	1VICS0024 DESERT SAGE 	2581 ARCADIA CANYON BROWN 	KM4632-1 WHITE SAND 	KM4649-3 OLIVE WOOD 	KMW6-1 LILY WHITE 	KM5751-5 COASTLINE TRAIL 	BUCKS COUNTY COUNTRY LEDGESTONE 
SCHEME 4	1VICS7330 VERONA CLAY 	2773 WALNUT CREEK BLEND 	KM4660-1 WEDDING DRESS 	KM5708-3 LOVER'S LEAP 	KM4552 ANTIQUE WINDMILL 	KMA66 SANTANA SOUL 	CHARDONNAY SOUTHERN LEDGESTONE 

ROOFING: NEW POINT CONCRETE ROOF TILE/EAGLE ROOFING OR EQUIVALENT


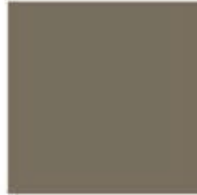













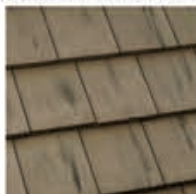





STONE: CULTURED STONE/EL DORADO BRICK OR EQUIVALENT

PAINT: KELLY MOORE OR EQUIVALENT

SUBDIVISION: ROSEWOOD

OAKLEY, CA

ELEVATION B

SCHEME	ROOFING TILE NEW POINT CONCRETE ROOF TILE	ROOFING TILE EAGLE ROOFING	BODY 1	BODY 2	TRIM & GARAGE DOOR	ACCENT & FRONT DOOR	MASONRY
SCHEME 5	1FACS1132 CHARCOAL BROWN BLEND 	4687 BROWN GRAY RANGE 	46 ACOUSTIC WHITE 	KM5771 APPLE HILL 	KM5772 PALM LANE 	KM4575-5 MUDROOM 	TUNDRABRICK ASHLAND 
SCHEME 6	1FACS1132 CHARCOAL BROWN BLEND 	4687 BROWN GRAY RANGE 	KM4706 RUSTIC HACIENDA 	KM5786-5 RIVER BANK 	KM4704-2 DUSTY TRAIL RIDER 	HLS4201 ADOBE WHITE 	TUNDRABRICK CHALK DUST 
SCHEME 7	1FACSC1430 CHARCOAL BLEND 	4595 DARK CHARCOAL 	KM4941 CITY DWELLER 	KM4945-3 SECRET PASSAGEWAY 	KM4786 FRESH LINEN 	407 CARBON 	TUNDRABRICK CHALK DUST 
SCHEME 8	1FACS0024 DESERT SAGE 	4502 ARCADIA CANYON BROWN 	49 ANTIQUE WHITE 	KM4543-2 COFFEE DIVA 	KM4553 BRAUN 	KM4747-3 KNOCK ON WOOD 	TUNDRABRICK ASHLAND 

ROOFING: NEW POINT CONCRETE ROOF TILE/EAGLE ROOFING OR EQUIVALENT

STONE: CULTURED STONE/EL DORADO BRICK OR EQUIVALENT

PAINT: KELLY MOORE OR EQUIVALENT

ROSEWOOD ESTATES TYPICAL LANDSCAPES

OAKLEY, CALIFORNIA
SUBDIVISION 8787

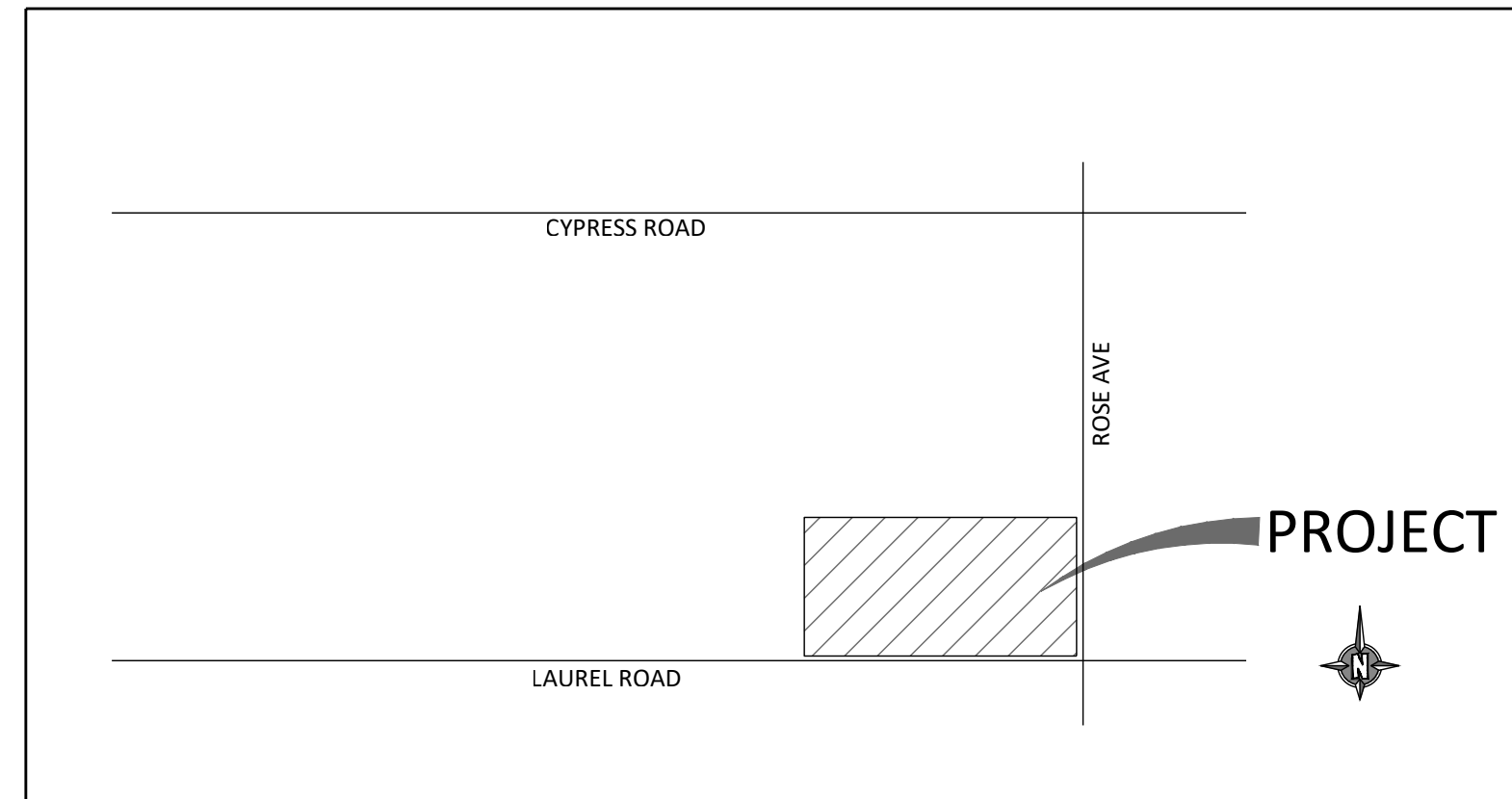
LANDSCAPE GENERAL NOTES

- CONSTRUCTION DOCUMENTS ARE PART OF THE CONTRACT DOCUMENTS. BY SUBMITTING A BID OR STARTING WORK, THE CONTRACTOR SIGNIFIES UNDERSTANDING AND ACCEPTANCE OF ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS PROVIDED BY THE OWNER/DEVELOPER, INCLUDING BUT NOT LIMITED TO THE GENERAL CONDITIONS, SPECIAL CONDITIONS, PROJECT SPECIFICATIONS, CONSTRUCTION DOCUMENTS AND ANY ADDENDA (AS APPLICABLE).
- THE CONTRACTOR SHALL EXAMINE THE SITE, COMPARE IT WITH THE PLANS, CAREFULLY EXAMINE ALL THE CONTRACT DOCUMENTS AND BECOME SATISFIED AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED BEFORE ENTERING INTO THIS CONTRACT. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR ON ACCOUNT OF THAT CONTRACTOR'S ERROR, NEGLIGENCE OR FAILURE TO BECOME ACQUAINTED WITH THE CONDITIONS OF THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VISUALLY INSPECT THE SITE PRIOR TO STARTING THE WORK AND FOR DOCUMENTING DAMAGE TO ANY EXISTING FEATURES. ANY DAMAGE TO THE EXISTING STREETS, SIDEWALKS, ADJACENT PROPERTIES OR ANY EXISTING FEATURES THAT ARE TO REMAIN (INCLUDING BUT NOT LIMITED TO EXISTING PLANT MATERIAL AND UTILITIES) DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- COMPACTION BY JETTING IS NOT PERMITTED UNLESS SPECIFIC REPORTS ARE SUBMITTED BY THE GEOTECHNICAL ENGINEER TO THE ENGINEERING DIVISION STATING THAT COMPACTION OF BACKFILL BY JETTING IS AN ACCEPTABLE METHOD OF COMPACTION FOR THE SOILS ENCOUNTERED.
- THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK DESCRIBED WITHIN THIS PLAN SET. ANY ITEMS REQUIRED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE. LAWN OR WEED REMOVAL SHALL BE COMPLETELY ERADICATED BY USING HERBICIDE AND MECHANICAL MEANS FOR REMOVAL.
- ALL EXISTING FEATURES AND STRUCTURES NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE RETAINED AND PROTECTED IN PLACE. ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO ORIGINAL CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE SUBMITTALS (MANUFACTURERS PRODUCT SHEETS) AND MATERIALS SAMPLES SHALL BE PROVIDED PRIOR TO THE START OF THE WORK. LANDSCAPE SUBMITTALS SHALL INCLUDE, AT A MINIMUM, SOIL AMENDMENTS, IRRIGATION COMPONENTS, PLANT LISTS AND MATERIAL SAMPLES. SUBMITTALS SHALL BE PROVIDED A MINIMUM OF 45 DAYS PRIOR TO MATERIAL ORDERING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING THE CONSTRUCTION PERIOD (OR WHENEVER SOIL IS LEFT EXPOSED). ALL DUST CONTROL MEASURES MUST BE IMPLEMENTED AS NECESSARY, INCLUDING DAYS WHEN CONSTRUCTION ACTIVITIES ARE NOT OCCURRING (I.E. WEEKENDS OR HOLIDAYS).
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ELECTRICAL CONNECTION IN THE FIELD FOR THE IRRIGATION CONTROLLER. COORDINATE THE ELECTRICAL WORK WITH OTHER TRADES.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LABOR, MATERIALS, EQUIPMENT, TOOLS, MACHINERY, UTILITIES, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WHETHER TEMPORARY OR PERMANENT, AND WHETHER INCORPORATED OR NOT INCORPORATED IN THE WORK.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, INCLUDING COORDINATION OF TRADES. ALL WORK SHALL BE ACCOMPLISHED BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS. THE CONTRACTOR SHALL EMPLOY A SUPERINTENDENT TO SUPERVISE THE WORK ON SITE WHO SHALL BE THE CONTRACTORS REPRESENTATIVE.
- CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, INCLUDING AIR QUALITY, NOISE AND WORK HOUR REQUIREMENTS.
- IF ANY HAZARDOUS MATERIALS, BURIAL MARKERS, ARCHEOLOGICAL MATERIALS OR WETLANDS ARE FOUND, CONTRACTOR SHALL SUSPEND WORK IMMEDIATELY AND NOTIFY THE OWNER IN WRITING. WORK SHALL BE SUSPENDED UNTIL THE SIGNIFICANCE OF THE DISCOVERY IS ASSESSED BY A QUALIFIED PROFESSIONAL AND MITIGATION MEASURES ARE APPROVED.
- DURING PROGRESSION OF THE WORK, THE CONTRACTOR SHALL MAINTAIN A COPY OF THE DRAWINGS ON SITE IN A NEAT AND ORDERLY MANNER, INCLUDING ALL ADDENDA, REQUESTS FOR INFORMATION, SUPPLEMENTAL INFORMATION, APPROVED SUBSTITUTIONS, APPROVED SHOP DRAWINGS, AND OTHER DOCUMENTS AND MARK THIS COPY TO INDICATE FIELD CHANGES AND AS-BUILT CONDITIONS THROUGHOUT THE PROGRESSION OF THE WORK.
- UNTIL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND MAINTAIN THE JOB SITE, INCLUDING ERECTING TEMPORARY FENCING, REMOVING TRASH, SWEEPING AND CLEANING. THE JOB SITE SHALL BE KEPT IN A NEAT AND CLEAN CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS ON THE JOB SITE AND SHALL REPLACE ANY MATERIALS DAMAGED OR LOST THROUGH THEFT OR OTHER REASONS AT NO ADDITIONAL COST TO THE OWNER.

SHEET INDEX

- L1.0 LANDSCAPE COVER SHEET
- L2.0 IRRIGATION NOTES AND DETAILS
- L2.1 TYPICAL LOT IRRIGATION PLANS
- L3.0 STREET TREE AND FENCING MASTER PLAN
- L3.1 PLANTING NOTES AND DETAILS
- L3.2 TYPICAL PLANTING PLAN
- L3.3 TYPICAL PLANTING PLAN

VICINITY MAP-NTS



OWNER

DISCOVERY BUILDERS INC- LAND
3240 STONE VALLEY ROAD WEST, SUITE 2
ALAMO, CA 94507
DIRECT: 925-682-6419
CONTACT: MONTE DAVIS
MDAVIS@DISCOVERYBUILDERS.COM

LANDSCAPE ARCHITECT

MSLA LANDSCAPE ARCHITECTURE, INC.
306 CANYONON FALLS DRIVE
FOLSOM, CALIFORNIA 95630
(916) 989-3372
CONTACT: MICHAEL SHULAR
MSHULAR@MSLADDESIGN.COM

LANDSCAPE COMPLIANCE STATEMENT:

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNED: DATE: 7/3/2024

APPROVAL SIGNATURES

PLANNING: _____

ENGINEERING: _____

LANDSCAPE MAINTENANCE

- THE MAINTENANCE PERIOD FOR THE PROJECT SHALL BE A MINIMUM OF 60 WORKING DAYS. THE CONTRACTOR SHALL INCLUDE A MINIMUM OF TWO TWO DAYS PER WEEK OF SITE MAINTENANCE DURING THE DURATION OF THE MAINTENANCE PERIOD.
- THE MAINTENANCE PERIOD MAY BE EXTENDED BEYOND THE STATED NUMBER OF WORKING DAYS IF THE MAINTENANCE PROVIDED IS NOT DEEMED SUFFICIENT BY THE OWNER. ANY EXTENDED PERIODS OF MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MAINTENANCE PERIOD SHALL NOT BEGIN UNTIL ALL AREAS ARE INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND WRITTEN NOTICE IS PROVIDED BY THE OWNER. A PRIME REQUIREMENT TO STARTING THE MAINTENANCE PERIOD, IS THAT ALL LANDSCAPE AREAS ARE PLANTED, WEED FREE, AND GROWING IN A HEALTHY VIGOROUS RATE; LAWN AREAS SHALL BE MOWN TWICE (AS APPLICABLE).
- IF THE MAINTENANCE PERIOD HAS BEGUN, THE CONTRACTOR SHALL BEGIN MAINTAINING ALL AREAS IMMEDIATELY UPON INSTALLATION OF EACH LANDSCAPE ITEM, REGARDLESS OF THE MAINTENANCE PERIOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE MAINTENANCE FOR ALL LANDSCAPE COMPONENTS. MAINTENANCE SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO WEEDING, SHRUB AND TREE CARE, IRRIGATION SCHEDULING AND ADJUSTMENTS, TRASH CLEAN-UP, AND GENERAL MONITORING. TRASH/DEBRIS SHALL BE LEGALLY DISPOSED OFF-SITE.
- FERTILIZER SHALL BE APPLIED PER THE REQUIREMENTS OF THE SOILS ANALYSIS DURING THE MAINTENANCE PERIOD.
- ALL PLANTER AREAS SHALL CONTAIN MINIMUM BARK DEPTHS NOTED ON THE PLANS AT ALL TIMES. REPLACE AND/OR FILL BARK AS NEEDED TO MAINTAIN MINIMUM DEPTHS UNTIL THE COMPLETION OF THE MAINTENANCE PERIOD.
- PLANTER AREAS SHALL BE WEED-FREE AT ALL TIMES. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONTINUOUSLY MAINTAINING ALL AREAS IN A WEED-FREE CONDITION BY USE OF HERBICIDES OR OTHER MEASURES, INCLUDING HAND WEEDING. SELECTIVE HERBICIDES SHALL BE USED AS NECESSARY TO MITIGATE CERTAIN WEEDS THAT MAY PRESENT.
- PRIOR TO THE START OF THE MAINTENANCE PERIOD, CONTRACTOR SHALL PROVIDE RECORD DRAWINGS, CONTROLLER CHARTS, O&M PROCEDURES/MANUALS AND A MAINTENANCE SCHEDULE DESCRIBING MAINTENANCE PRACTICES TO THE OWNER FOR REVIEW/APPROVAL. FAILURE TO SUBMIT THE REQUIRED CERTIFICATES MAY DELAY THE FINAL APPROVAL OF THE LANDSCAPE IMPROVEMENTS AND PROJECT CERTIFICATE OF OCCUPANCY

CERTIFICATE OF COMPLETION

This certificate (or City/County Certificate) is to be completed by the applicant/owner upon completion of the landscape project. Contractor to coordinate all requirements with the owner and/or building inspector on required document(s) prior to final inspection. Contractor is responsible to include all minimum documents noted in this sample certificate as part of the landscape scope of work.

PART 1- PROJECT INFORMATION

Project Address and Contact Information

Date	Assessor's Parcel Number	
Project Name	Permit Number	
Name of Applicant	Phone Number	
	Fax Number	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Property Owner or His/Her Designee

Name of Applicant	Phone Number	
	Fax Number	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Property Owner

"I/we certify that I/we received copies of all the documents within the landscape documentation package and the certificate of completion and that it is our responsibility to see that the project is maintained in accordance with the landscape and irrigation maintenance schedule."

Property Owner Signature _____ Date _____

PART 2- CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/we certify that based on periodic site observations, the work has been substantially completed in accordance with the water efficient landscape ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved landscape documentation package"

Signature*	Date	
Name (print)	Telephone Number	
Title	Phone Number	
License Type and Number	Fax Number	
Company	Email Address	
	Street Address	
City	State	Zip Code

*Owner, owners representative or the installation contractor

PART 3- SAMPLE IRRIGATION SCHEDULE

Irrigation contractor shall prepare an irrigation schedule for the entire project designating irrigation run-times for each zone with days of operation per season (Spring, Summer, Fall and Winter), cycles per day and shall be set per specific site requirements. The final schedule shall consider plant water requirements, sun exposure and water application.

PART 4- SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

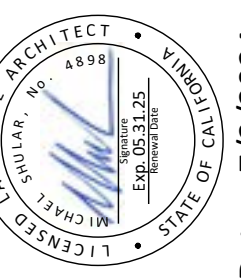
Contractor to provide a written schedule for site planting and irrigation maintenance as required by the water efficient landscape ordinance, including a landscape waste diversion plan.

PART 5- LANDSCAPE IRRIGATION AUDIT REPORT

Provide an audit of the installed irrigation system conducted by a third party certified landscape irrigation auditor. Irrigation audit shall not be conducted by the person who designed the landscape or installed the landscape. Audits to be performed per requirements stated in WELO code for production landscape installations (1 for every 7 lots or approximately 15% of total lots)

PART 6- SOIL MANAGEMENT REPORT

Contractor to attach the soils fertility report (per planting notes). Include a statement on contractors company letterhead certifying that all planters were amended per the recommendations of the soil fertility report. Include the certification as part of the certificate of completion. Reports to be performed per requirements stated in WELO code for production landscape installations (1 for every 7 lots or approximately 15% of total lots)



Date:	JULY 3, 2024
Drawn By:	MS
Checked By:	MS
Scale:	AS NOTED
Project Number:	123724.002

REVISIONS

No.	Date	Description

ROSEWOOD ESTATES
NW CORNER OF LAUREL ROAD AND ROSE AVENUE
OAKLEY, CA
LANDSCAPE COVER SHEET

L1.0

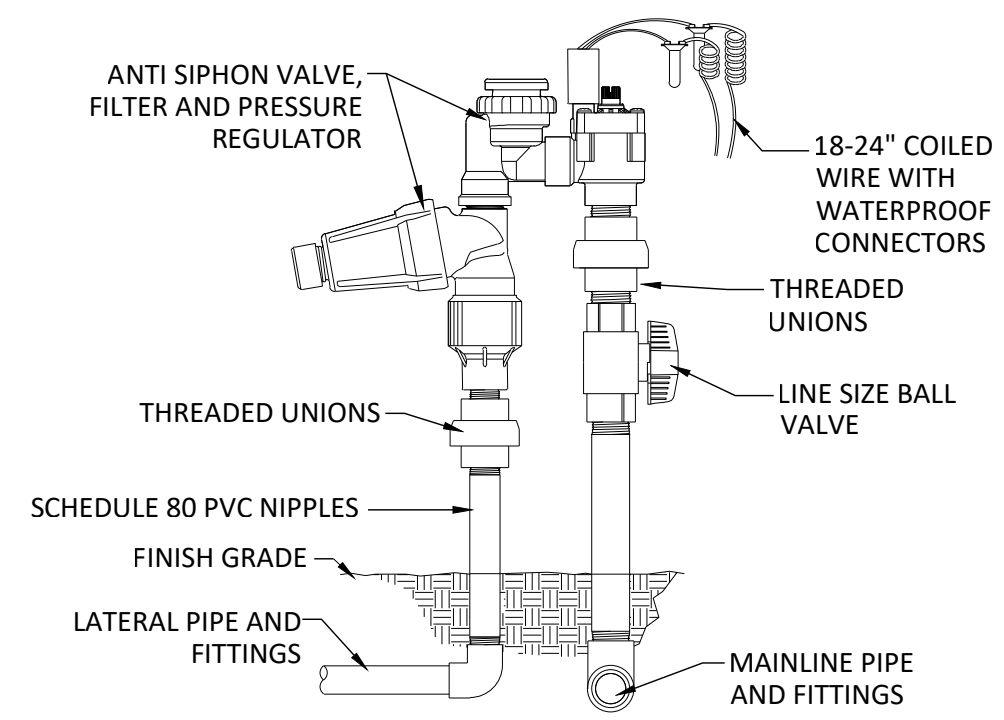
Sheet 1 of 7

IRRIGATION NOTES

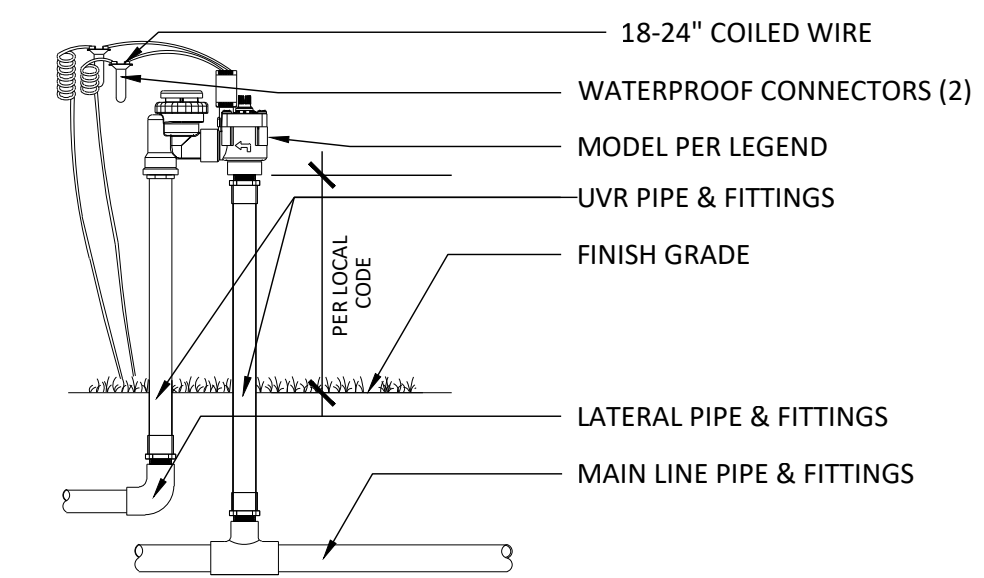
1. THESE PLANS ARE DIAGRAMMATIC. ALL EQUIPMENT SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED TO COMPLETE THE WORK. CONTRACTOR IS RESPONSIBLE FOR INCLUDING ALL COMPONENTS REQUIRED TO COMPLETE THE WORK.
2. IRRIGATION CONTRACTOR SHALL FLUSH ALL LINES FOR MAXIMUM SYSTEM PERFORMANCE BEFORE AND AFTER EMITTER INSTALLATION.
3. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE WORK AS SPECIFIED IN THE SPECIFICATIONS AND AS SHOWN ON THE PLANS (IF APPLICABLE).
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
5. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN THE PLANS AND/OR SPECIFICATIONS PRIOR TO BEGINNING WORK.
6. SUBSTITUTIONS, DELETIONS OR CHANGES TO THE PLANS OR SPECIFICATIONS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT.
7. ALL CONSTRUCTION SHALL CONFORM TO LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO THE START OF WORK.
8. THE IRRIGATION PLAN IS SCHEMATIC IN NATURE. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL FIELD CONDITIONS TO GUARANTEE ADEQUATE IRRIGATION COVERAGE TO ALL PLANT MATERIAL.
9. EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE. TRENCHING WITHIN DRIP LINES OF TREES AND SHRUBS TO REMAIN SHALL BE DONE BY HAND. DAMAGE TO EXISTING TREE AND/OR PLANT MATERIAL TO REMAIN SHALL BE REPLACED BY THE CONTRACTOR IN KIND AND AT NO ADDITIONAL COST TO THE OWNER.
10. THE IRRIGATION CONTROLLER SHALL BE WIRED DIRECTLY TO A 110 VOLT POWER SOURCE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CONTROLLER WIRING TO THE POWER SOURCE. THE INSTALLATION SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL ORDINANCES THAT APPLY.
11. THE FINAL LOCATION OF THE IRRIGATION CONTROLLER SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
12. ALL MATERIAL SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
13. SCHEDULE 40 PVC PIPE SLEEVING (2X THE SIZE OF PIPE TO BE SLEEVED) IS REQUIRED FOR ALL IRRIGATION LINES THAT RUN UNDER HARDSCAPE. IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE PLACEMENT OF SLEEVING PRIOR TO PAVING OPERATIONS.
14. CONTRACTOR SHALL INSTALL DRIP AND SPRAY ON SEPARATE ZONES. FOR RETROFIT INSTALLATIONS, IN THE EVENT THAT DRIP AND SPRAY IRRIGATION ARE CONNECTED TO THE SAME ZONE, CONTRACTOR SHALL BE RESPONSIBLE FOR SEPARATION BY EITHER INSTALLING A NEW VALVE OR CONNECTING DRIP/SPRAY TO ADJACENT DRIP/SPRAY ZONES. IN EITHER CASE, VERIFICATION OF FLOW CAPACITY FOR MATERIAL SIZING SHALL BE PERFORMED PRIOR TO COMPLETING THE WORK.
15. PRESSURE TEST ALL LINES UNDER HYDROSTATIC PRESSURE OF 125 POUNDS PRIOR TO INSTALLATION OF VALVES. PRESSURE SHALL HOLD FOR A MINIMUM OF TWO (2) HOURS. INGRESS OF THE SYSTEM SHALL BE PROVIDED PRIOR TO BACKFILL AND PLANTING OPERATIONS.
16. THREADED PLASTIC PIPE JOINTING: DO NOT USE SOLVENT CEMENT ON THREADED JOINTS, WRAP MALE PLASTIC THREADED JOINTS WITH TEFLON TAPE.
17. IRRIGATION VALVE BOXES SHALL BE NDS 10" ROUND WITH GREEN OR BLACK COVER, 13"x20" OR 14"x19" PRO SERIES RECTANGLE VALVE BOXES. SIZE OF BOX TO BE SELECTED TO ACCOMMODATE EASE OF ACCESS AND FUTURE MAINTENANCE OF VALVES. SEE IRRIGATION DETAILS FOR ADDITIONAL INFORMATION.
18. AS-BUILT OR RECORD DRAWINGS SHALL BE PROVIDED PRIOR TO THE START OF THE MAINTENANCE PERIOD. AS-BUILT DRAWINGS SHALL BE PROVIDED ON CLEAN COPIES OF THE FINAL DRAWINGS AND SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THE FOLLOWING INFORMATION:
 - CONNECTION TO EXISTING WATER LINES AND/OR IRRIGATION CONNECTION.
 - IRRIGATION CONTROLLER.
 - GATE VALVES.
 - QUICK COUPLER VALVES.
 - ROUTING OF PRESSURE MAINLINE WITH OFFSET DIMENSIONS FROM KNOWN POINTS (MAXIMUM 100' ALONG ROUTING).
 - IRRIGATION CONTROL VALVES AND FINAL STATION NUMBERING.
19. A COLOR-CODED AND LAMINATED DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES (MINIMUM SIZE TO BE 11"x17").
20. IRRIGATION CONTRACTOR RESPONSIBLE TO ADJUST/TUNE THE IRRIGATION INSTALLATION TO ELIMINATE OVERSPRAY ONTO SIDEWALKS OR DRIVEWAYS.
21. CONTRACTOR TO PROVIDE PHOTO DOCUMENTATION OF SUBSURFACE ITEMS PRIOR TO BACKFILL TO CONFIRM COMPONENTS WERE INSTALLED PER CONTRACT DOCUMENTS. PHOTOGRAPHS TO BE PROVIDED WITH CLOSE-OUT DOCUMENTS AT THE COMPLETION OF THE JOB.

IRRIGATION LEGEND

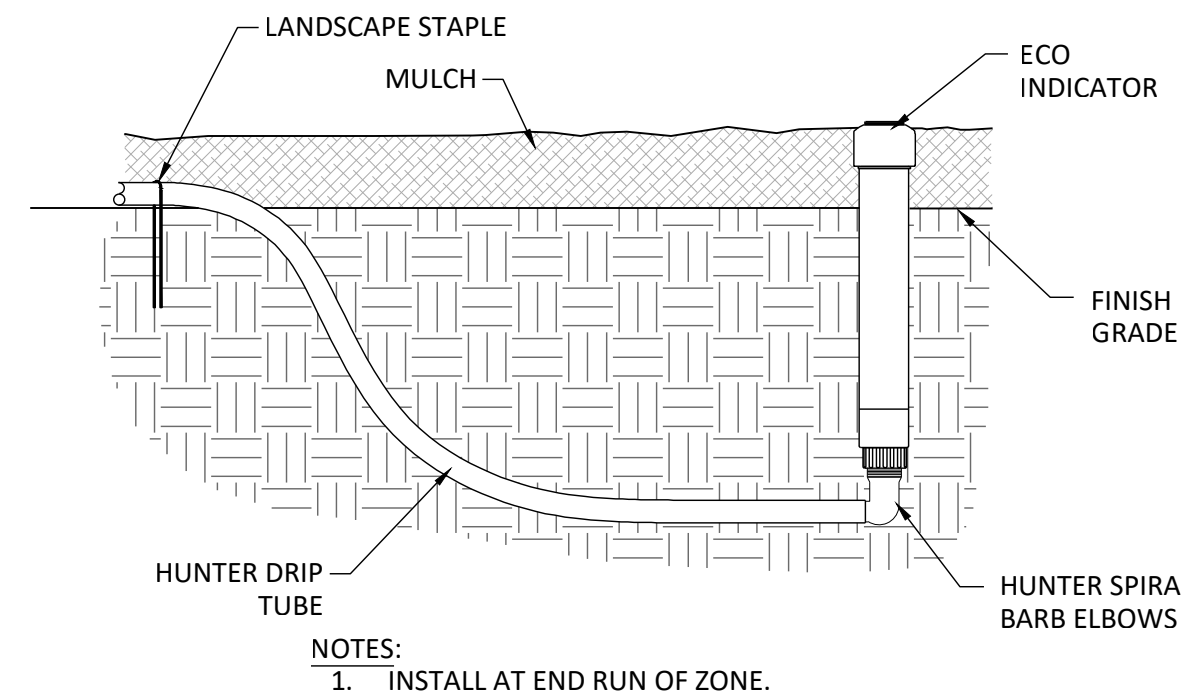
SYMBOL	MANUFACTURER	REMARKS
⊕	IRRIGATION POINT OF CONNECTION (WATER STUB PER UTILITY PLANS).	CONNECT PER DETAIL A, NEXT SHEET.
⊕	3/4" AUTOMATIC IRRIGATION CONTROL VALVES: HUNTER ACZ-075-25 DRIP ZONE CONTROL KIT (DRIP) HUNTER PGV-075-ASV VALVES (TREE BUBBLERS)	INSTALL PER MANUFACTURERS SPECIFICATIONS. SIZE PER PLAN. ADJUST/TUNE VALVES AS REQUIRED TO ENSURE PROPER WATER DISTRIBUTION TO ALL PLANTER AREAS.
C	HUNTER X-CORE 8-STATION INTERIOR PLASTIC WALL MOUNT CONTROLLER. (COORDINATE FINAL LOCATION WITH OWNER).	PROVIDE 110V ELECTRICAL CONNECTION IN FIELD TO CONTROLLER LOCATION AS SHOWN AND AS APPROVED BY OWNER PRIOR TO INSTALLATION.
	INSTALL WITH HUNTER SOLAR SYNC (WIRELESS SENSOR WITH MOUNTING ARM, DIGITAL MODULE AND RECEIVER)	INSTALL PER MANUFACTURERS SPECIFICATIONS.
	SLEEVING LOCATIONS FOR IRRIGATION LINE CROSSINGS. (SLEEVES TO BE 2X THE SIZE OF THE PIPE TO BE SLEEVED).	COORDINATE WITH SITE DEVELOPMENT PLANS AND OTHER TRADES.
- - - - -	HUNTER PLD BLANK TUBE DRIP LINES (NON-PRESSURE)	INSTALL PER POINT SOURCE DRIP DETAIL I/SHEET L1.
— — — — —	CLASS 200 PVC LATERAL LINES (NON-PRESSURE)	INSTALL PER IRRIGATION DETAILS. SIZE PER PLAN.
~ ~ ~ ~ ~	PIPE-HOP LOCATIONS	GRAPHIC TO DENOTE SEPARATION OF ZONES.
- - - - -	1" SCHEDULE 40 PVC IRRIGATION MAINLINE. ACTUAL LOCATION SHALL BE LOCATED WITHIN PLANTER AREAS.	IRRIGATION MAINLINE SHOWN UNDER PAVED AREAS FOR PLAN CLARITY ONLY.
O	HUNTER PROS-04-CV WITH PCN-50 BUBBLER NOZZLE. INSTALL WITH FACTORY INSTALLED CHECK VALVE. NOTE: INSTALL TWO (2) PER TREE- 1.0 GPM TOTAL PER TREE.	TRICKLE PATTERN .5 GPM 30 PSI



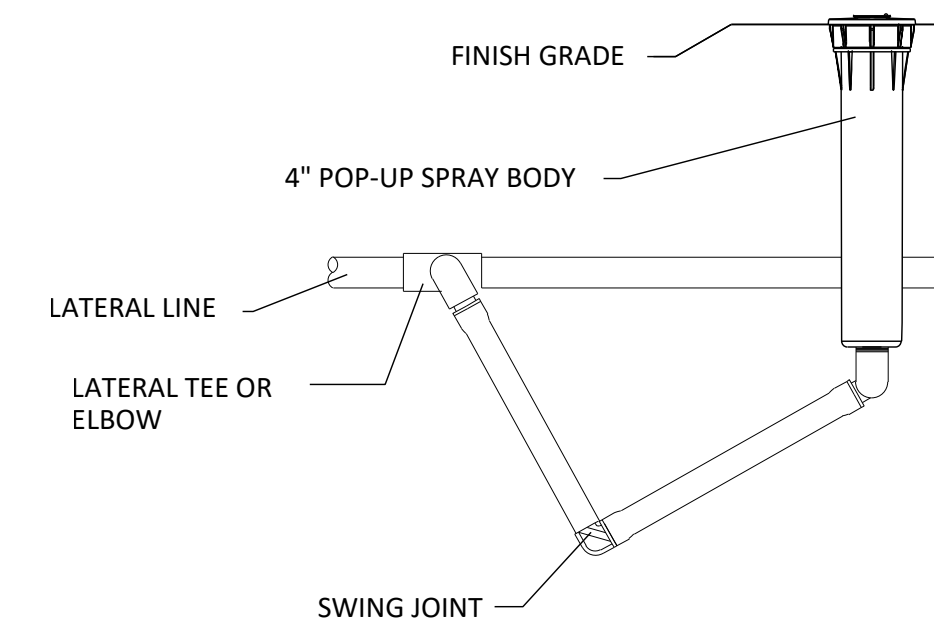
A- REMOTE CONTROL VALVE (DRIP)
NTS



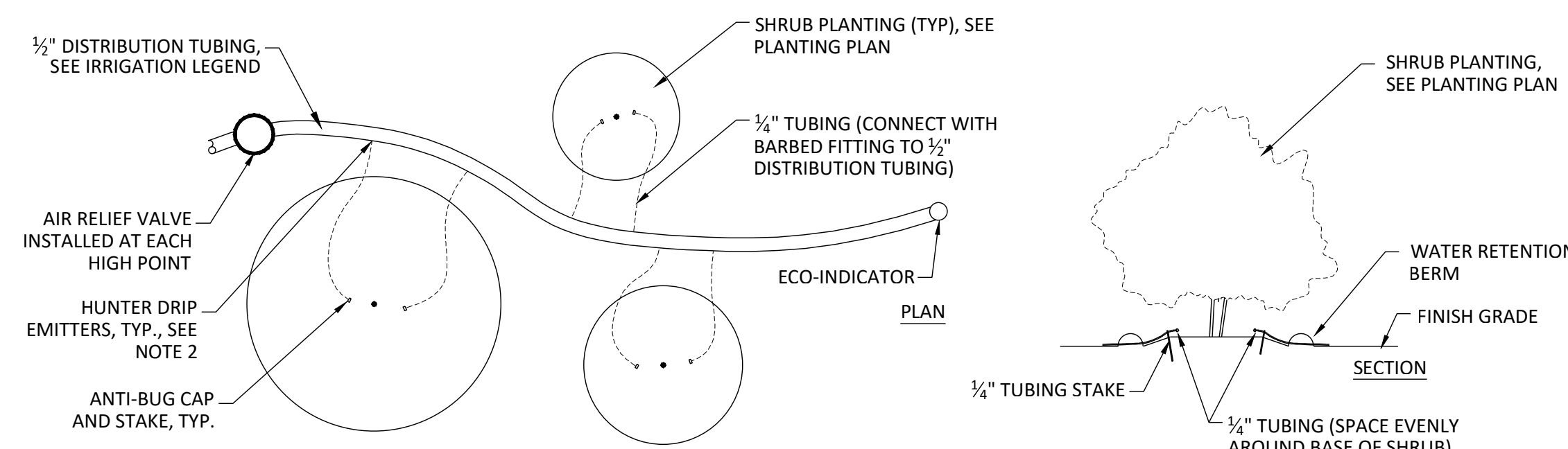
CB REMOTE CONTROL VALVE (BUBBLER)
NTS



C- ECO INDICATOR INSTALLATION
NTS



D- POP-UP SPRAY HEAD (BUBBLERS)
NTS

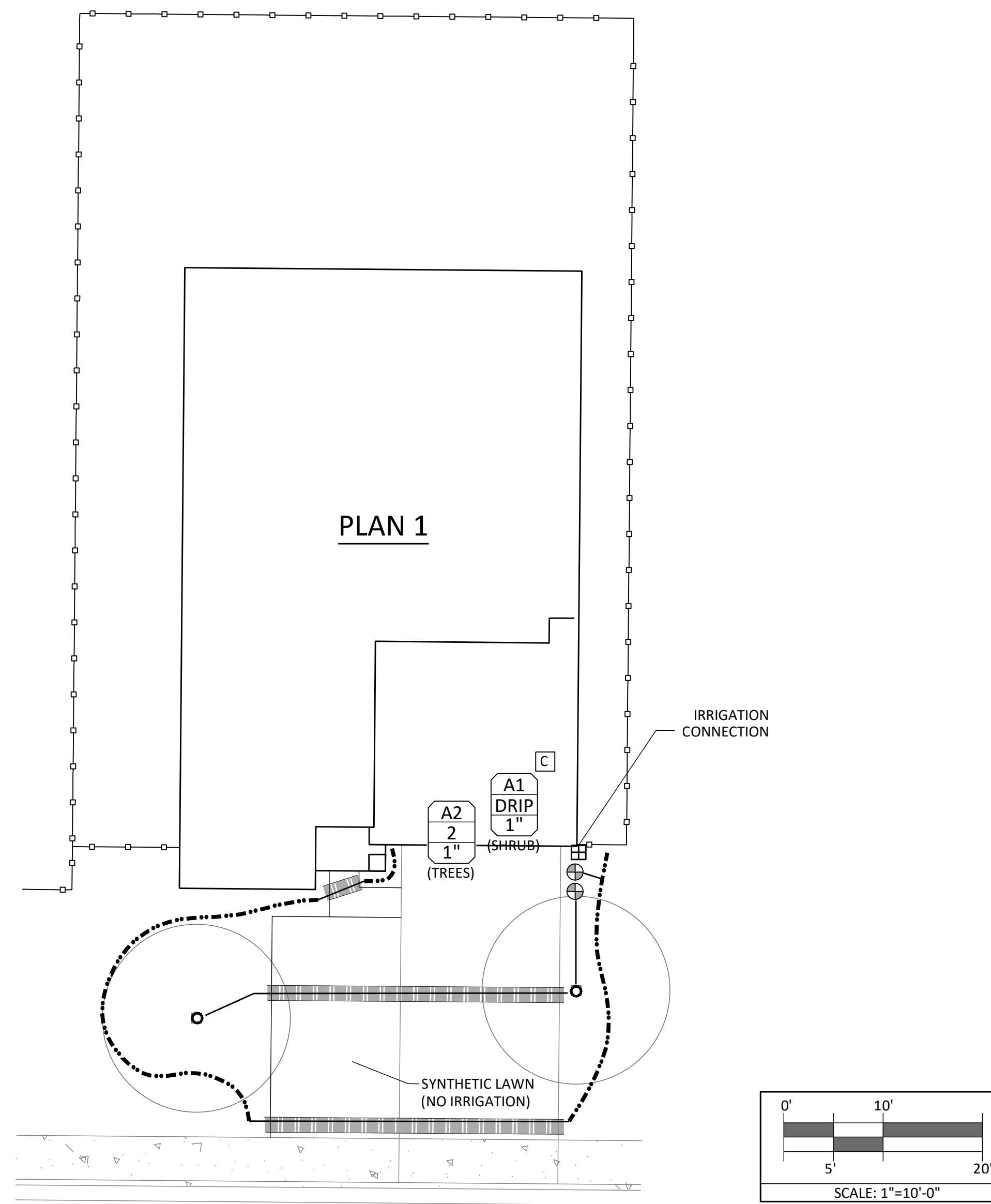


- NOTES:**
1. MAXIMUM LENGTH OF 1/2" TUBING NOT TO EXCEED 24" (OR AS RECOMMENDED BY MANUFACTURER).
 2. INSTALL TWO (2) 1.0 GPH EMITTERS PER 1 GALLON SHRUB AND TWO (2) 2 GPH EMITTERS PER 5 GALLON SHRUB. SPACE EVENLY AROUND ROOTBALL.
 3. INSTALL TREES ON SEPARATE ZONES BUBBLERS.
 4. CONNECT 1/2" DISTRIBUTION LINE TO PVC LATERAL PER SECTION ABOVE.
 5. INSTALL SOIL STAPLES 36" ON CENTER ALONG THE DISTRIBUTION TUBE AND AT EVERY FITTING.
 6. ALL FITTINGS TO BE HUNTER PLD LOC FITTINGS.
 7. EMITTERS TO BE HUNTER POINT SOURCE PRESSURE COMPENSATING SELF-PIERCING (MODELS HE-10-B & HE-20-B).

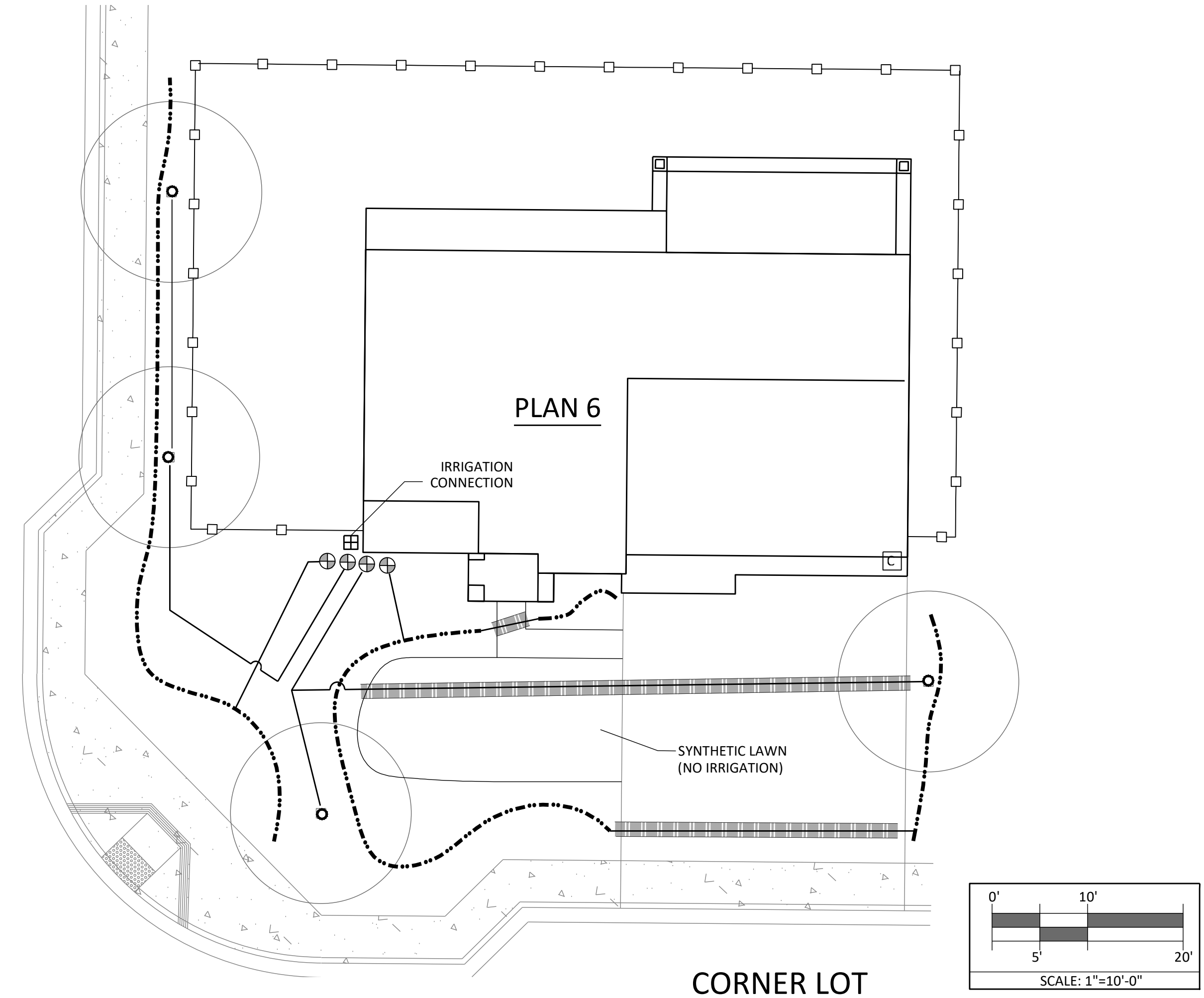
E- POINT SOURCE DRIP TUBE LAYOUT
NTS

REVISIONS

No.	Date	Description



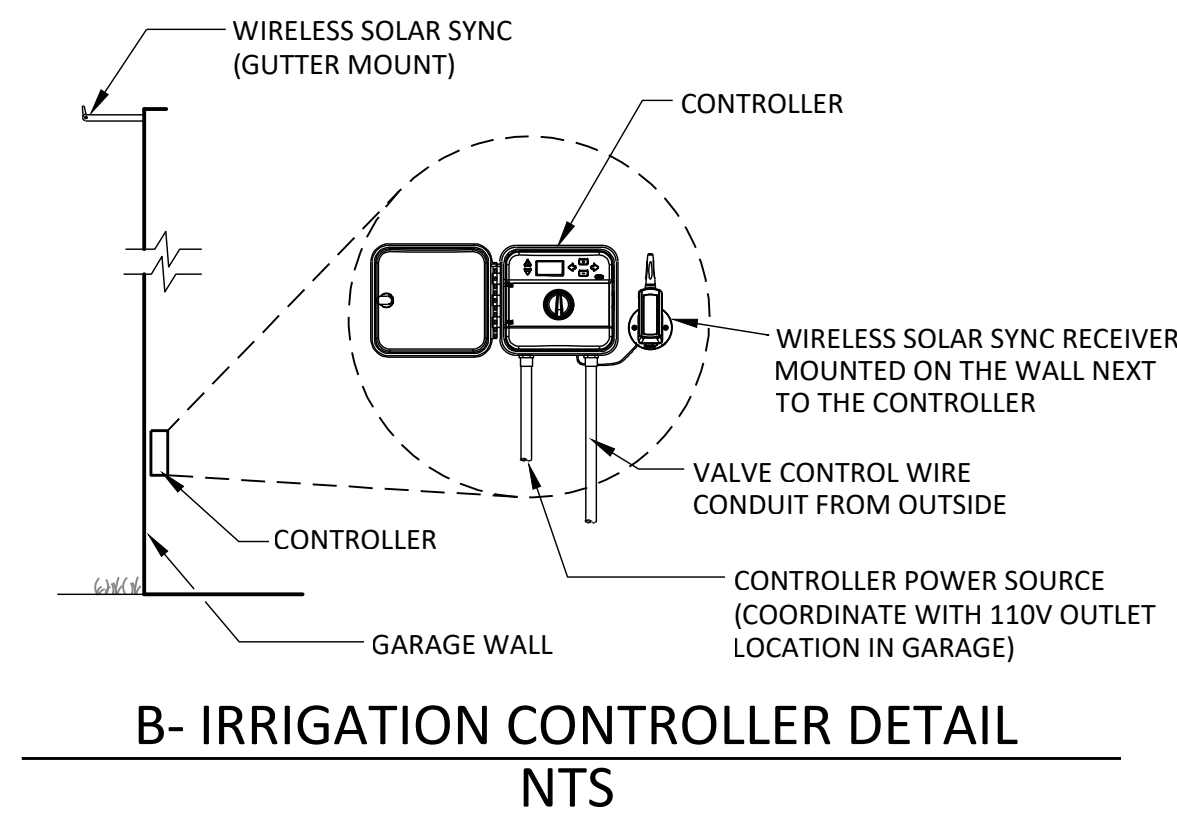
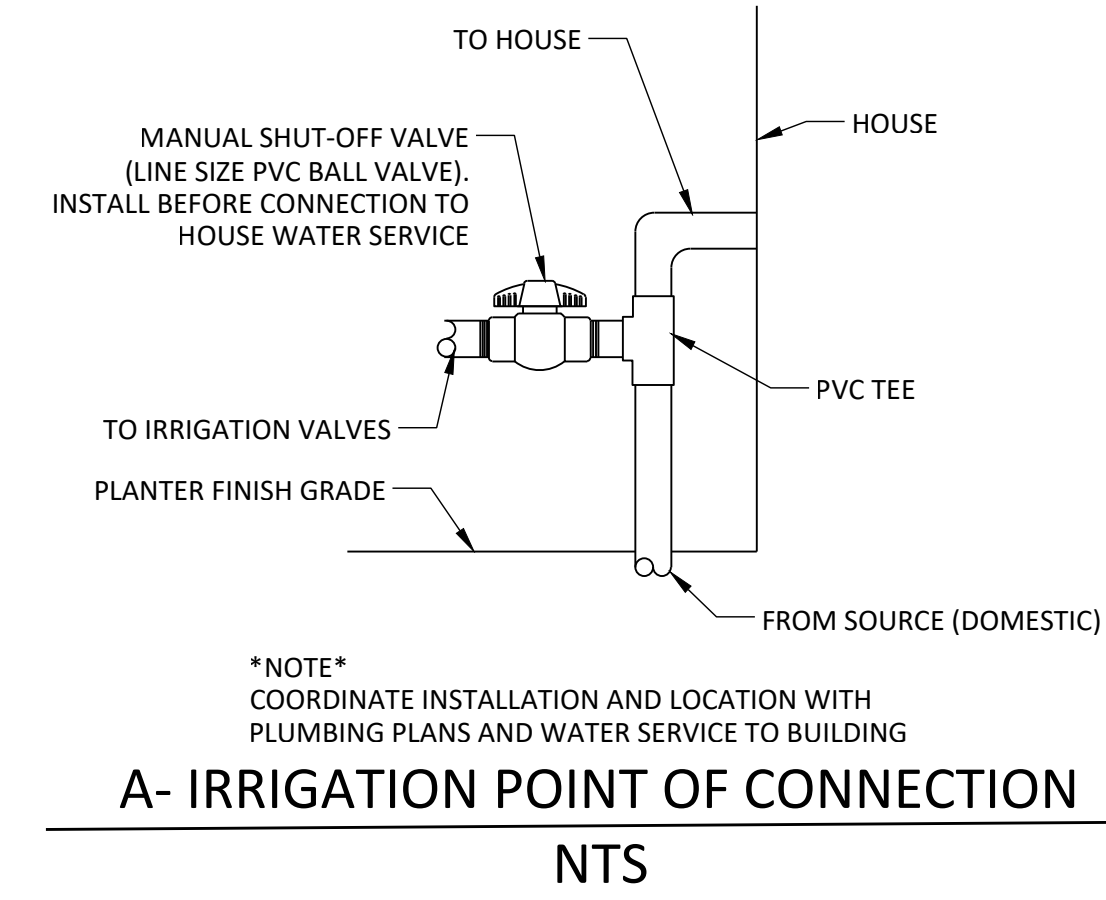
INTERIOR LOT



CORNER LOT

VALVE CALL-OUT KEY

A1	CONTROLLER STATION
DRIP	GALLONS PER MINUTE
1"	VALVE SIZE
(TREES)	HYDROZONE PLANT TYPE



GENERAL LOT NOTES

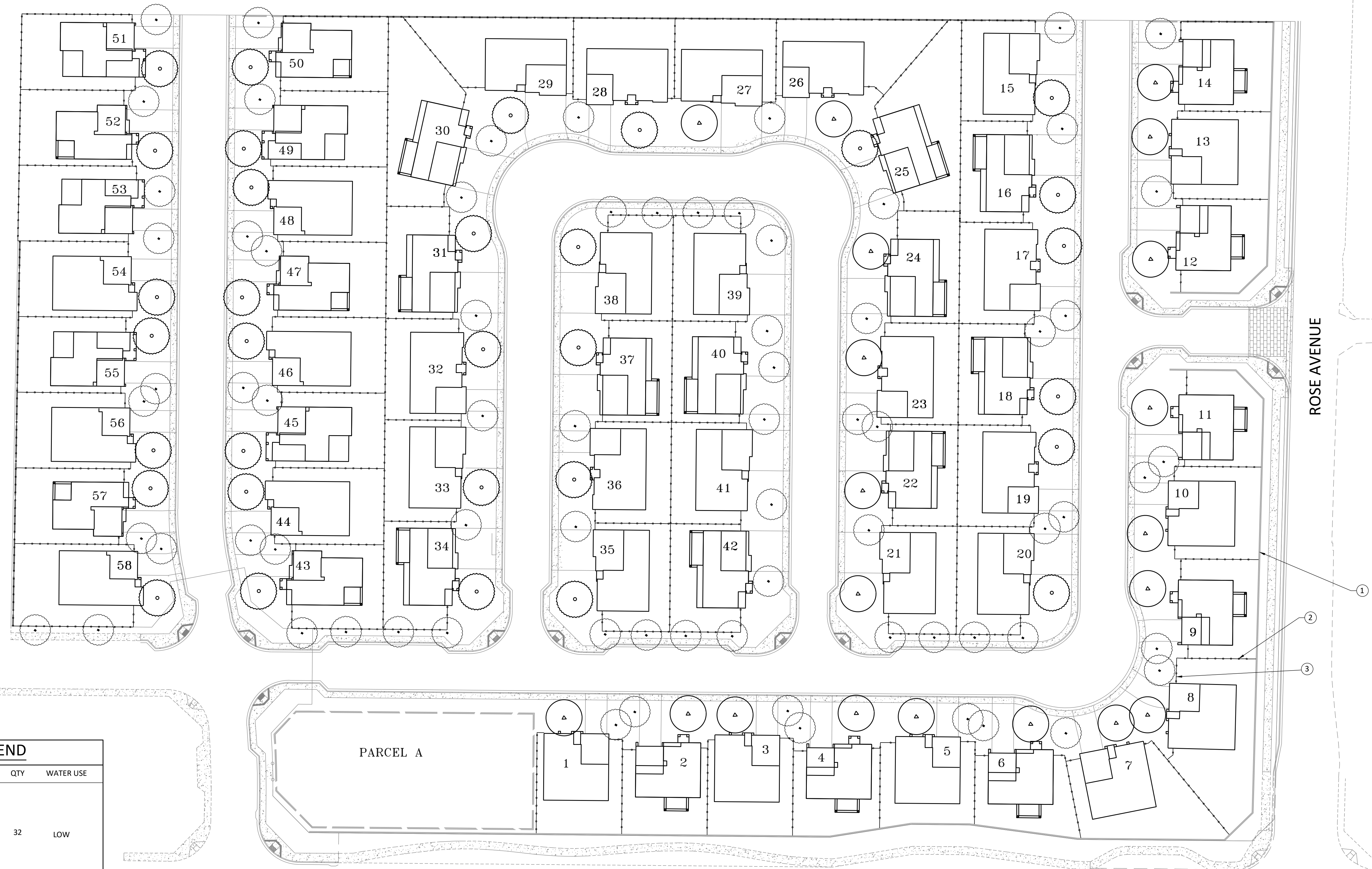
- ALL WALKS ON THIS PLAN ARE SCHEMATIC AND SHALL BE VERIFIED WITH CIVIL ENGINEERING PLANS.
- VERIFY LOCATION OF ALL FENCES AND SIDE YARD GATES PRIOR TO INSTALLING ANY WALKS.
- STUB REMAINING CONTROL WIRES IN BACK YARD FOR FUTURE USE.
- HOUSE LAYOUT, DRIVEWAY AND OTHER BASE ITEMS ARE SHOW TO REPRESENT GENERAL LAYOUT AND ARE NOT MEANT TO SHOW SPECIFIC HOME LOT LAYOUT. ADJUST THE ACTUAL IRRIGATION LAYOUT AND ALL EQUIPMENT (INCLUDING SLEEVING AND LATER LINE LOCATIONS) BASED ON ACTUAL LOT AND HOME LAYOUT.

IRRIGATION POINT OF CONNECTION
CONNECT AT MAIN WATER CONNECTION AT HOUSE AND RUN PRESSURE MAINLINE WHERE INDICATED ON THE PLANS (CONFIRM LOCATION IN FIELD). VERIFY STATIC WATER PRESSURE ON SITE AND PRIOR TO INSTALLING IRRIGATION SYSTEM. THIS SYSTEM IS DESIGNED FOR A MAXIMUM FLOW OF 10 GPM WITH A MINIMUM STATIC PRESSURE OF 55 PSI AT THE POINT OF CONNECTION. THE CONTRACTOR MUST PERFORM A STATIC WATER PRESSURE TEST TO CONFIRM WATER PRESSURE AND NOTIFY LANDSCAPE ARCHITECT IF THE PRESSURE DIFFERS MORE THAN 10% THAN THE STATED DESIGN PRESSURE.

Date:	JULY 3, 2024
Drawn By:	MS
Checked By:	MS
Scale:	AS NOTED
Project Number:	123724.002

REVISIONS	
No.	Description

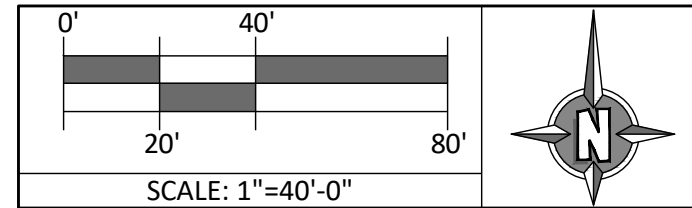
ROSEWOOD ESTATES
NW CORNER OF LAUREL ROAD AND ROSE AVENUE
OAKLEY, CA
TYPICAL LOT IRRIGATION PLAN



SEE SHEET L3.1 FOR FENCING AND PLANTING NOTES AND DETAILS

MASTER TREE LEGEND			
SYMBOL	BOTANICAL/ COMMON NAME	QTY	WATER USE
24" BOX			
	PISTACIA CHINENSIS/ CHINESE PISTACHE	32	LOW
	QUERCUS ILEX/ HOLLY OAK	20	LOW
15 GAL			
	LAGERSTROEMIA 'DYNAMITE'/ CRAPE MYRTLE	73	LOW

KEY
 ① PROJECT SOUNDWALL. REFER TO CIVIL AND STREETScape SET.
 ② 6' WOOD FENCE. SEE DETAIL E, SHEET L3.1
 ③ YARD GATE. SEE DETAIL D, SHEET L3.1



REVISIONS	
No.	Description

PLANTING NOTES

- PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
- PROVIDE MINIMUM SLOPE OF 1-1/2% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
- THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES. DO NOT STORE CONSTRUCTION EQUIPMENT BELOW THE CANOPY OF ANY TREES TO REMAIN. DAMAGE TO ANY EXISTING TREES OR PLANT MATERIAL TO REMAIN SHALL BE REPLACED BACK TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE CONTRACTOR SHALL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS COMPARABLE TO THE ORIGINAL SPECIFIED SPECIES. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER. CONTRACTOR TO SOURCE MULTIPLE NURSERIES WHEN ORDERING PLANT MATERIAL.
- THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY IMPERVIOUS LAYER IF ENCOUNTERED.
- ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK' AND MEET THE MINIMUM SIZES:

SHRUBS/GROUND COVER						
	HEIGHT	SPREAD	TREES	HEIGHT	SPREAD	CALIPER
1 GAL.	9-11"	6-8"	15 GAL.	8'-11"	30-36"	1" - 1-1/4"
5 GAL.	18-24"	15-18"	24" BOX	11'-14"	36-48"	2" - 2-1/2"
15 GAL.	36-42"	36-42"	36" BOX	14'-16"	48-60"	3" - 3-1/2"
- TREE ROOTS SHALL BE VISUALLY INSPECTED IN CONTAINERS PRIOR TO PLANTING. CONTRACTOR SHALL CONFIRM THAT NO CIRCLING ROOTS ARE LOCATED WITHIN THE TOP SOIL OF THE CONTAINER.
- ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN 10' OF ANY CURB AND/OR HARDSCAPE PAVEMENT.
- PLANTER AREAS (AND/OR AREAS NOTED) SHALL RECEIVE A 3" LAYER OF CRUSHED ROCK TO COVER BARE SOIL. ROCK SHALL BE LOCALLY AVAILABLE AND BE A SIZE RANGE OF 1" TO 3/4" MINUS, NO FINES. BARK MULCH SHALL NOT BE USED IN PLANTER AREAS.
- INSTALL WEED MAT BELOW ALL CRUSHED ROCK WITH THE EXCEPTION OF HYDROSEED OR LAWN AREAS (AS APPLICABLE).
- ANY LAWN AREAS SHALL BE BID AS SOD UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL MAKE SCHEDULING PROVISIONS TO ASSURE THAT ALL SOD IS INSTALLED PRIOR TO OCTOBER 1. ANY LAWN INSTALLED AFTER OCTOBER 1 SHALL BE SUBJECT TO AN EXTENDED ESTABLISHMENT PERIOD (MINIMUM 6 MONTHS) TO GUARANTEE PROPER ESTABLISHMENT.
- CONTRACTOR RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL AT ALL TIMES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE ALL MEASURES ARE FUNCTIONING PROPERLY.
- ALL AREAS THAT ARE EXPOSED SHALL BE PLANTED WITH HYDROSEED MIX. NO AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS. EXPOSED SURFACES SHALL HAVE EROSION CONTROL MEASURES IN PLACE PRIOR TO OCTOBER 1.
- ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS, HARDSCAPES, SIDEWALKS OR OTHER NON-PLANTER AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE CIVIL EROSION CONTROL PLAN AND/OR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ADDITION TO THESE MINIMUM REQUIREMENTS (AS APPLICABLE).
- ALL PLANTER AREAS TO BE FREE FROM DEBRIS, TRASH, CONSTRUCTION MATERIAL, WOOD, ETC WITHIN THE TOP 6" OF THE SOIL. SOIL SHALL BE FREE FROM STONES GREATER THAN 1" IN DIAMETER WITHIN THE TOP 6" OF SOIL PROFILE.

SOIL PREPARATION AND AMENDMENTS

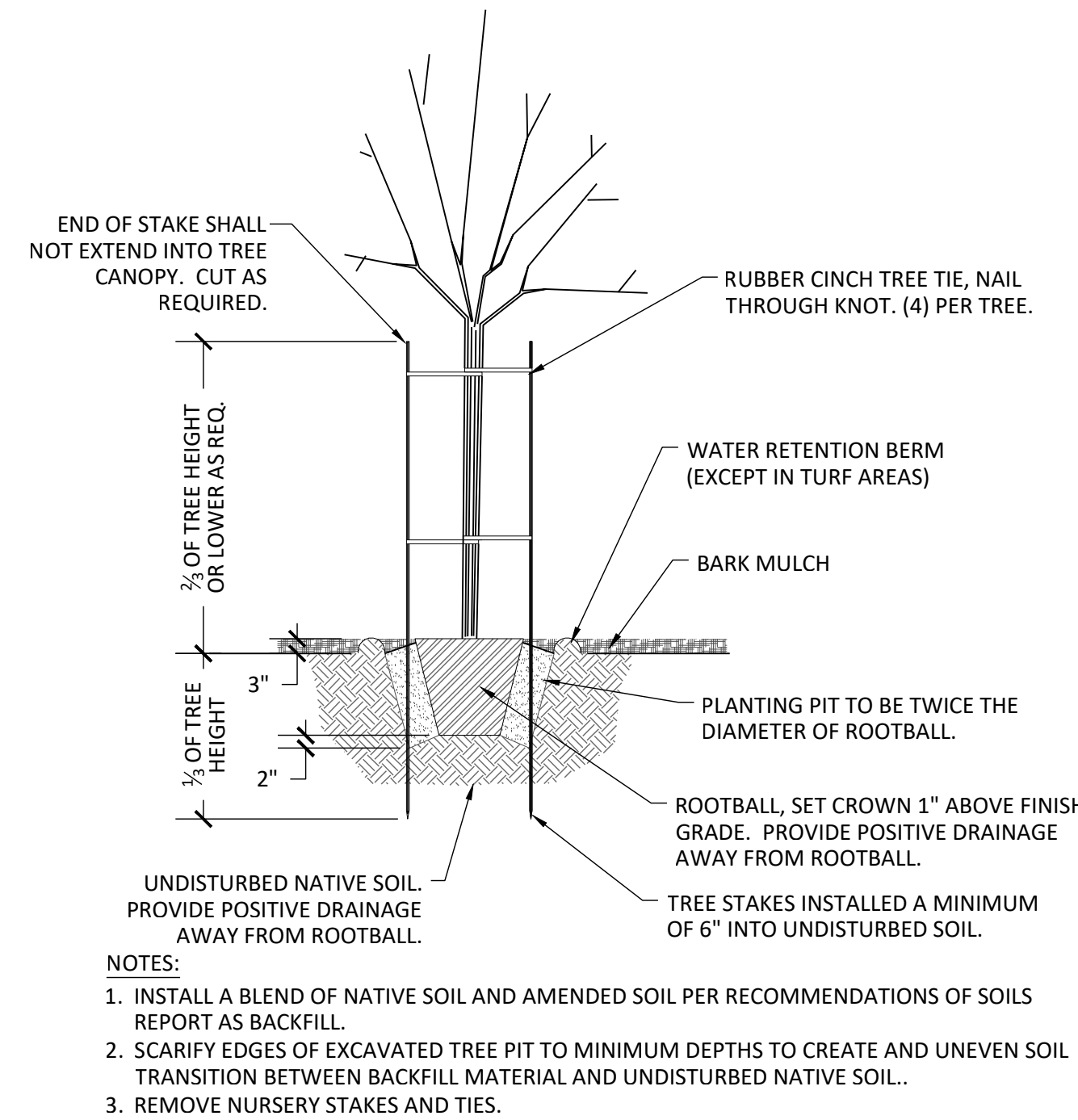
- THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED IMMEDIATELY AFTER ROUGH GRADING OPERATIONS AND SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT THROUGHOUT THE ENTIRE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
 - SOIL INFILTRATION RATE.
 - SOIL TYPE AND TEXTURE.
 - CATION EXCHANGE CAPACITY.
 - SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (E.C.).
 - RECOMMENDATIONS PER 1,000 SF FOR ALL AMENDMENTS INCLUDING FERTILIZER (NPK), COMPOST, GYPSUM, LIME, ETC.
 - RECOMMENDATIONS PLANT PIT BACKFILL AMENDMENTS.
 - FREQUENCY AND RATE OF FERTILIZER APPLICATION FOR THE DURATION OF THE MAINTENANCE PERIOD.
- COMPOST AT A MINIMUM RATE OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA (OR PER THE RECOMMENDATIONS OF THE SOILS TEST, WHICHEVER IS GREATER) SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
- SOD AREAS SHALL BE PREPPED WITH A MIN 3" AMENDED SOIL (IF APPLICABLE). AMENDMENTS TO BE INSTALLED PER THE RECOMMENDATIONS OF THE SOILS REPORT.
- ALL SOIL PREPARATION AND AMENDMENTS SHALL BE ADDED TO THE SOIL PRIOR TO PLANTING. AMENDMENTS THAT MAY BE SHOWN ON THE PLAN ARE FOR BIDDING PURPOSES ONLY (UNLESS OTHERWISE NOTED). CONTRACTOR SHALL PROVIDE A SEPARATE LINE ITEM IN THE BID FOR SOIL AMENDMENTS.
- THE RESULTS OF THE SOILS TESTS THE CONTRACTOR PERFORMS SHALL DETERMINE ACTUAL AMENDMENTS TO BE INSTALLED AND SHALL NOT ALTER FINAL BID TO OWNER.

TREE SETBACKS

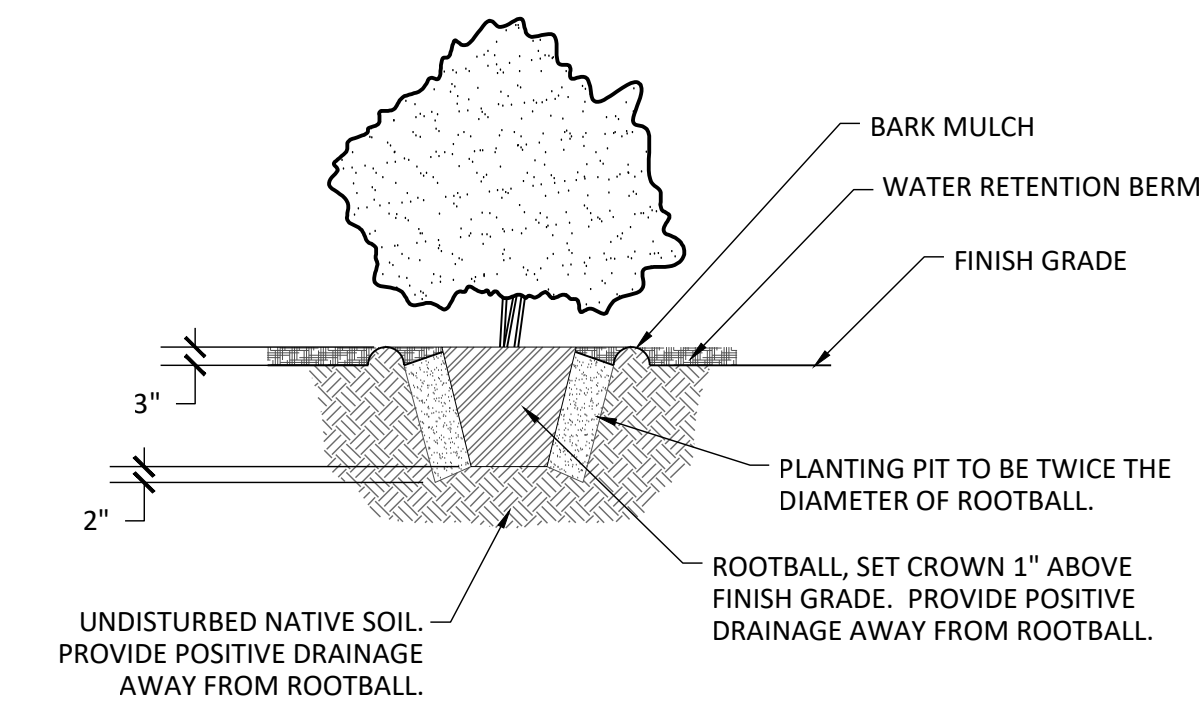
ALL TREE PLANTING SHALL CONFORM TO THE CITY OF OAKLEY'S MINIMUM TREE SETBACK REQUIREMENTS:

- 5' FROM MAILBOXES.
- 10' FROM ELECTRICAL MAINS, TELEPHONE, STORM DRAINS, SANITARY SEWER, GAS LINES, FIRE HYDRANTS, DRIVEWAYS (TOP OF WING).
- 15' FROM ELECTROLIERS, STOP SIGNS, CURB RETURNS.

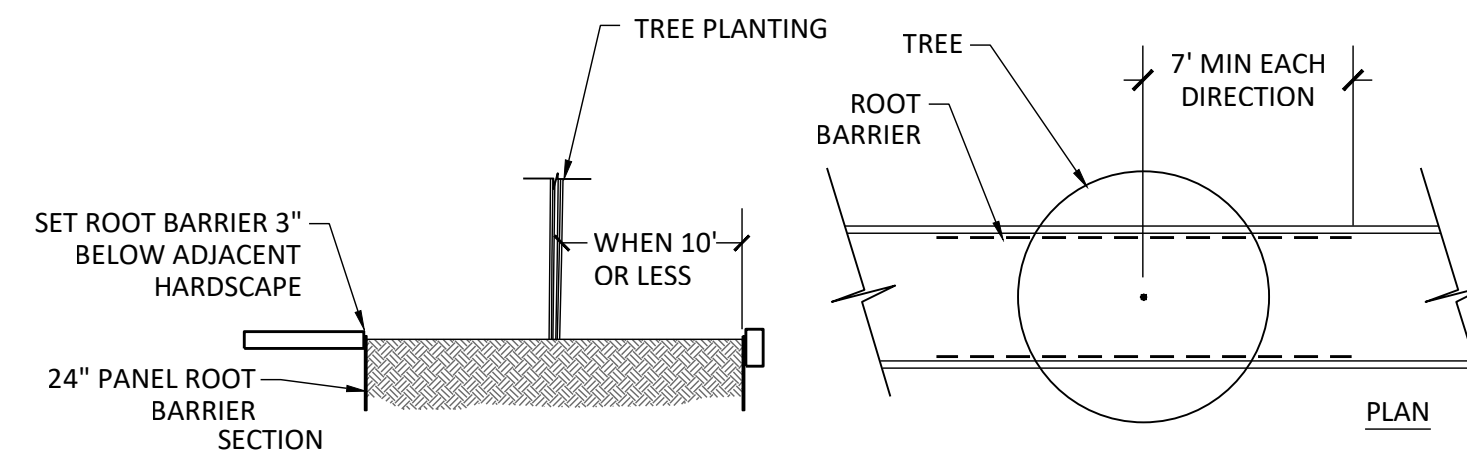
NOTE: NO EXISTING TREES LOCATED ON SITE.



A- TREE PLANTING DETAIL
NTS

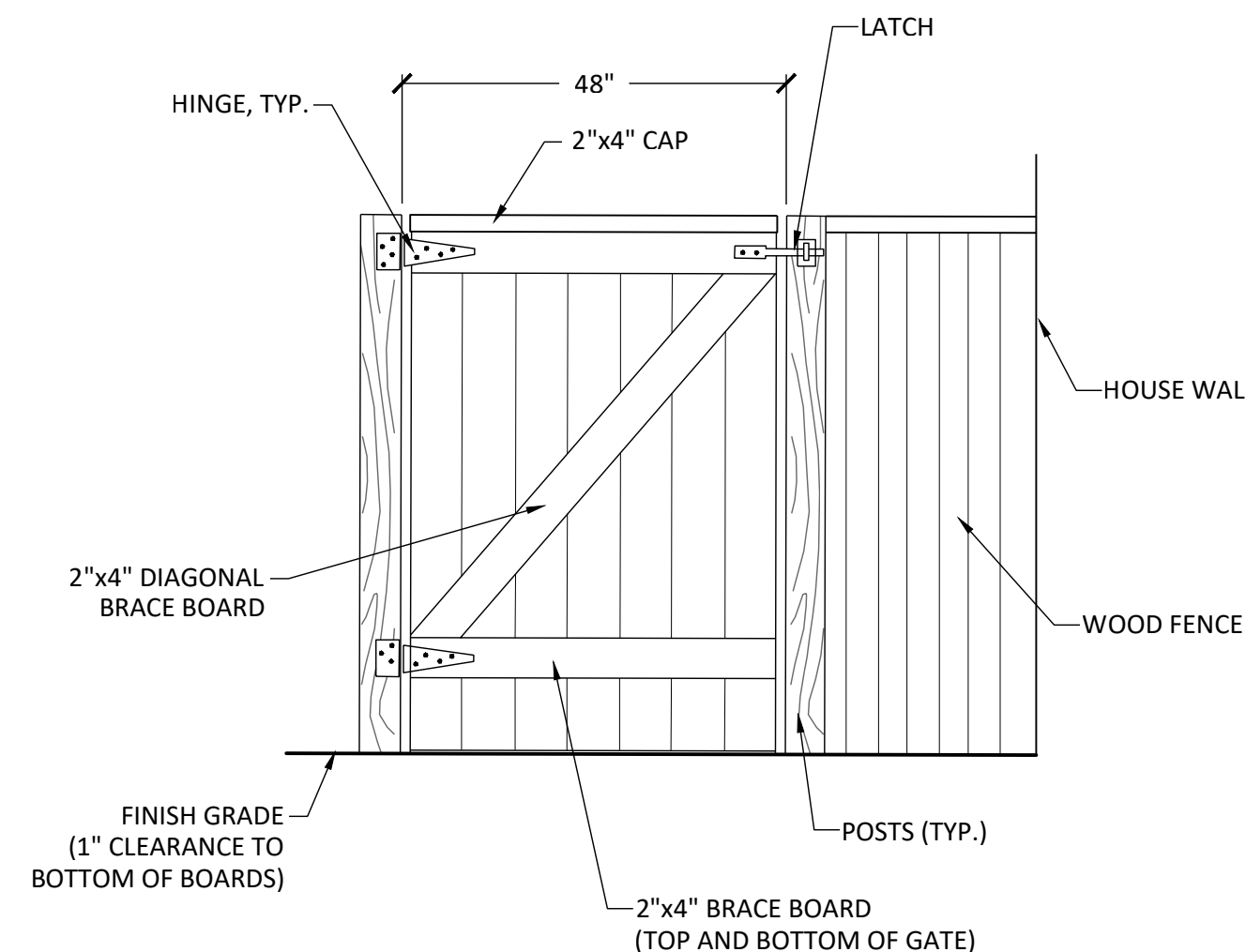


B- SHRUB PLANTING DETAIL
NTS



NOTE: REFER TO PLANS FOR TREE LOCATIONS AND NOTES.

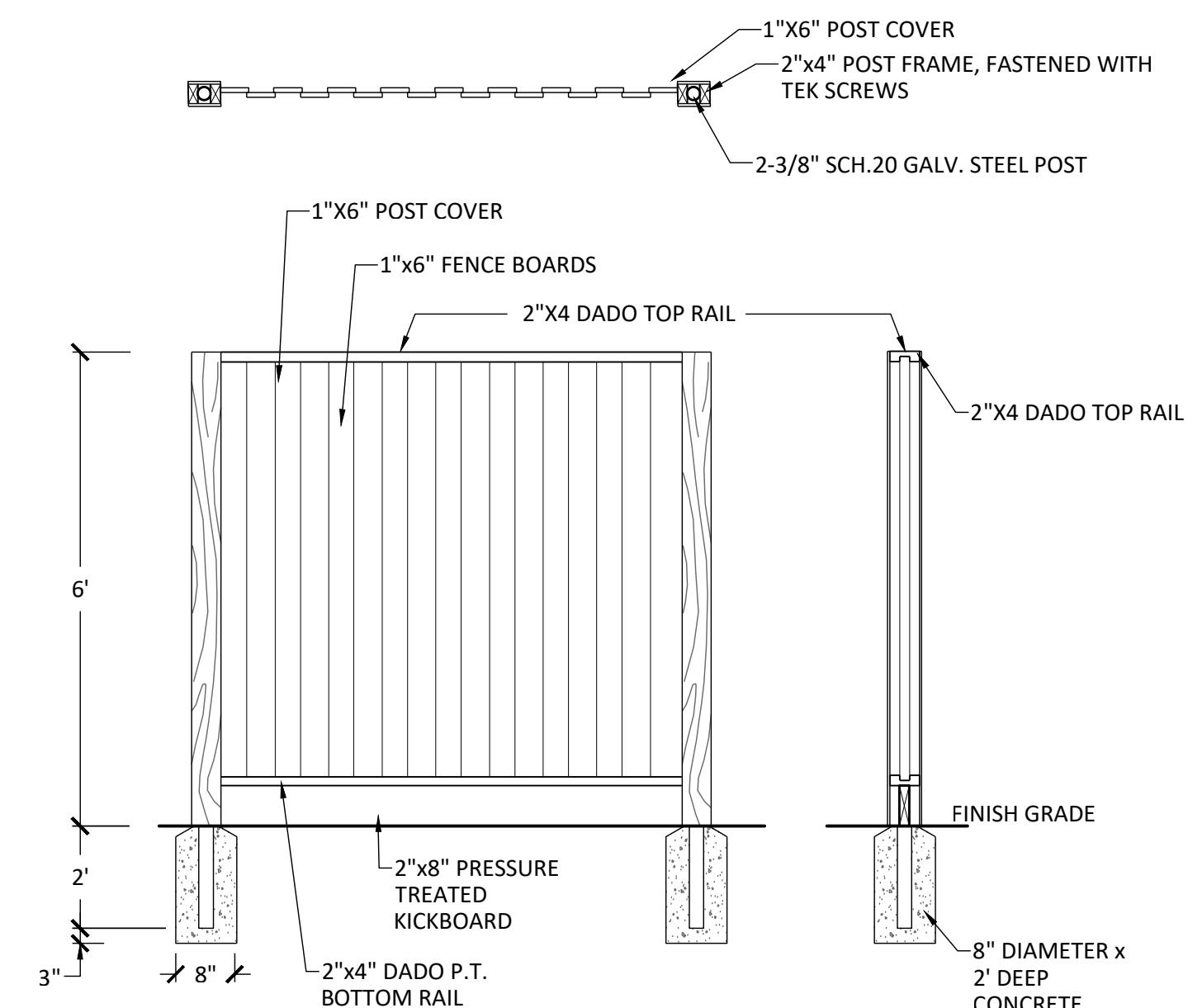
C- ROOT BARRIER DETAIL
NTS



NOTES:

- INSTALL STEEL POSTS TO MATCH FENCE.
- BOARD MATERIAL TO MATCH FENCE.
- USE GALVANIZED NAILS FOR FASTENING.
- NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.
- GATE LATCH AND HINGE TO BE LOCATED ON BACK YARD SIDE OF FENCE.

D- 48" GATE DETAIL
NTS



NOTES:

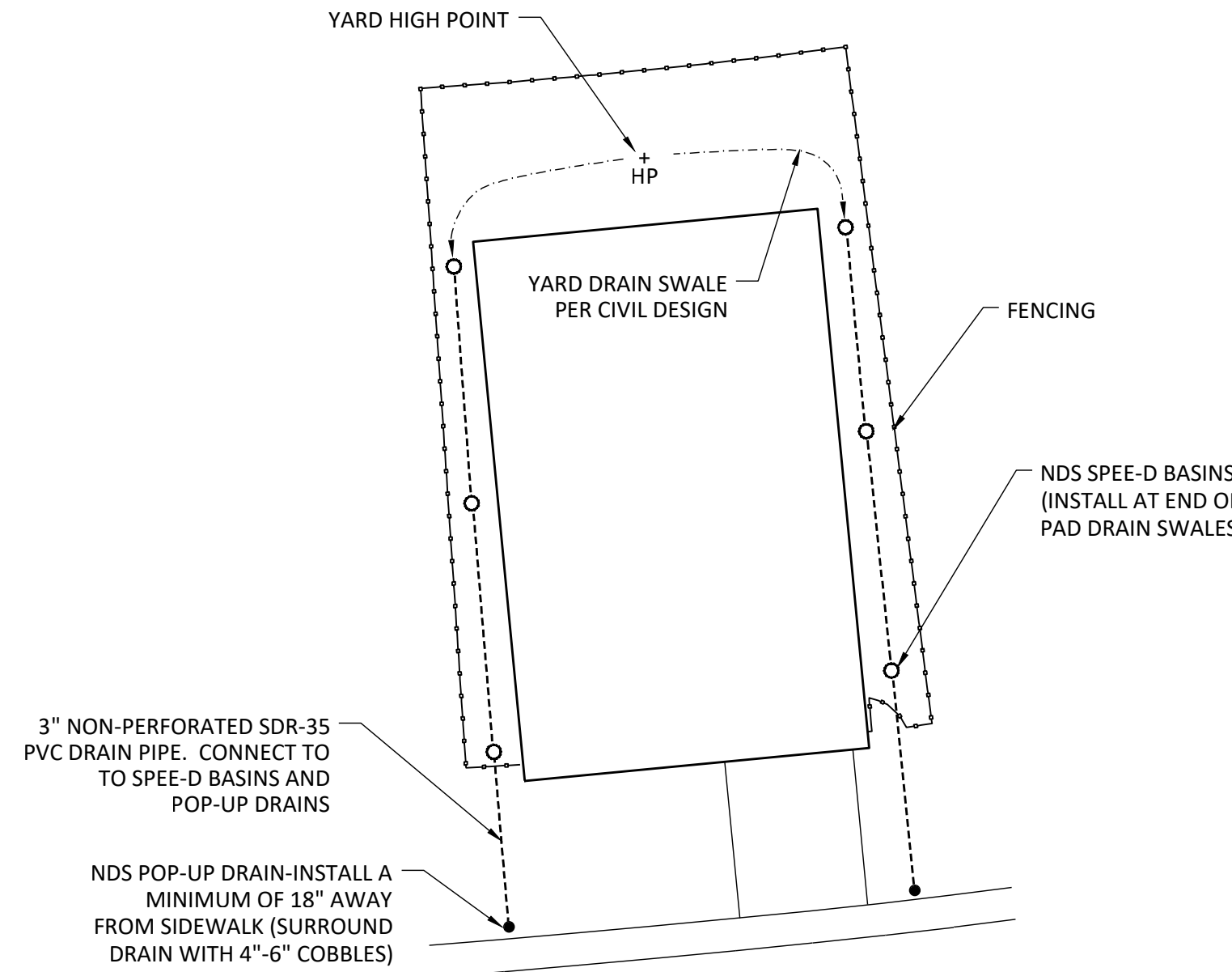
- ALL MATERIAL SHALL BE REDWOOD CONST. COMMON, U.N.O.
- FENCE BOARDS TO BE WESTERN RED CEDAR.
- APPLY WATERPROOF SEALANT TO ALL SURFACES VISIBLE FROM THE STREET.
- USE GALVANIZED NAILS FOR FASTENING.

E- WOOD FENCE WITH STEEL POSTS
NTS

REVISIONS

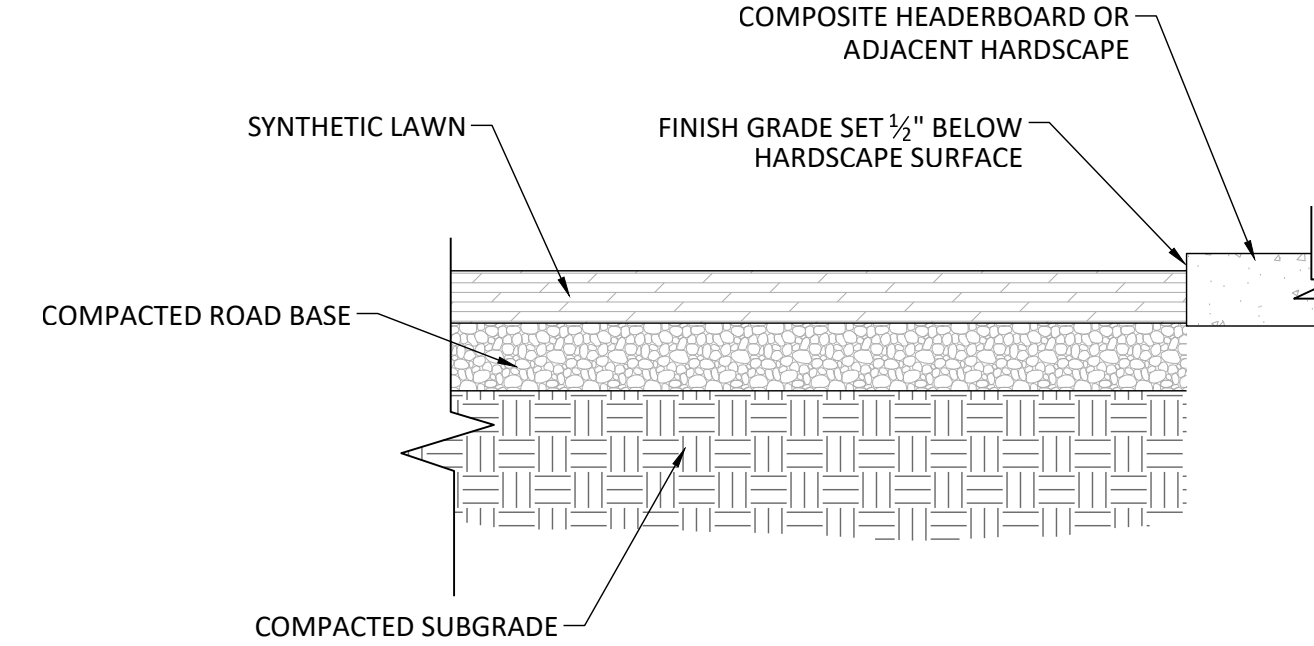
No.	Date	Description

- *LOT ADJUSTMENTS**
1. PLANTING PLANS ARE SCHEMATIC AND PROVIDED TO REPRESENT GENERAL DESIGN INTENT ONLY.
 2. CONTRACTOR TO MAKE MINOR ADJUSTMENTS TO PLANT LAYOUT AND QUANTITIES PER VARIATIONS IN LOT CONFIGURATIONS AND HARDSCAPE.
 3. FINAL BID COSTS SHALL BE DETERMINED BY ACTUAL NUMBER OF PLANTS INSTALLED PER LOT.
 4. CONCRETE/HARDSCAPE SHOWN IS INFORMATIONAL ONLY AND TO BE INSTALLED BY OTHERS UNDER A SEPARATE CONTRACT.
 5. SELECT PLANT SPECIES BASED ON SUN EXPOSURE OF EACH FRONT YARD PER THE IRRIGATION LEGEND PLANT LISTINGS.
 6. INSTALL DRAINAGE PER TYPICAL LOT DRAINAGE SCHEMATIC.



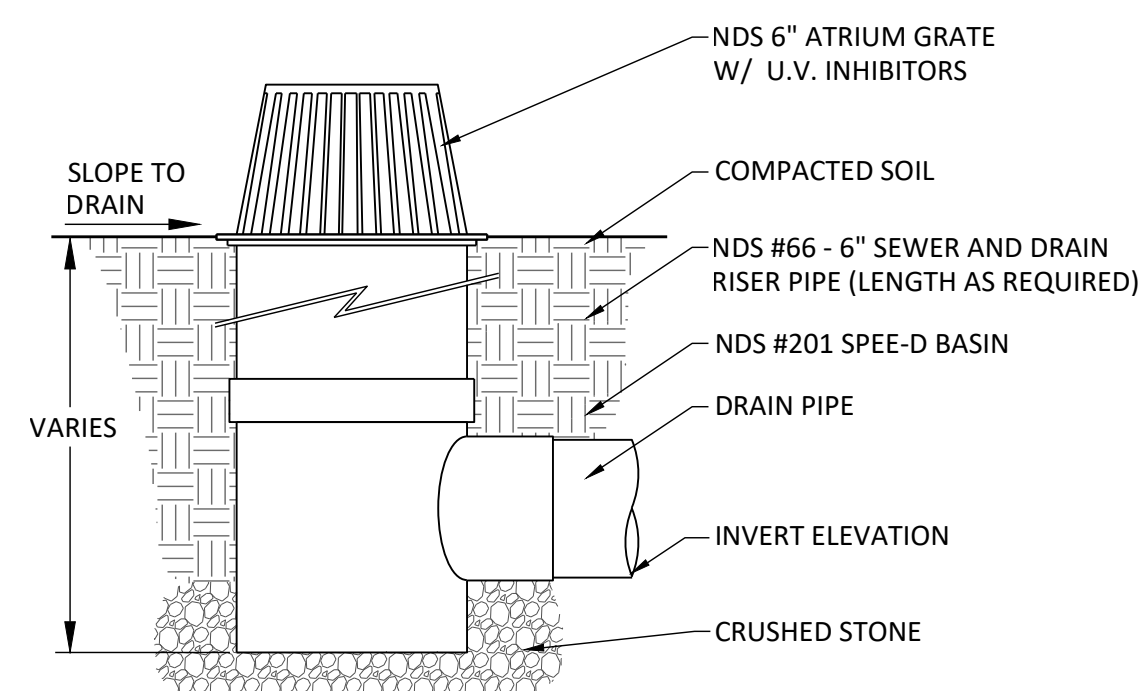
- NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE DRAINAGE TO DRAIN INLETS. FINE GRADE AS NECESSARY TO PROVIDE POSITIVE SLOPE TO DRAINS AT THE END RUN OF PAD SWALES.
 2. ADJUST FINAL LOCATION OF ALL BASINS, POP-UP DRAINS, PIPE, ETC. AS NECESSARY TO AVOID ANY SITE FEATURES NOT SPECIFICALLY SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR MINOR FIELD ADJUSTMENTS TO ACCOUNT FOR SITE SPECIFIC FEATURES TO ENSURE POSITIVE FLOW AND PROPER DRAINAGE.
 3. ALL DRAINAGE COMPONENTS SHALL BE FREE OF DEBRIS TO ENSURE POSITIVE FLOW. MINIMUM PIPE SLOPE TO BE .5%.
 4. INSTALL ALL COMPONENTS PER MANUFACTURERS SPECIFICATIONS.
 5. PAD GRADING TO BE PERFORMED PER CIVIL GRADING PLANS. COORDINATE ALL WORK AND GRADES WITH CIVIL PLANS.
 6. FIELD LOCATE AND CONNECT DOWNSPOUTS ON SIDE YARDS TO DRAINAGE SYSTEM.

A- TYPICAL LOT DRAINAGE SCHEMATIC
NTS

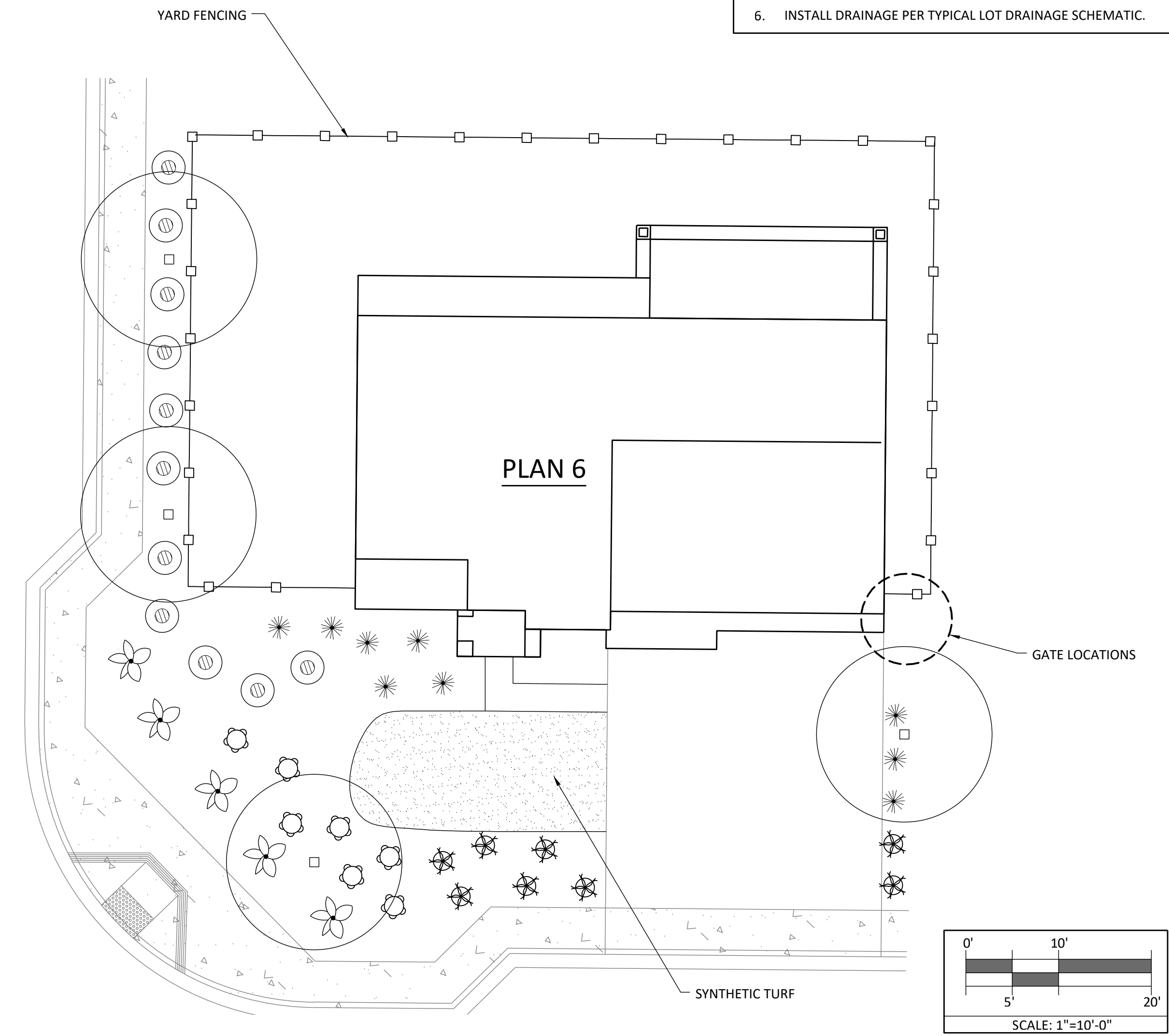


- SYNTHETIC LAWN NOTES**
- INSTALL ON ROCK BASE (MIN. 3-5").
 - INSTALL WITHOUT SEAMS AND WITH EPIC COMPOSITE EDGES.
 - SECURELY FASTEN EDGES.
 - PROVIDE MIN 8 YEAR WRITTEN WARRANTY AGAINST FADING AND DISCOLORATION.
 - PROVIDE SAMPLE TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
 - CONTRACTOR TO HAVE A MINIMUM OF THREE YEARS OF EXPERIENCE INSTALLING SYNTHETIC AND MUST PROVIDE RECENT SAMPLES OF SIMILAR PROJECTS FOR REFERENCE.

D- SYNTHETIC LAWN
NTS



B- SPEE-D NDS ROUND AREA DRAIN
NTS

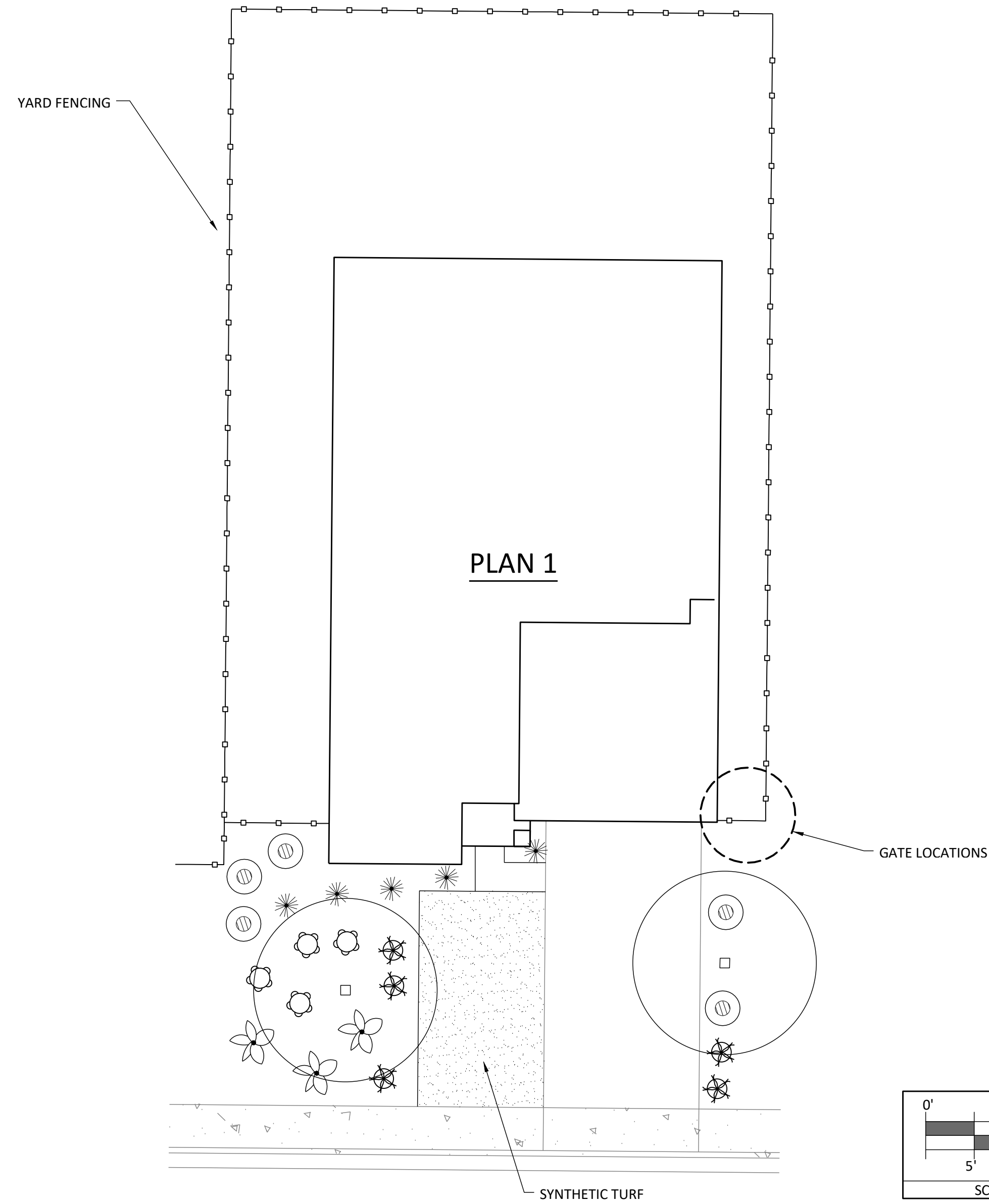


PLANT LEGEND- LOT 34 SAMPLE (CORNER LOT PLAN 6)

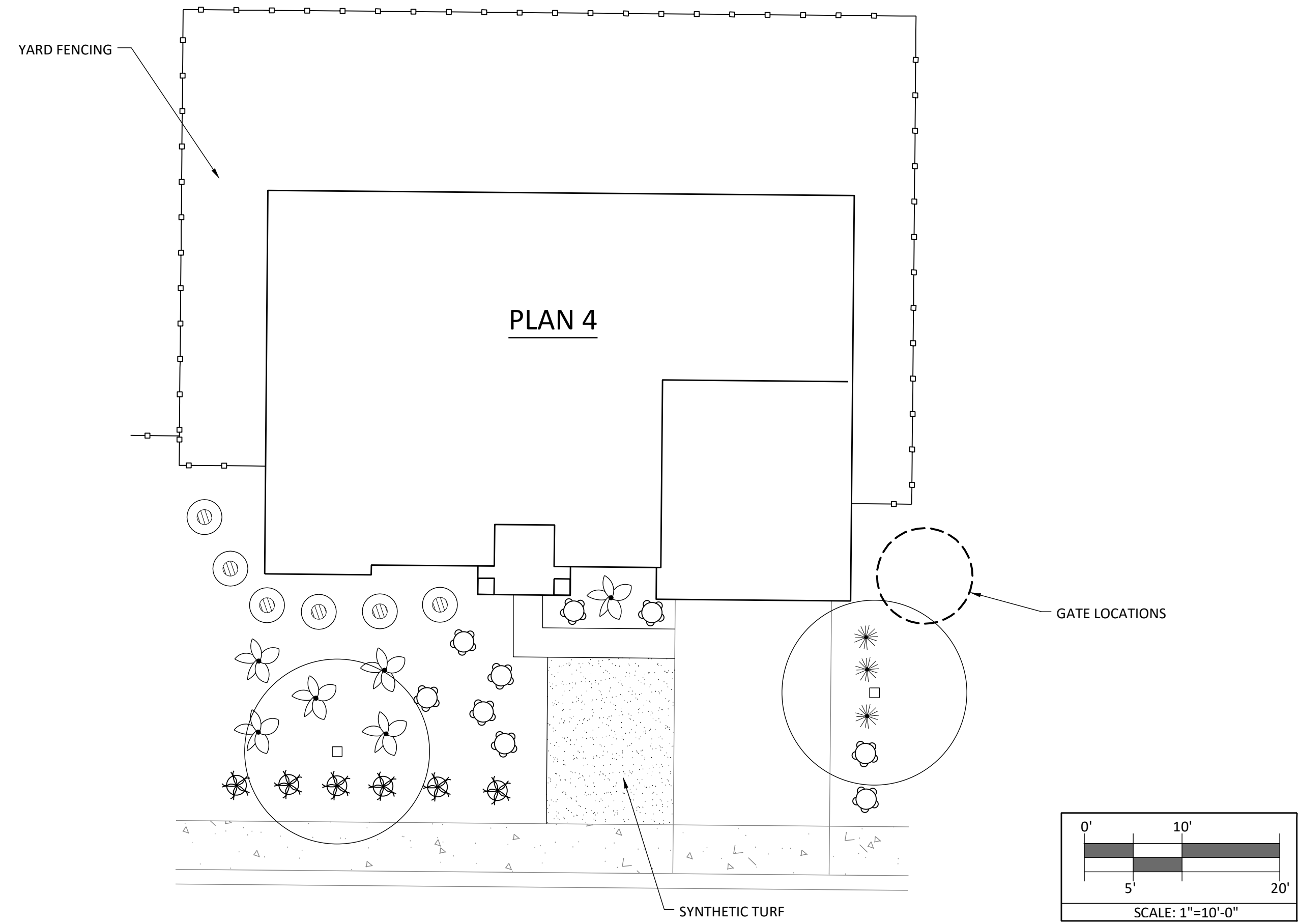
SYMBOL	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE
	TREE STREET TREES PER STREET TREE MASTER PLAN.			
SOUTH/WEST PALETTE				
	SHRUBS* LAVANDULA A. 'MUNSTEAD' / DWARF ENGLISH LAVENDER	1 GAL.	8	LOW
	CISTUS 'MICKIE' / MICKIE ROCKROSE	1 GAL.	9	LOW
	NANDINA 'GULF STREAM' / GULF STREAM HEAVENLY BAMBOO	1 GAL.	7	LOW
	SALVIA 'FURMANS RED' / RED FLOWERING SAGE	1 GAL.	7	LOW
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLEBRUSH	5 GAL.	5	LOW
	LANTANA MONTEVIDENSIS / TRAILING LANTANA	5 GAL.	11	LOW
	XYLOSMA CONGESTUM 'COMPACTA' / COMPACT XYLOSMA	5 GAL.	11	LOW
NORTH/EAST PALETTE				
	SHRUBS* CAREX TUMULICOLA / SEDGE	1 GAL.	8	LOW
	TULBAGHIA VIOLACEA / SOCIETY GARLIC	1 GAL.	9	LOW
	DIETES IRIDIODES / FORTNIGHT LILY	1 GAL.	9	LOW
	RHAPHIOLEPIS UMBELLATA / HAWTHORNE	5 GAL.	7	LOW
	PHORMIUM 'RAINBOW WARRIOR' / FLAX	1 GAL.	5	LOW
	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CHERRY LAUREL	5 GAL.	11	LOW
	LIGUSTRUM TEXANUM / TEXAS PRIVET	5 GAL.	11	LOW

*ALTERNATE PLANTINGS WITH SYMBOLS THAT CONTAIN TWO SPECIES SELECTIONS (ALTERNATE EVERY OTHER LOT FOR VARIATION)

No.	Date	Description



PLANT LEGEND- LOT 46 SAMPLE (INTERIOR LOT PLAN 1)				
SYMBOL	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE
	TREE STREET TREES PER STREET TREE MASTER PLAN.			
SOUTH/WEST PALETTE				
	SHRUBS* LAVANDULA A. 'MUNSTEAD' / DWARF ENGLISH LAVENDER	1 GAL.	5	LOW
	CISTUS 'MICKIE' / MICKIE ROCKROSE NANDINA 'GULF STREAM' / GULF STREAM HEAVENLY BAMBOO	1 GAL.	5	LOW
	SALVIA 'FURMANS RED' / RED FLOWERING SAGE	1 GAL.	4	LOW
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLEBRUSH LANTANA MONTEVIDENSIS / TRAILING LANTANA	5 GAL.	3	LOW
	XYLOSMA CONGESTUM 'COMPACTA' / COMPACT XYLOSMA	5 GAL.	5	LOW
NORTH/EAST PALETTE				
	SHRUBS* CAREX TUMULICOLA / SEDGE TULBAGHIA VIOLACEA / SOCIETY GARLIC	1 GAL.	5	LOW
	DIETES IRIDIODES / FORTNIGHT LILY	1 GAL.	5	LOW
	RHAPHIOLEPIS UMBELLATA / HAWTHORNE	5 GAL.	4	LOW
	PHORMIUM 'RAINBOW WARRIOR' / FLAX	1 GAL.	3	LOW
	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CHERRY LAUREL LIGUSTRUM TEXANUM / TEXAS PRIVET	5 GAL.	5	LOW
*ALTERNATE PLANTINGS WITH SYMBOLS THAT CONTAIN TWO SPECIES SELECTIONS (ALTERNATE EVERY OTHER LOT FOR VARIATION)				



PLANT LEGEND- LOT 33 SAMPLE (INTERIOR LOT PLAN 4)				
SYMBOL	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE
	TREE STREET TREES PER STREET TREE MASTER PLAN.			
SOUTH/WEST PALETTE				
	SHRUBS* LAVANDULA A. 'MUNSTEAD' / DWARF ENGLISH LAVENDER	1 GAL.	6	LOW
	CISTUS 'MICKIE' / MICKIE ROCKROSE NANDINA 'GULF STREAM' / GULF STREAM HEAVENLY BAMBOO	1 GAL.	3	LOW
	SALVIA 'FURMANS RED' / RED FLOWERING SAGE	1 GAL.	7	LOW
	CALLISTEMON 'LITTLE JOHN' / DWARF BOTTLEBRUSH LANTANA MONTEVIDENSIS / TRAILING LANTANA	5 GAL.	5	LOW
	XYLOSMA CONGESTUM 'COMPACTA' / COMPACT XYLOSMA	5 GAL.	6	LOW
NORTH/EAST PALETTE				
	SHRUBS* CAREX TUMULICOLA / SEDGE TULBAGHIA VIOLACEA / SOCIETY GARLIC	1 GAL.	5	LOW
	DIETES IRIDIODES / FORTNIGHT LILY	1 GAL.	3	LOW
	RHAPHIOLEPIS UMBELLATA / HAWTHORNE	5 GAL.	5	LOW
	PHORMIUM 'RAINBOW WARRIOR' / FLAX	1 GAL.	7	LOW
	PRUNUS CAROLINIANA 'COMPACTA' / COMPACT CHERRY LAUREL LIGUSTRUM TEXANUM / TEXAS PRIVET	5 GAL.	6	LOW
*ALTERNATE PLANTINGS WITH SYMBOLS THAT CONTAIN TWO SPECIES SELECTIONS (ALTERNATE EVERY OTHER LOT FOR VARIATION)				

No.	Date	Description