

SHEET INDEX



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THE VILLAGE AT 2092 OAKLEY ROAD

OAKLEY, CA

FEBRUARY 28, 2024

399.203 The Village at 2092 Oakley Road
 Oakley, CA
 February 28, 2024

COVER SHEET
 CS

THE VILLAGE AT 2092 OAKLEY ROAD DEVELOPMENT PLAN

CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA

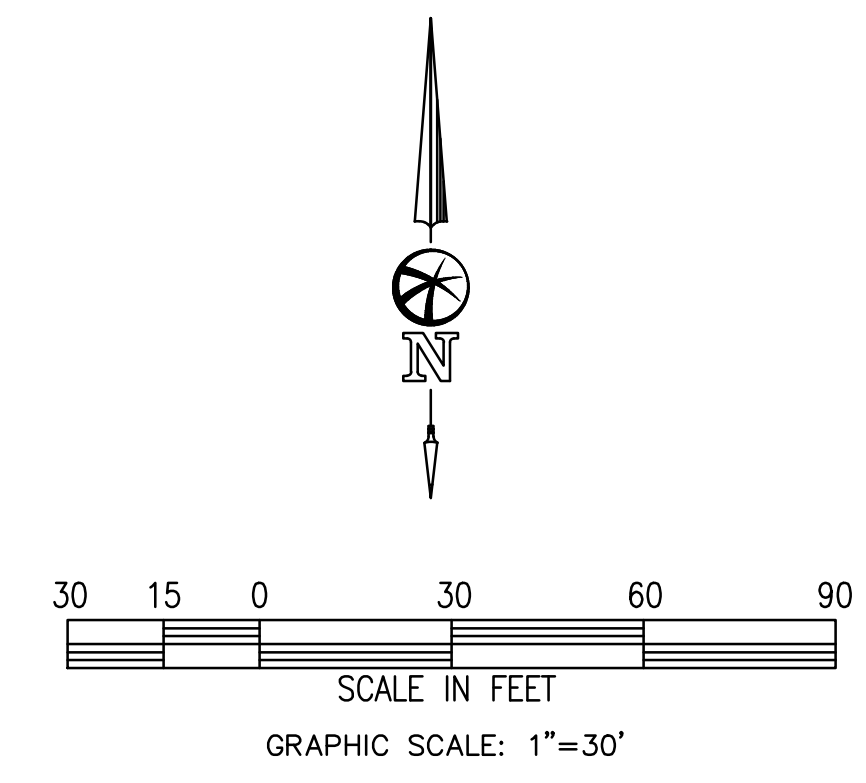
FEBRUARY 28, 2024 SCALE: 1"=30'



LEGEND

- BOUNDARY LINE
- LOT LINE
- CURB
- RIGHT-OF-WAY LINE
- 1'-2' RETAINING WALL/CURB
- ASPHALT CONCRETE PAVEMENT
- PARK AREA
- PROPOSED BIORETENTION BASIN
- PROPOSED SIDEWALK
- ADA PATH OF TRAVEL

MINIMUM SETBACK	
FRONT	9'
GARAGE/REAR	5'
SIDE	4'



SUBDIVISION 9634 THE VILLAGE AT 2092 OAKLEY ROAD VESTING TENTATIVE MAP COVER SHEET

CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA

FEBRUARY 28, 2024 SCALE: 1"=40'

SHEET INDEX

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2. EXISTING CONDITIONS AND CONSTRAINTS MAP
3. TYPICAL STREET SECTIONS -PRIVATE
4. TYPICAL STREET SECTIONS -PUBLIC
5. PRELIMINARY SITE PLAN
6. PRELIMINARY GRADING AND DRAINAGE PLAN
7. GRADING SECTIONS
8. GRADING SECTIONS
9. OFFSITE WORK
10. STORMWATER CONTROL PLAN

PARCEL NAME	AREA (SF)	USAGE	HOA MAINTAINED
PARCEL A	5840	PARK	YES
PARCEL B	8730	PARK	YES
PARCEL C	80698	PRIVATE STREETS	YES
PARCEL D	7070	BIORETENTION	YES
PARCEL E	60725	EX OPEN SPACE & EASEMENTS	YES
PARCEL F	1611	BIORETENTION	YES

GENERAL NOTES

OWNER/DEVELOPER: JOHN D'AMBROSIO
DAN COSGROVE - MANAGING PARTNER
LLC APPLIED
3130 BALFOUR ROAD SUITE D #269
BRENTWOOD, CA 94513
(925)-325-9247

ENGINEER: BELLECCI & ASSOCIATES, INC.
2290 DIAMOND BLVD #100
CONCORD, CA 94520
(925)-685-4569

A.P.N.: 037-110-031

SITE AREA: 9.99 ACRES

SMALLEST LOT SIZE: 2920 SF

LARGEST LOT SIZE: 3790 SF

AVERAGE LOT SIZE: 2986 SF

DENSITY: 8.3 DU/AC

EXISTING GENERAL PLAN: COMMERCIAL

PROPOSED GENERAL PLAN: RESIDENTIAL: MEDIUM

EXISTING ZONING: C

PROPOSED ZONING: P-1

EXISTING USE: VACANT

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

SERVICES:
WATER SUPPLY-
SANITARY SEWER-
STORM DRAIN-
GAS & ELECTRIC-
FIRE-
TELEPHONE-
CABLE TV-

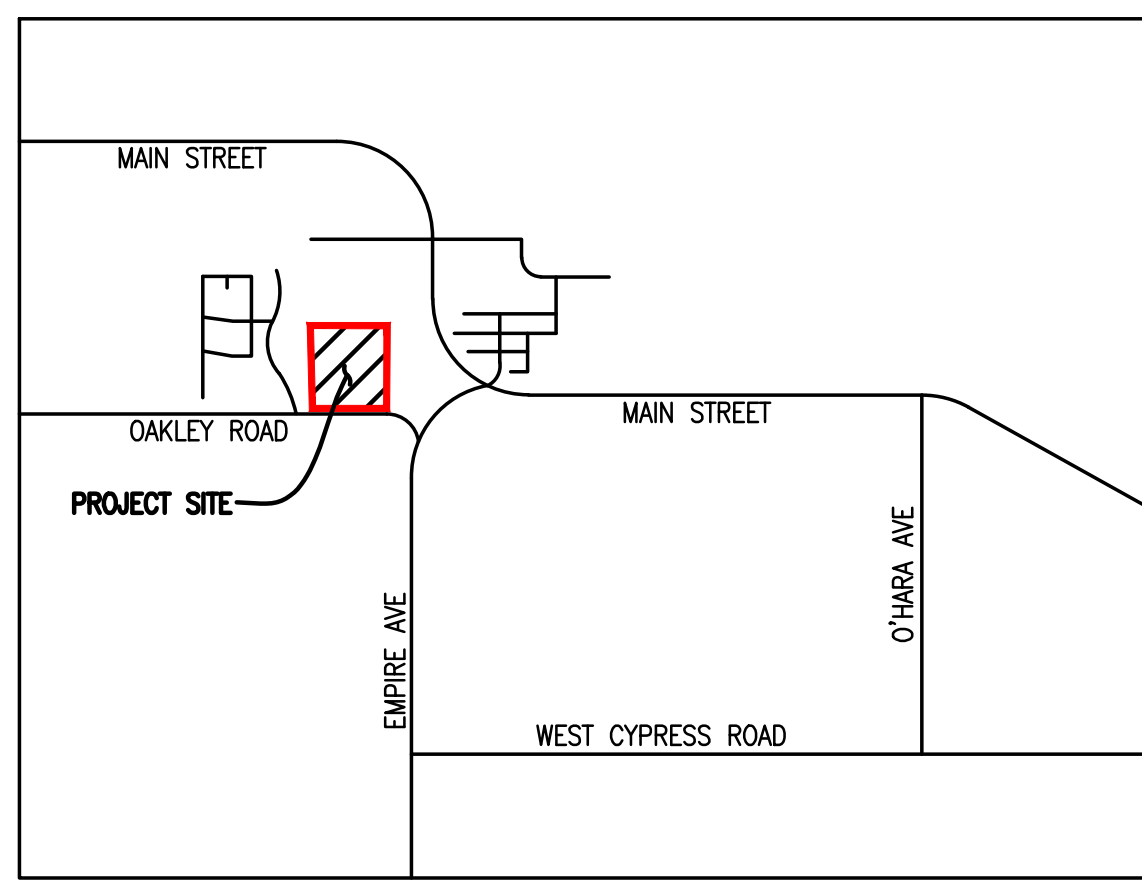
DIBLO WATER DISTRICT
IRONHOUSE SANITARY DISTRICT
CITY OF OAKLEY
PACIFIC GAS & ELECTRIC
EAST CONTRA COSTA FIRE PROTECTION DISTRICT
AT&T
COMCAST

FLOODING: SITE FALLS WITHIN FIRM PANEL NUMBERS 06013C 0355G, AREA OF MINIMAL FLOOD HAZARD - DATED MARCH 21, 2017

TOPOGRAPHY: AERIAL TOPOGRAPHY PROVIDED BY: 360 AERIAL SURVEYS DATED JUNE 10, 2022

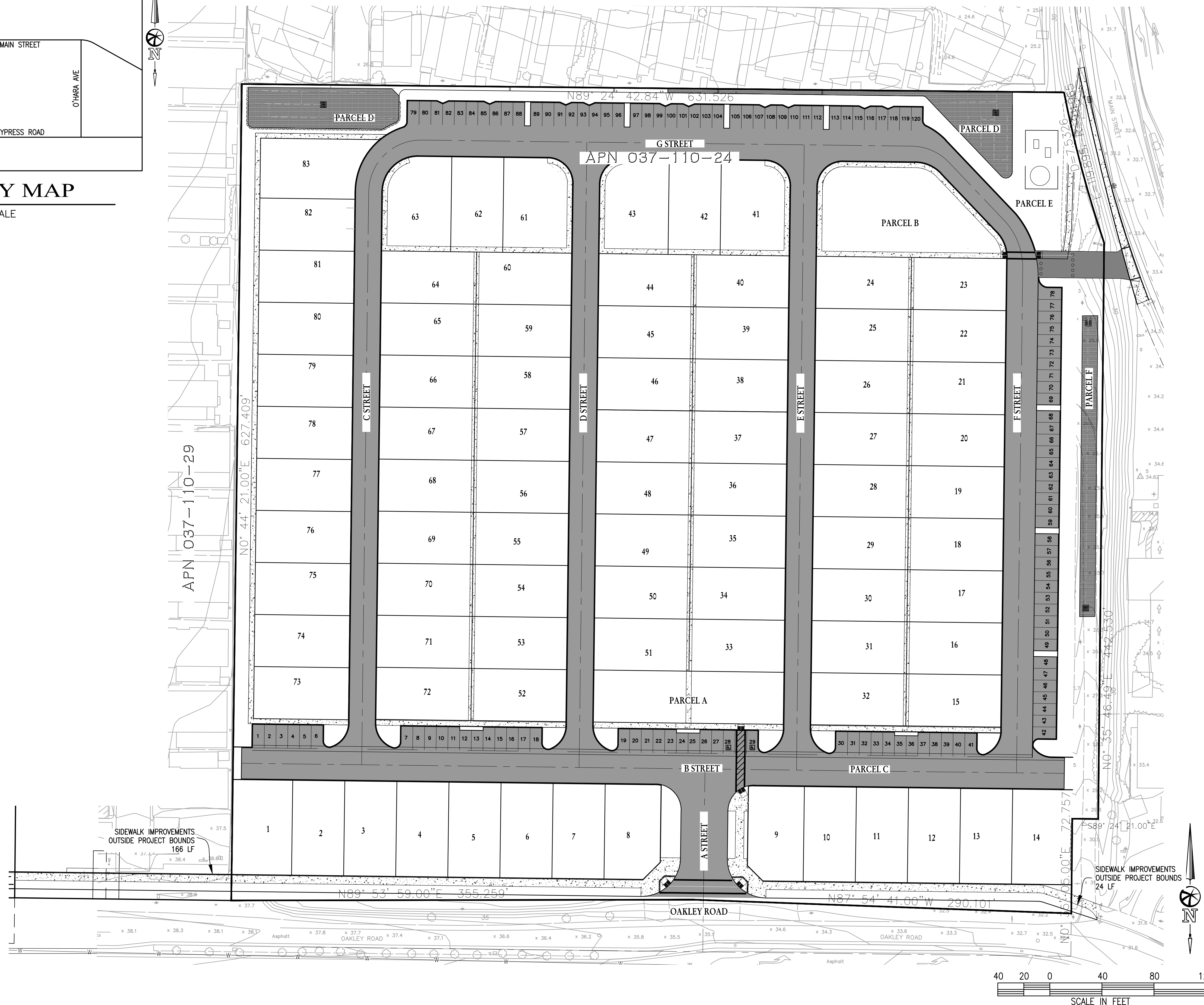
BASIS OF ELEVATION: ELEVATIONS SHOWN ARE BASED 1988 NAVD

BASIS OF BEARINGS: CALIFORNIA COORDINATE SYSTEM, ZONE III (NAD 83).



VICINITY MAP

NO SCALE



NOTES:

THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS ON THE LANDS SHOWN ON THIS MAP

AT THIS POINT THERE IS NO PLANNED PHASES BUT THE OWNER STILL HAS DISCRETION TO PHASE THE PROJECT AS NECESSARY



925-685-4569 bellecci.com

SHEET
1
OF
10
JOB NO.
220056

SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
EXISTING CONDITIONS AND CONSTRAINTS

CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
 CONCORD, CALIFORNIA

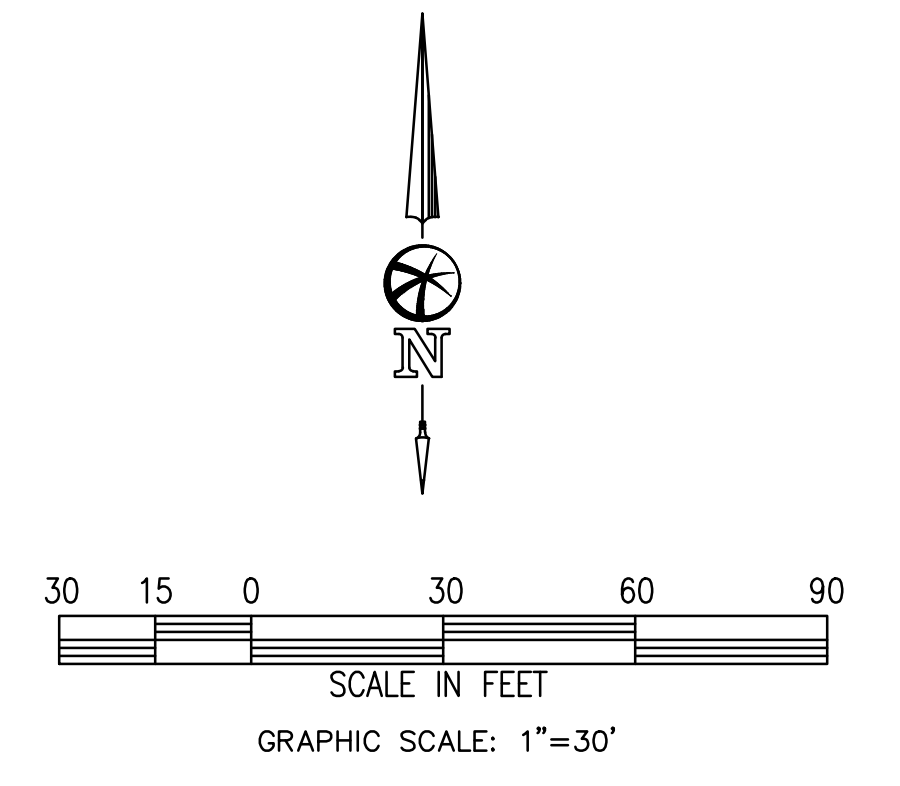
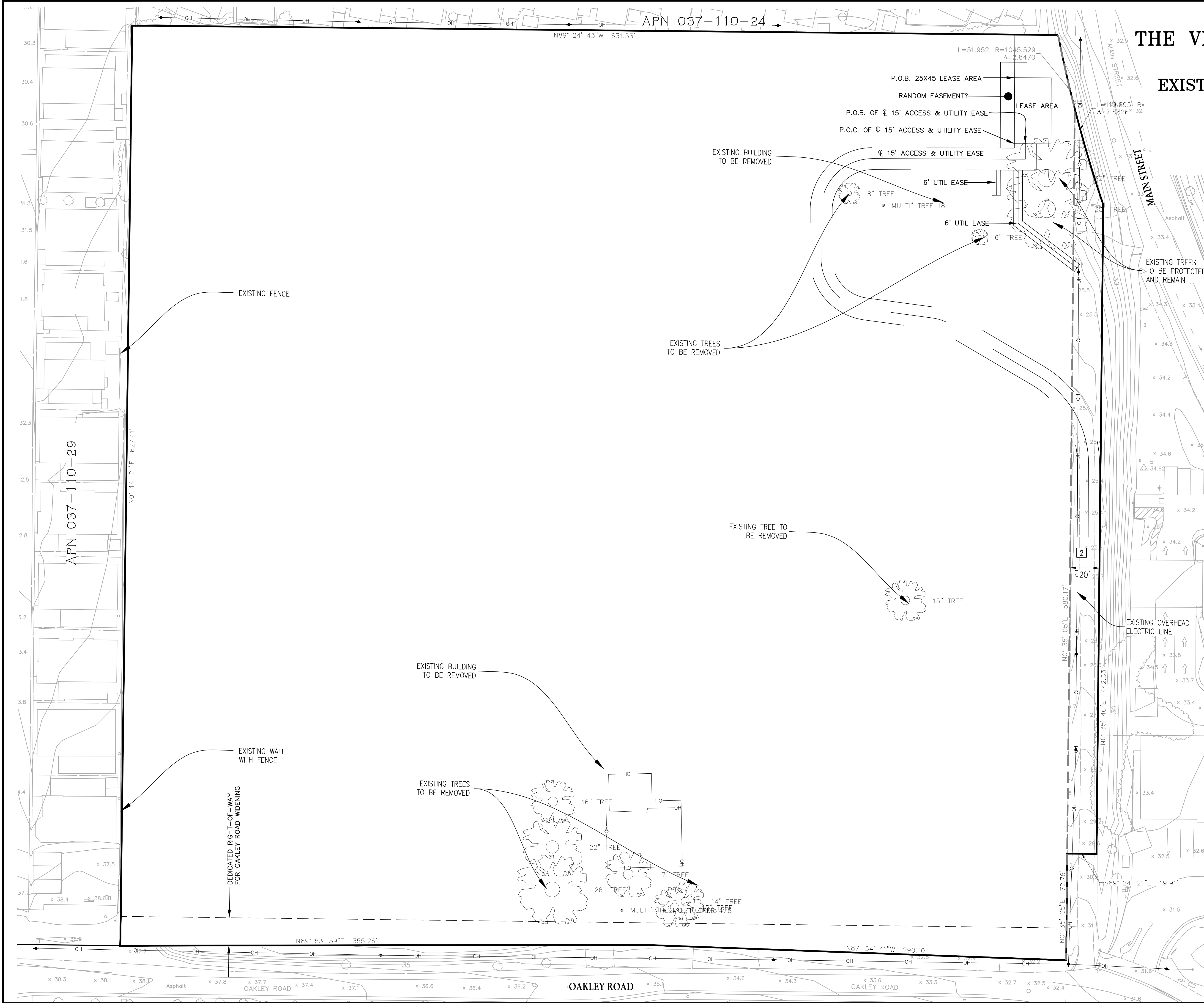
FEBRUARY 28, 2024 SCALE: 1"=30'

NOTES:

1. THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS ON THE LANDS SHOWN ON THIS MAP
2. FORMER CALTRANS ROW ABANDONED PER CALTRANS RELINQUISHMENT 6489 OR 102

LEGEND

- PREVIOUS BOUNDARY
- NEW BOUNDARY
- OH — EX. OH POWER LINES
- ◆ EX. JOINT POLES

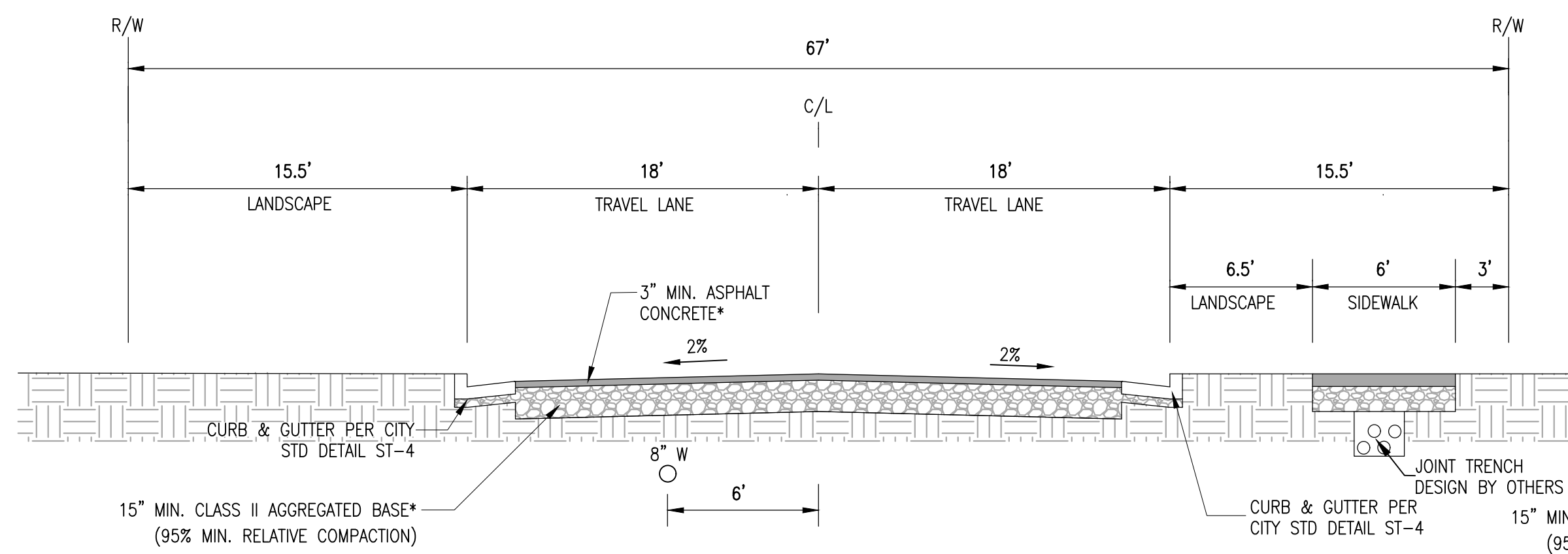


**SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
TYPICAL STREET SECTIONS**

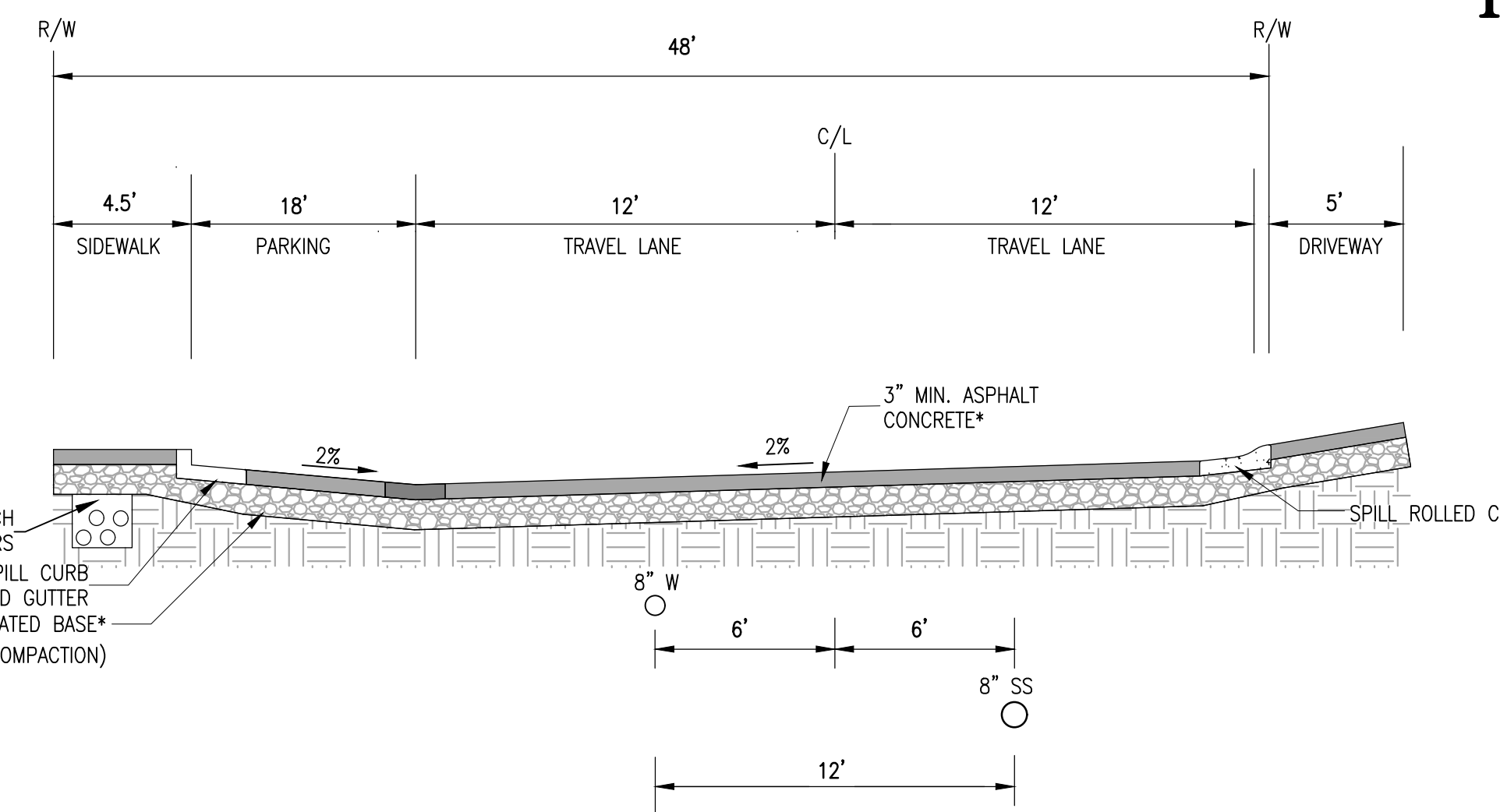
**CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA**

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA
FEBRUARY 28, 2024

NOTES:
THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE
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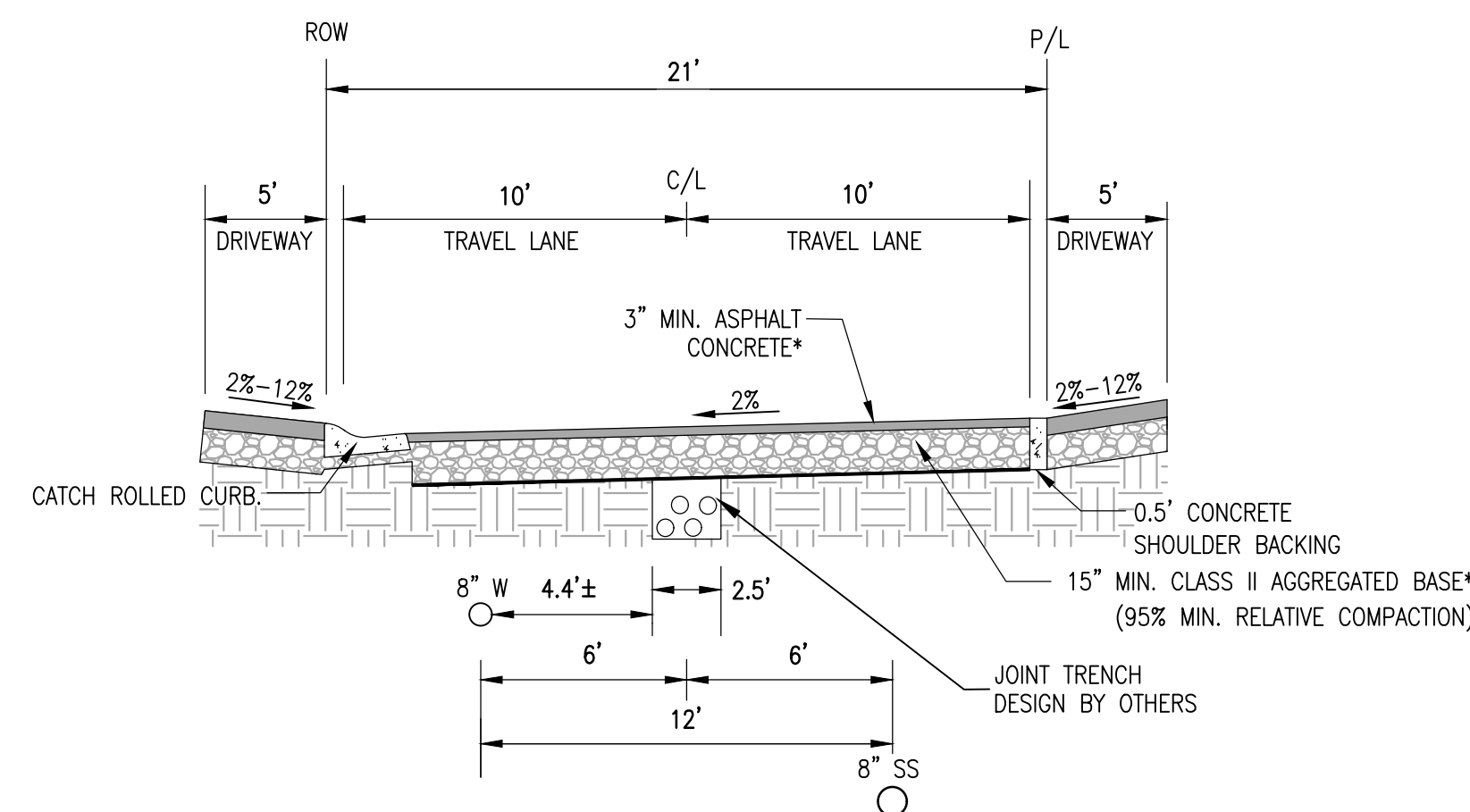


A STREET (PRIVATE)
NOT TO SCALE

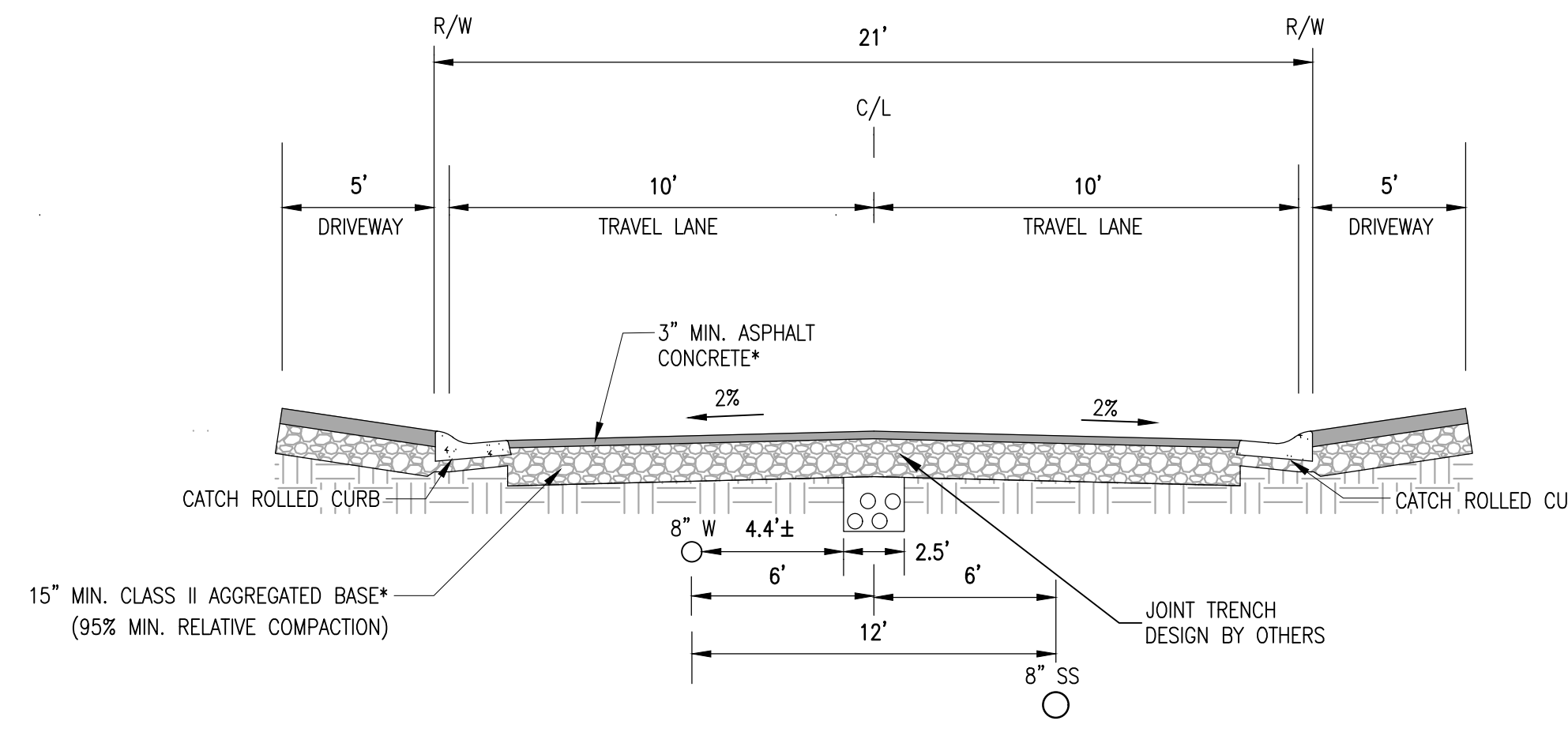


B STREET (PRIVATE)
NOT TO SCALE

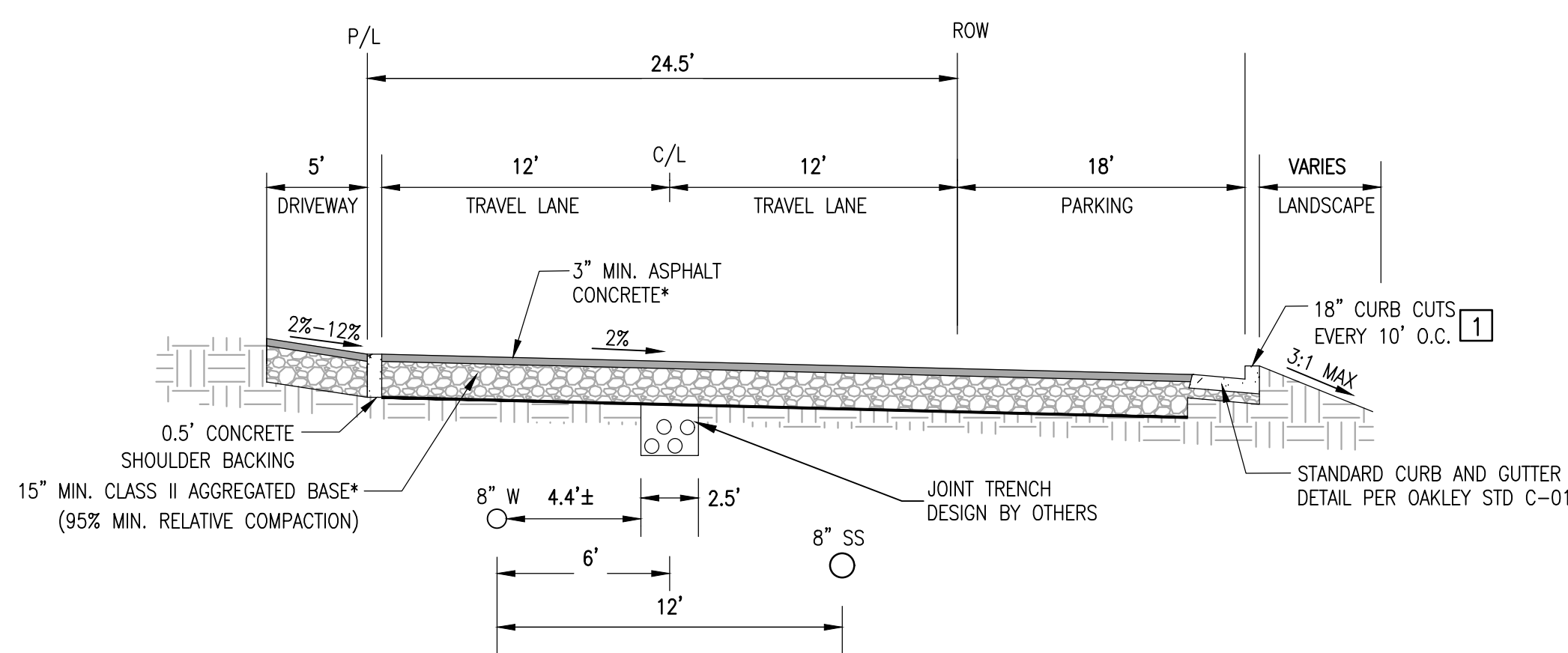
NOTES:
* = AC AND AB SECTIONS TO BE BASED ON ROADWAY AND R VALUES
1. RIP RAP OR SPLASH BLOCK TO BE USED ALONG WATER PATH OF TRAVEL



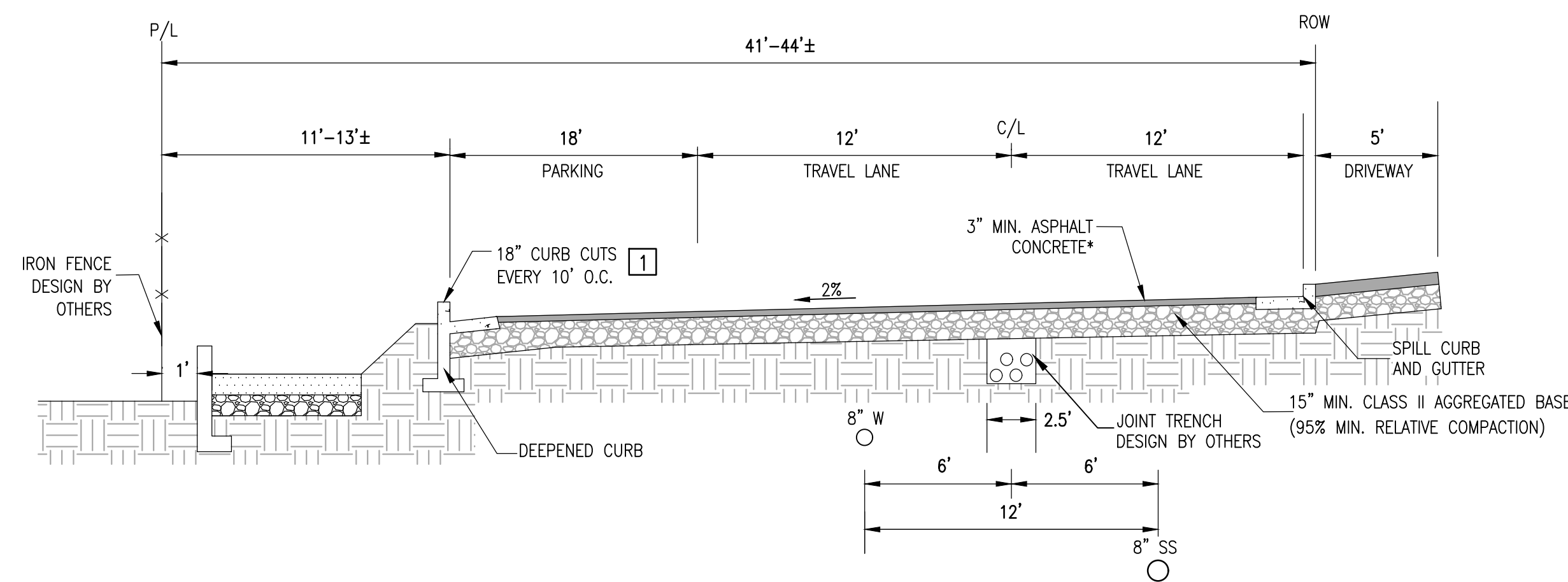
C STREET (PRIVATE)
NOT TO SCALE



D & E STREET (PRIVATE)
NOT TO SCALE



F STREET (PRIVATE)
NOT TO SCALE



G STREET (PRIVATE)
NOT TO SCALE

**SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
TYPICAL STREET SECTIONS**

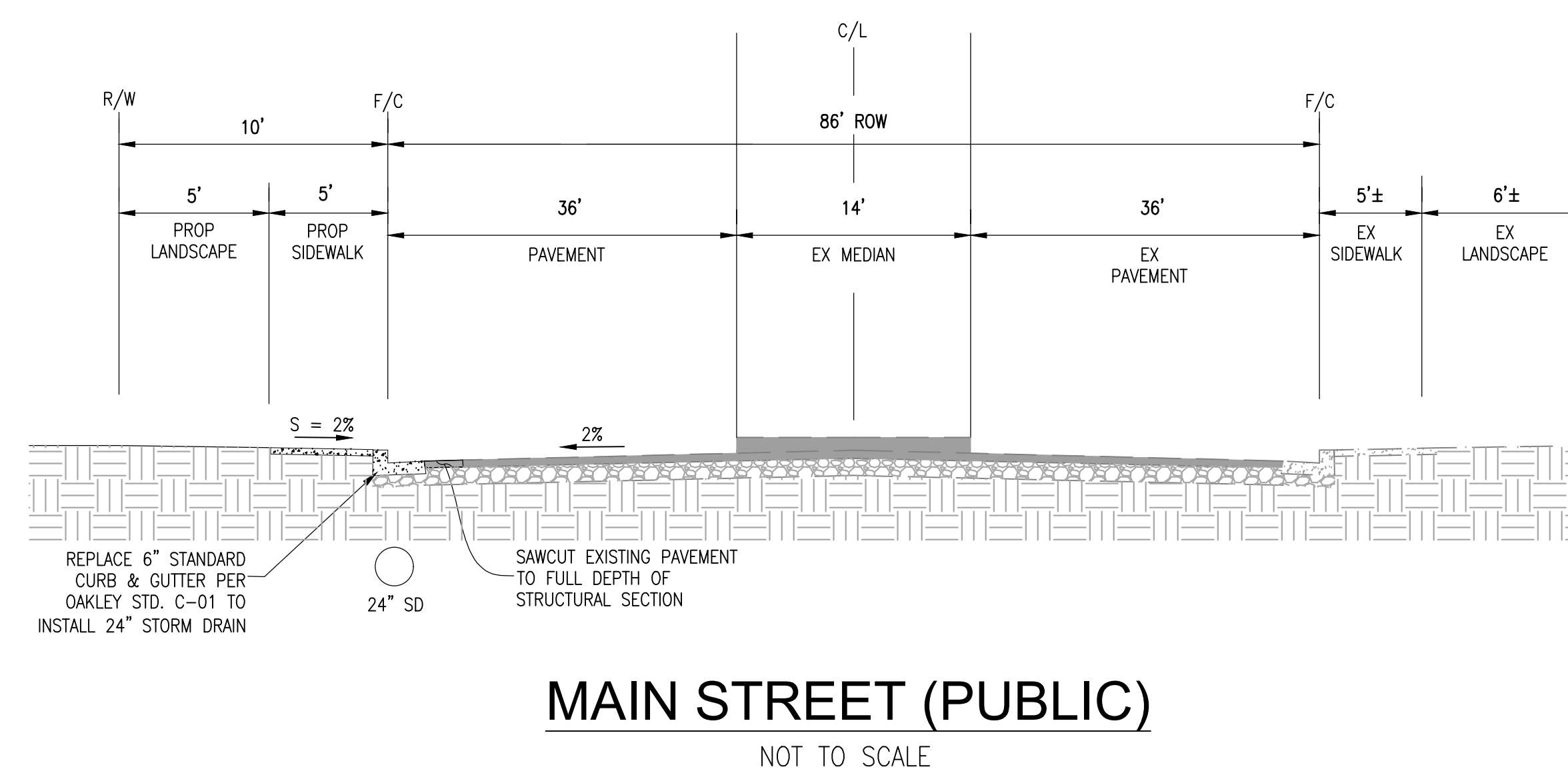
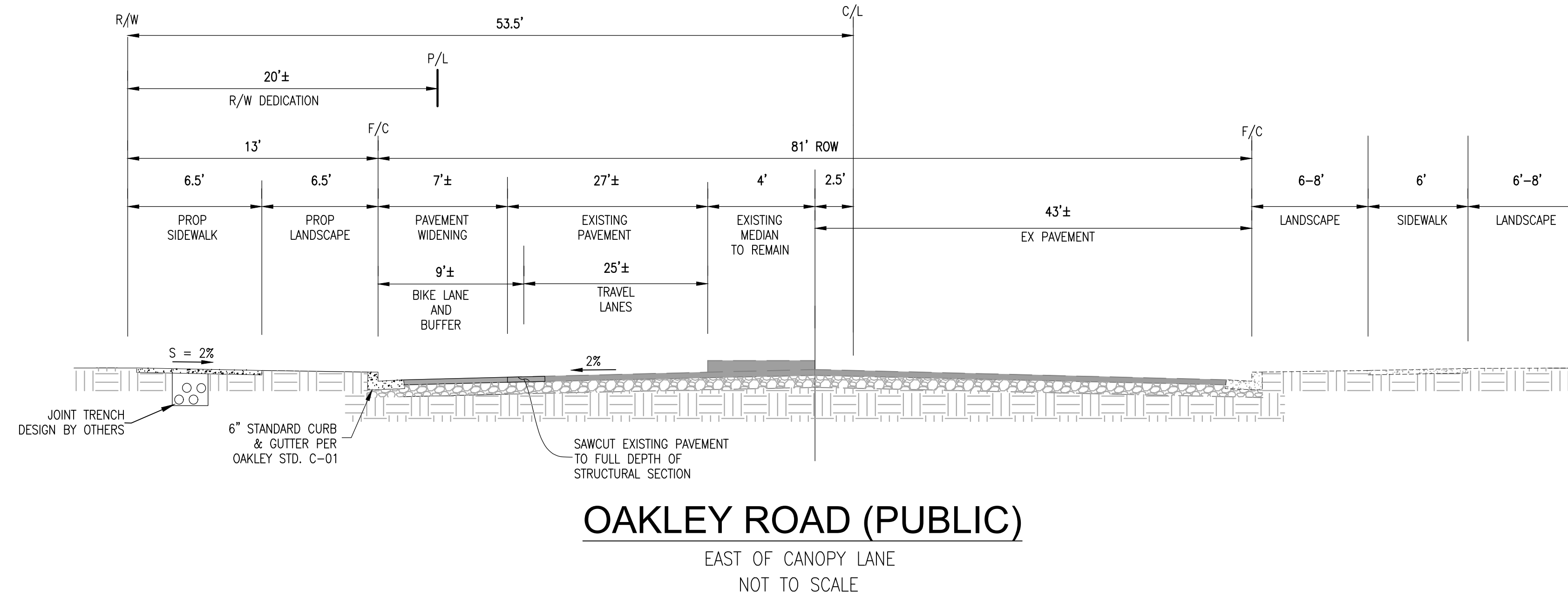
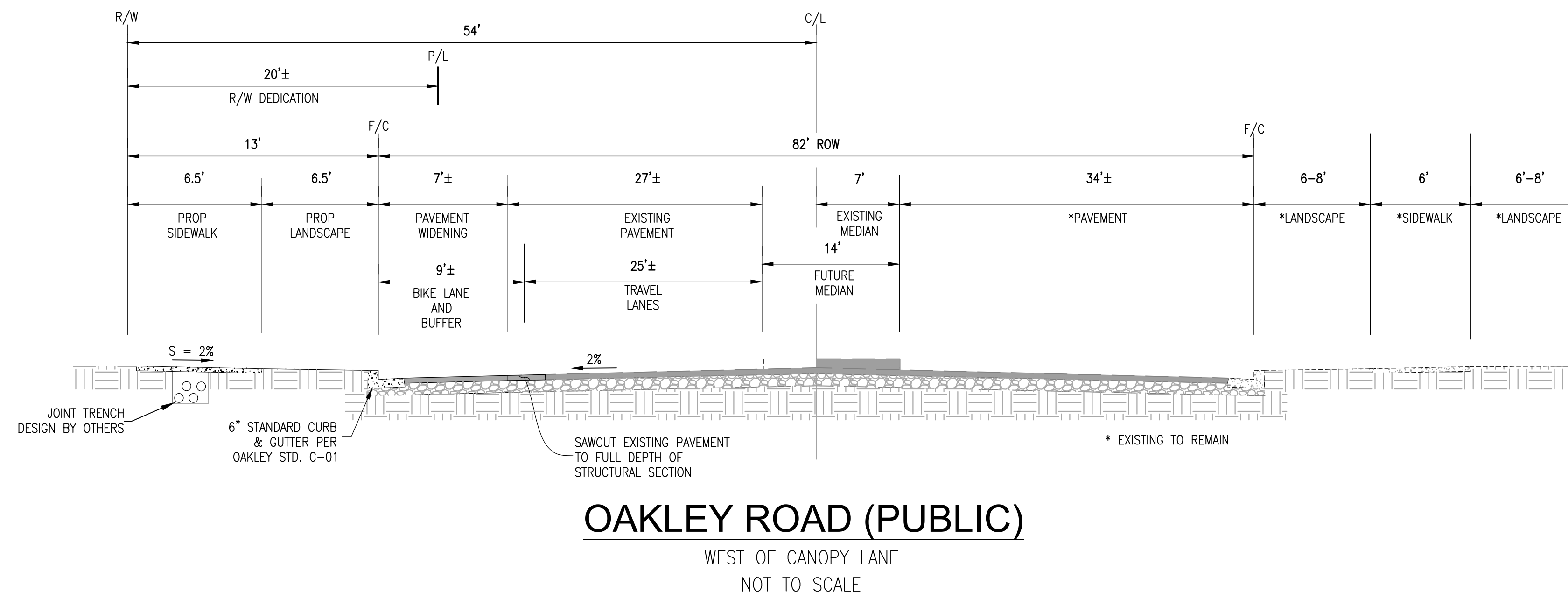
**CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA**

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA
FEBRUARY 28, 2024

NOTES:
THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE
FINAL MAPS ON THE LANDS SHOWN ON THIS MAP

LEGEND

- IMPROVEMENTS BY PROJECT
- - - - - EXISTING CONDITIONS
- FUTURE IMPROVEMENTS BY OTHERS



SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
SITE PLAN

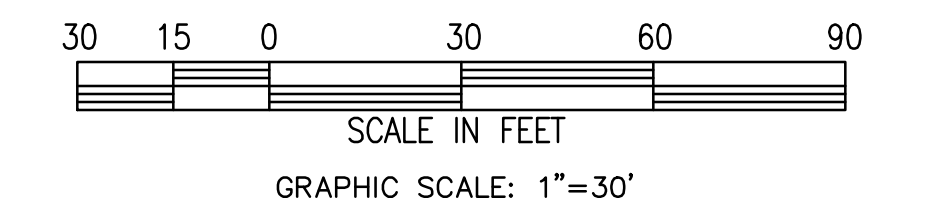
CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
 CONCORD, CALIFORNIA

FEBRUARY 28, 2024 SCALE: 1"=30'

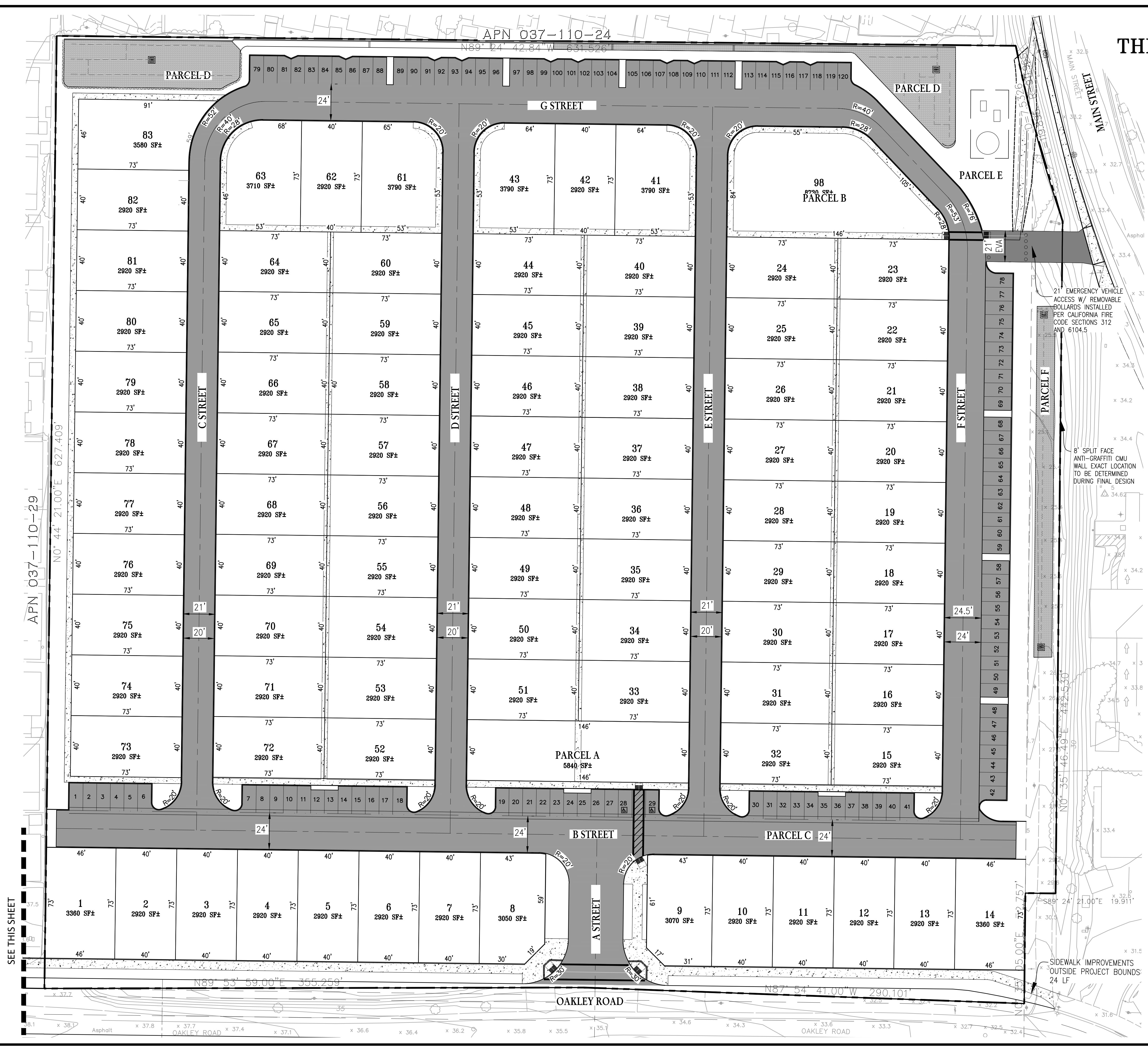
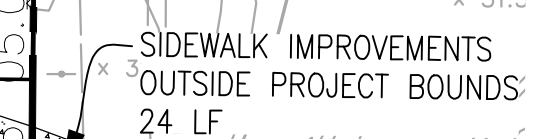
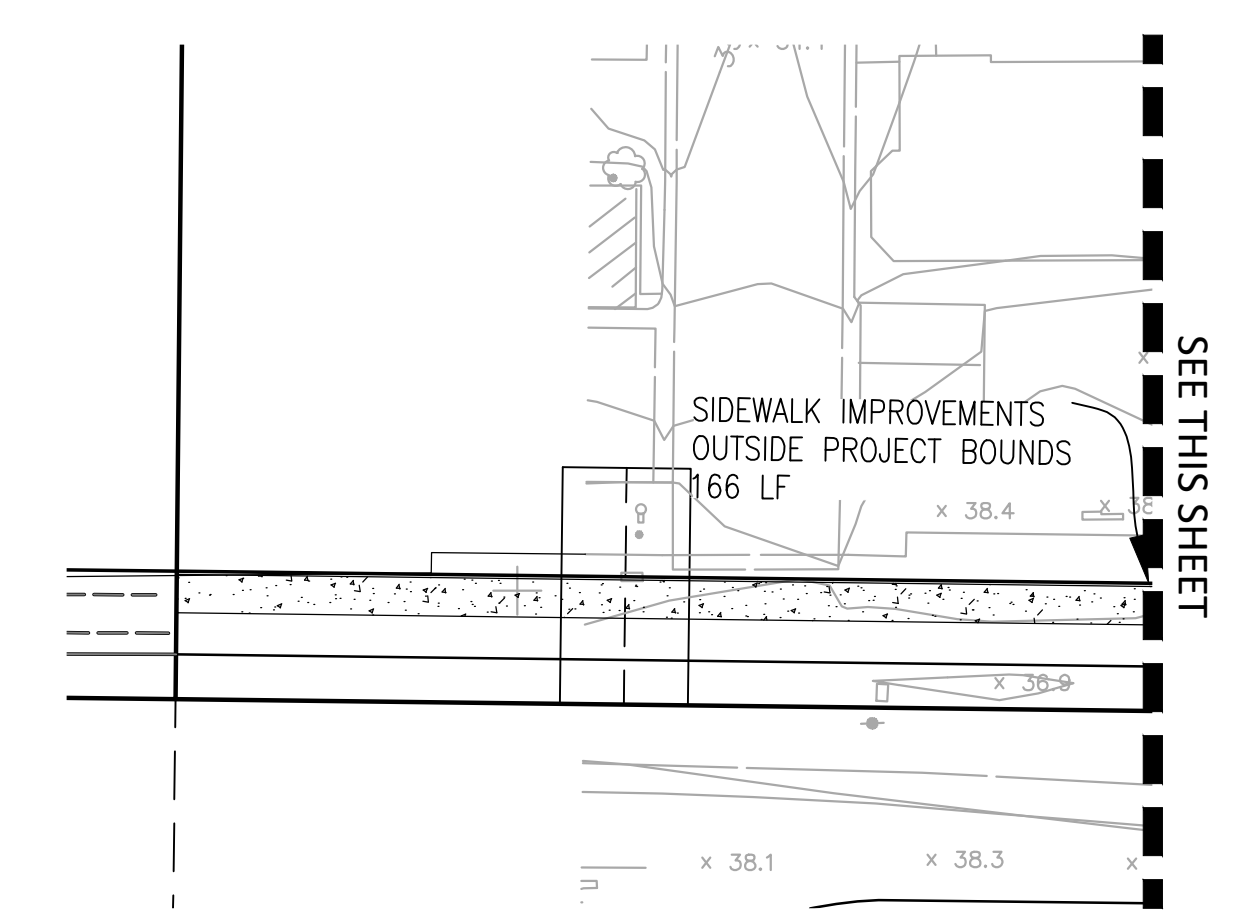
NOTES:

THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE
 FINAL MAPS ON THE LANDS SHOWN ON THIS MAP



LEGEND

PROPOSED	DESCRIPTION
	SUBDIVISION BOUNDARY
	LOT LINE
1	LOT NUMBER
3,000 SF±	LOT AREA IN SQUARE FEET



SUBDIVISION 9634 THE VILLAGE AT 2092 OAKLEY ROAD VESTING TENTATIVE MAP GRADING & UTILITY PLAN

CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA

FEBRUARY 28, 2024 SCALE: 1"=30'

NOTES:

THE OWNER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS ON THE LANDS SHOWN ON THIS MAP

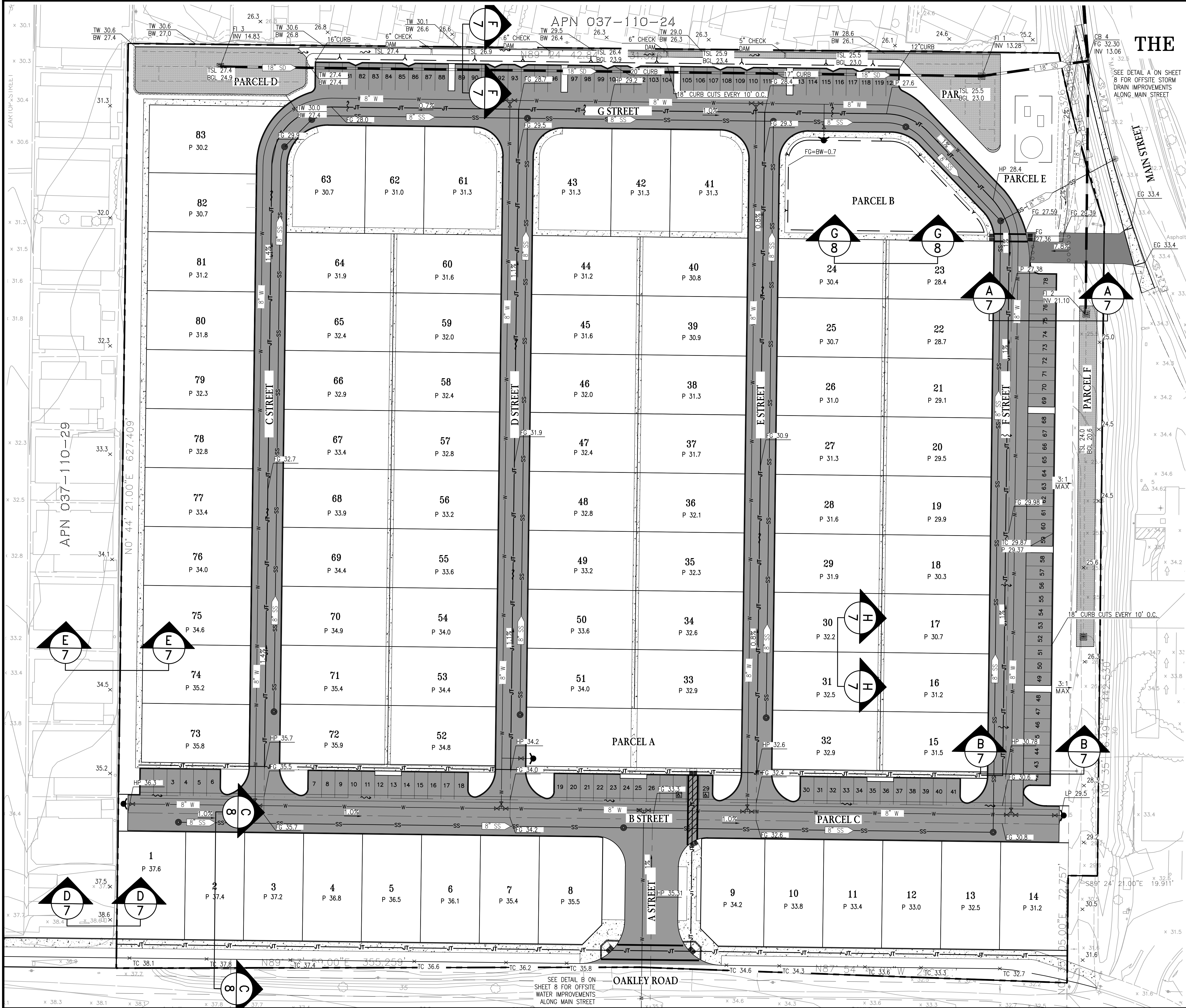


LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	CENTERLINE
W	W	WATER MAIN
SS	SS	SANITARY SEWER PIPE
●	●	SANITARY SEWER MANHOLE
SD	SD	STORM DRAIN PIPE
●	●	STORM DRAIN MANHOLE
●	●	STORM DRAIN CATCH BASIN
JT	JT	JOINT TRENCH
---	---	OVERLAND RELEASE

NOTES

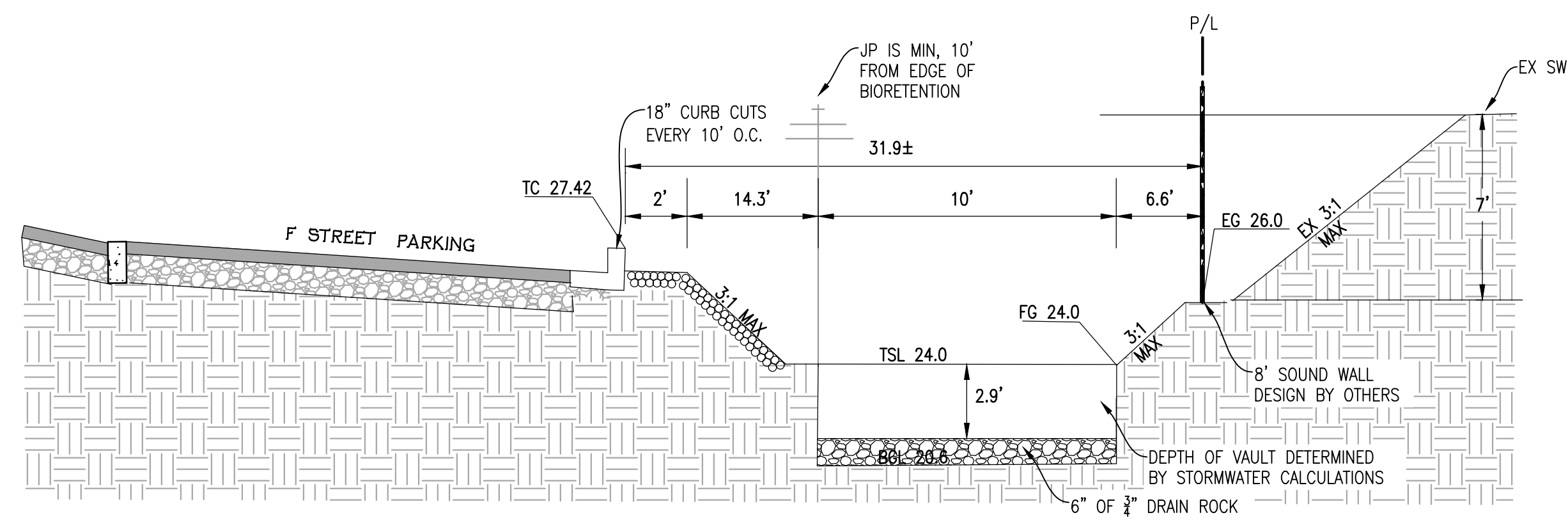
- ALL STREET GRADES TO BE 0.75% MINIMUM
- EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A TOPOGRAPHIC SURVEY IN 2022
- ALL ELEVATIONS ARE BASED ON 1988 NAVD
- GRADING QUANTITIES CALCULATIONS ARE IN PROGRESS



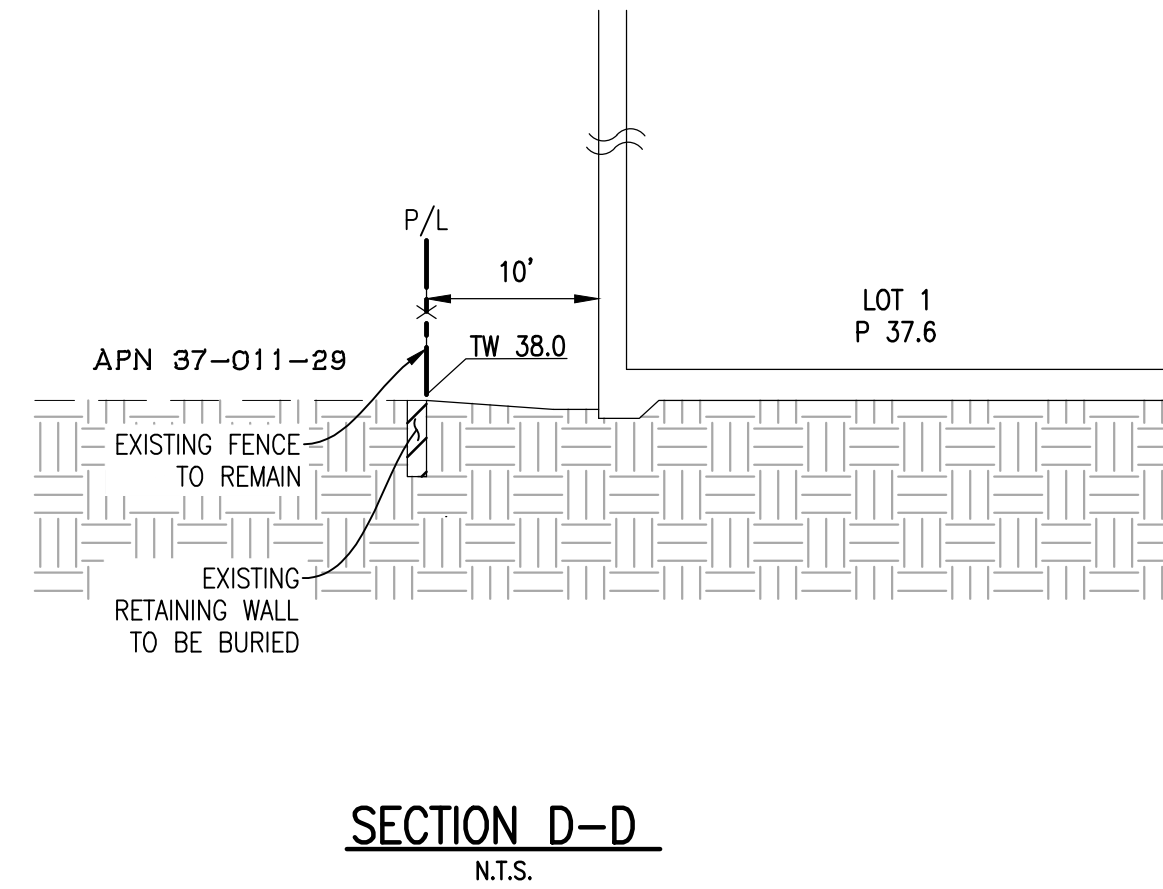
SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
GRADING SECTIONS

CITY OF OAKLEY
 CONTRA COSTA COUNTY, CALIFORNIA

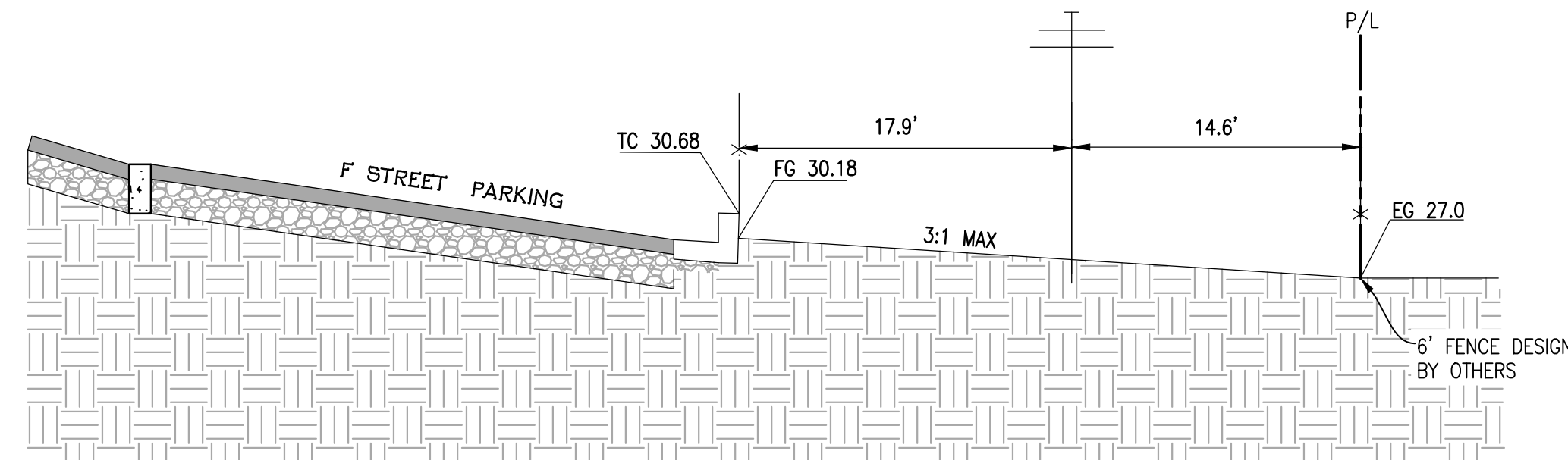
BELLECCI & ASSOCIATES, INC.
 CONCORD, CALIFORNIA
 FEBRUARY 28, 2024



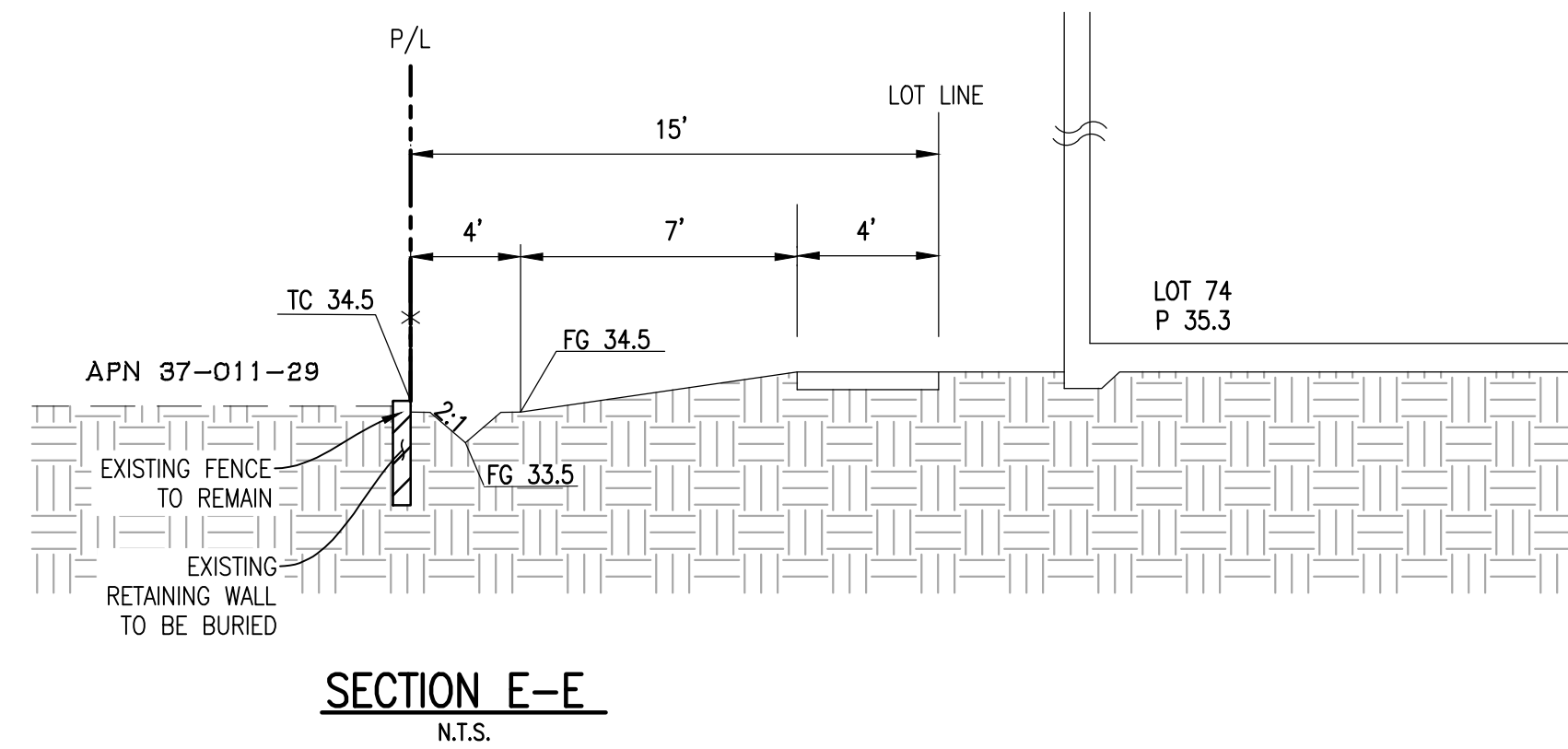
SECTION A-A
N.T.S.



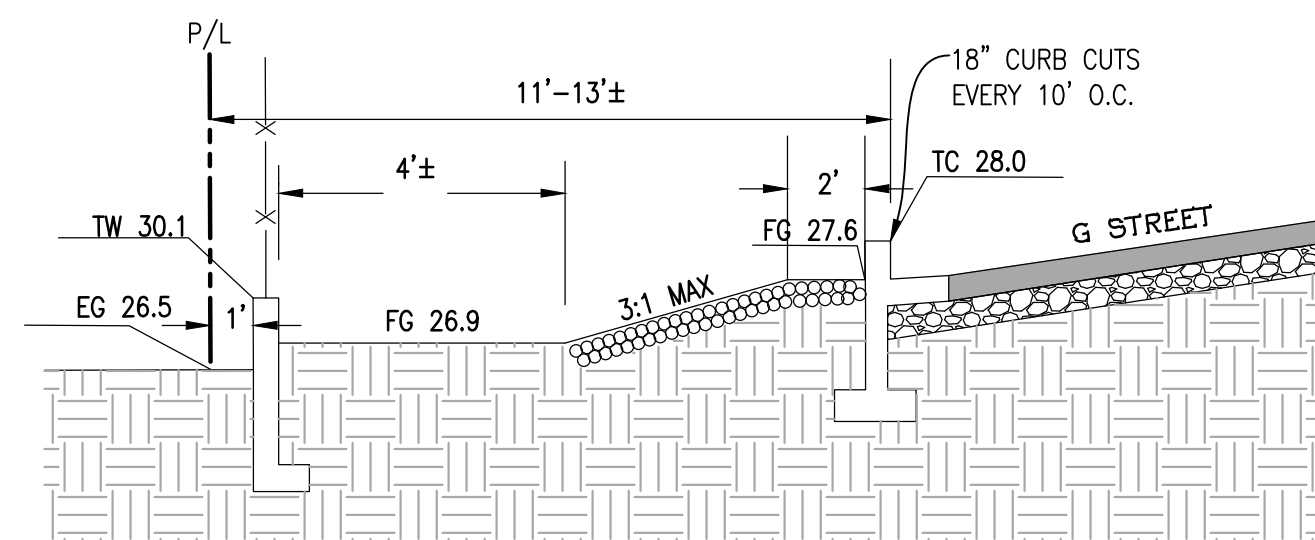
SECTION D-D
N.T.S.



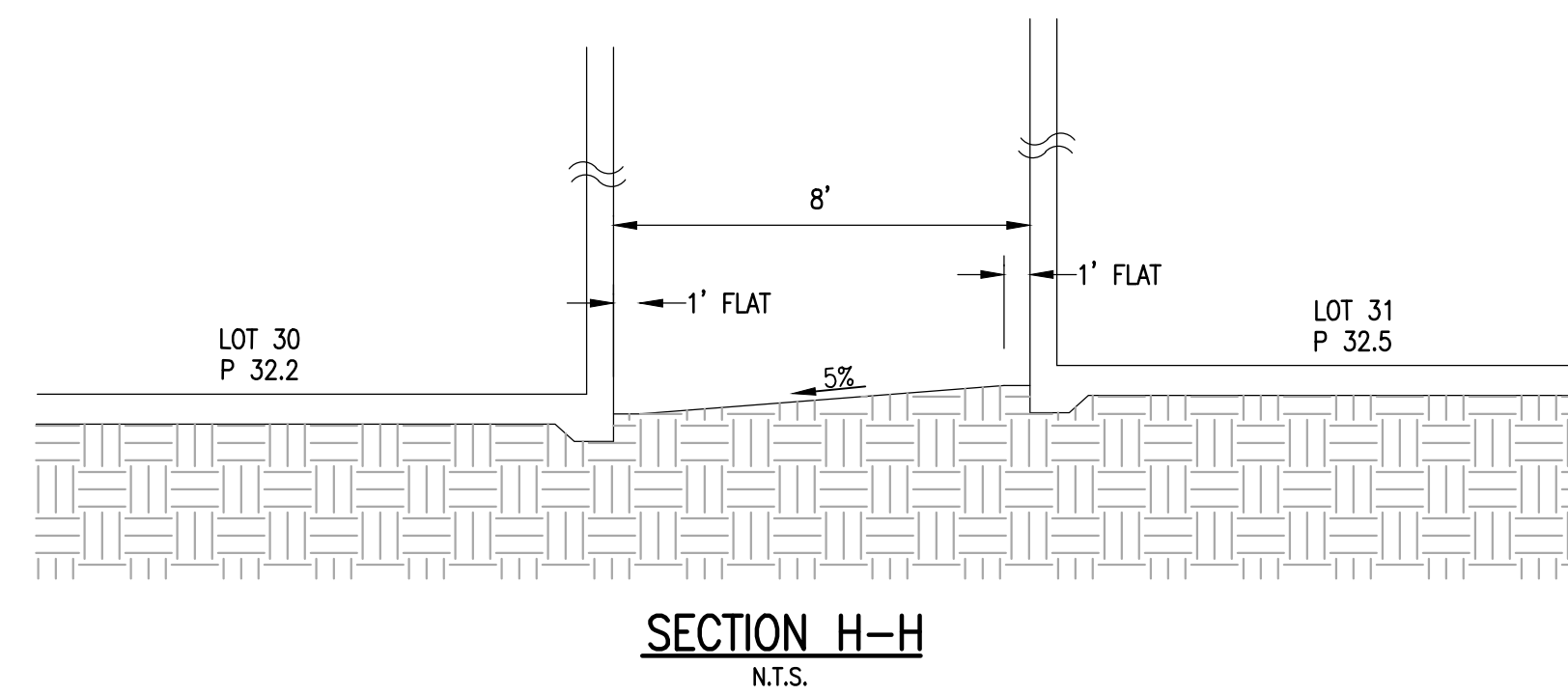
SECTION B-B
N.T.S.



SECTION E-E
N.T.S.



SECTION F-F
N.T.S.

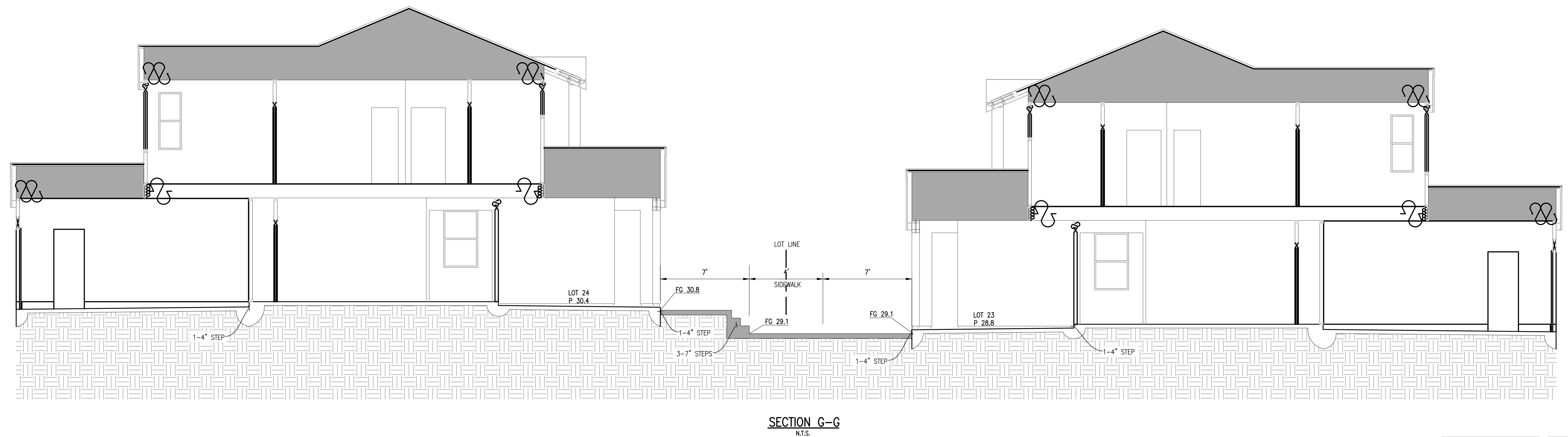
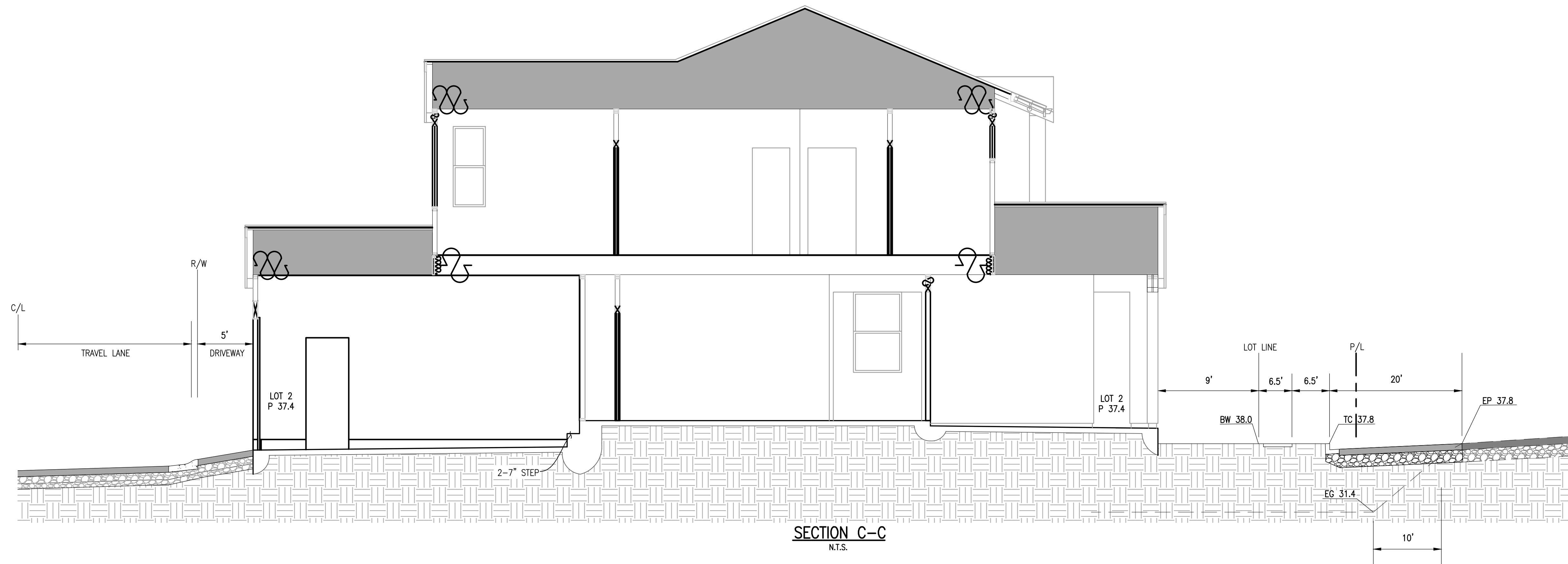


SECTION H-H
N.T.S.

SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
GRADING SECTIONS

CITY OF OAKLEY
 CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
 CONCORD, CALIFORNIA
 FEBRUARY 28, 2024



**SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
VESTING TENTATIVE MAP
OFFSITE WORK**

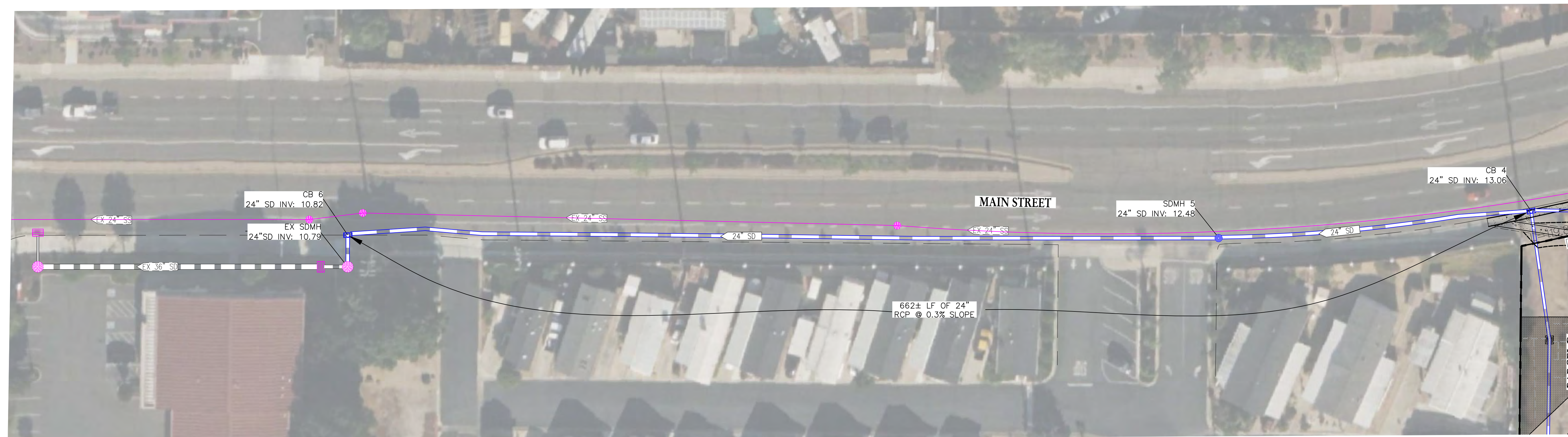
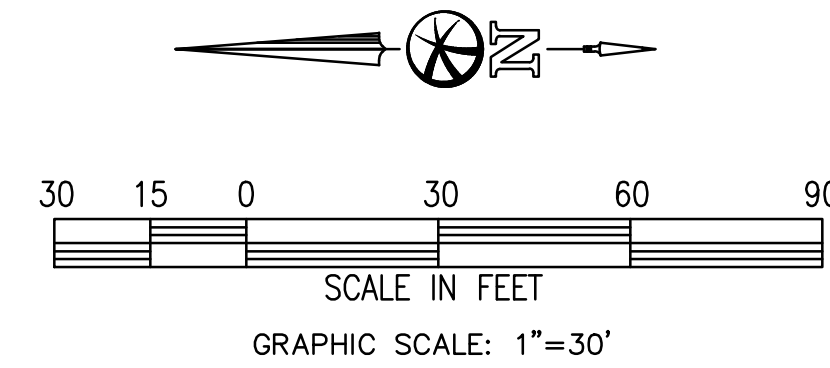
**CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA**

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CONCORD, CALIFORNIA
FEBRUARY 28, 2024 SCALE: 1"=30'

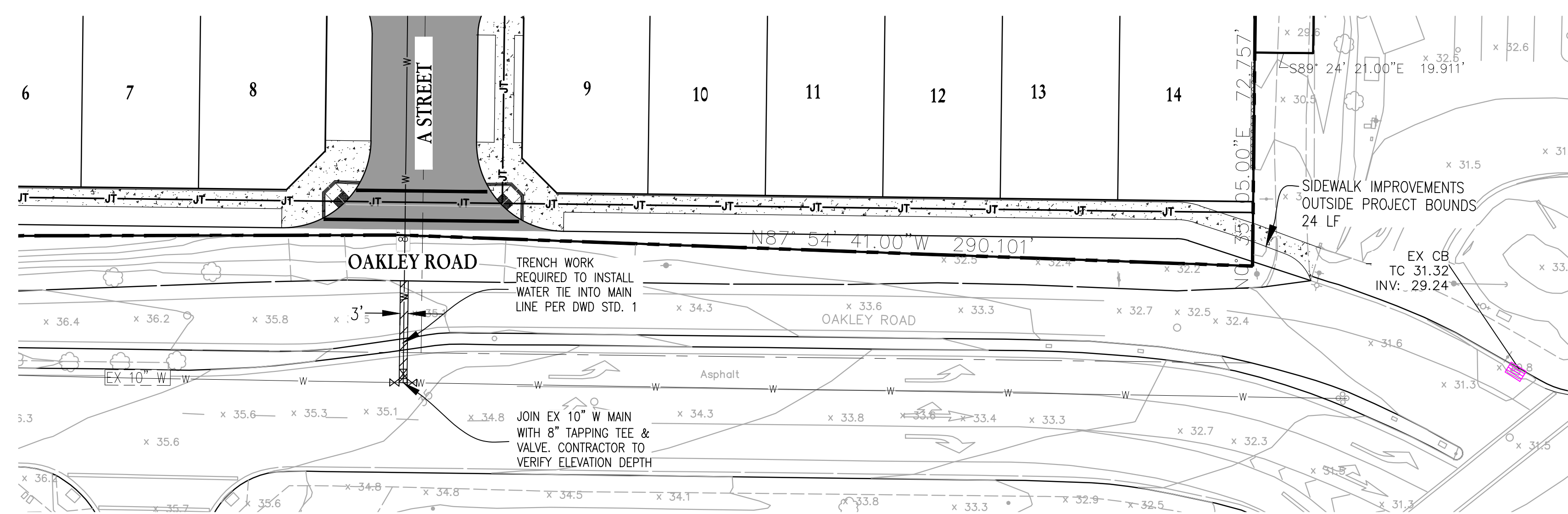
NOTES:
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LEGEND

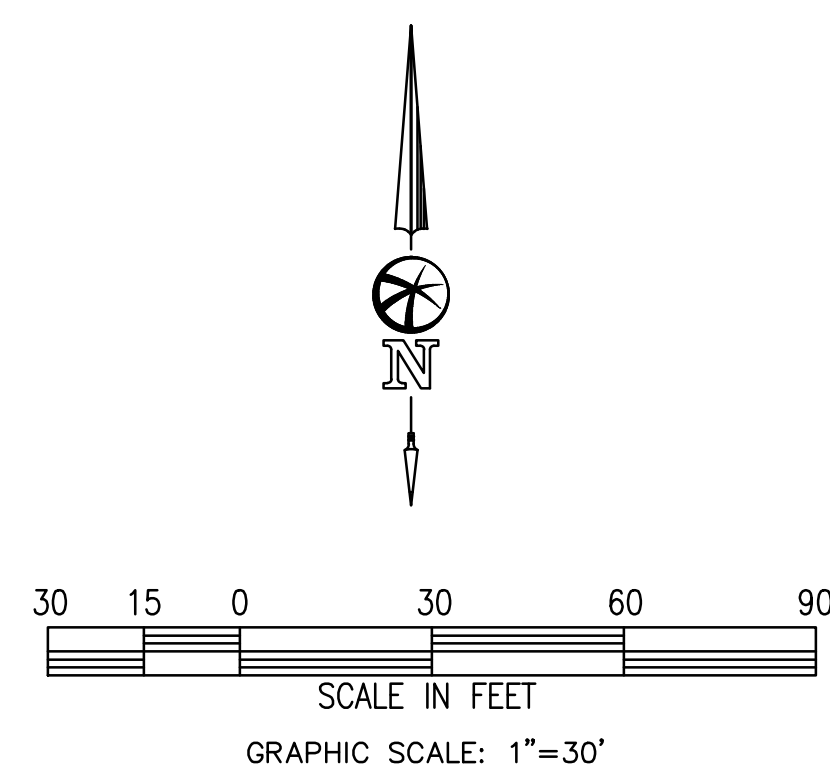
EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	CENTERLINE
W [EX W]	W [W]	WATER MAIN
SS [EX SS]	SS [SS]	SANITARY SEWER PIPE
●	●	SANITARY SEWER MANHOLE
---	---	STORM DRAIN PIPE
●	●	STORM DRAIN MANHOLE
□	□	STORM DRAIN CATCH BASIN



DETAIL A. OFFSITE STORM DRAIN CONNECTION



DETAIL B. OFFSITE WATER CONNECTION



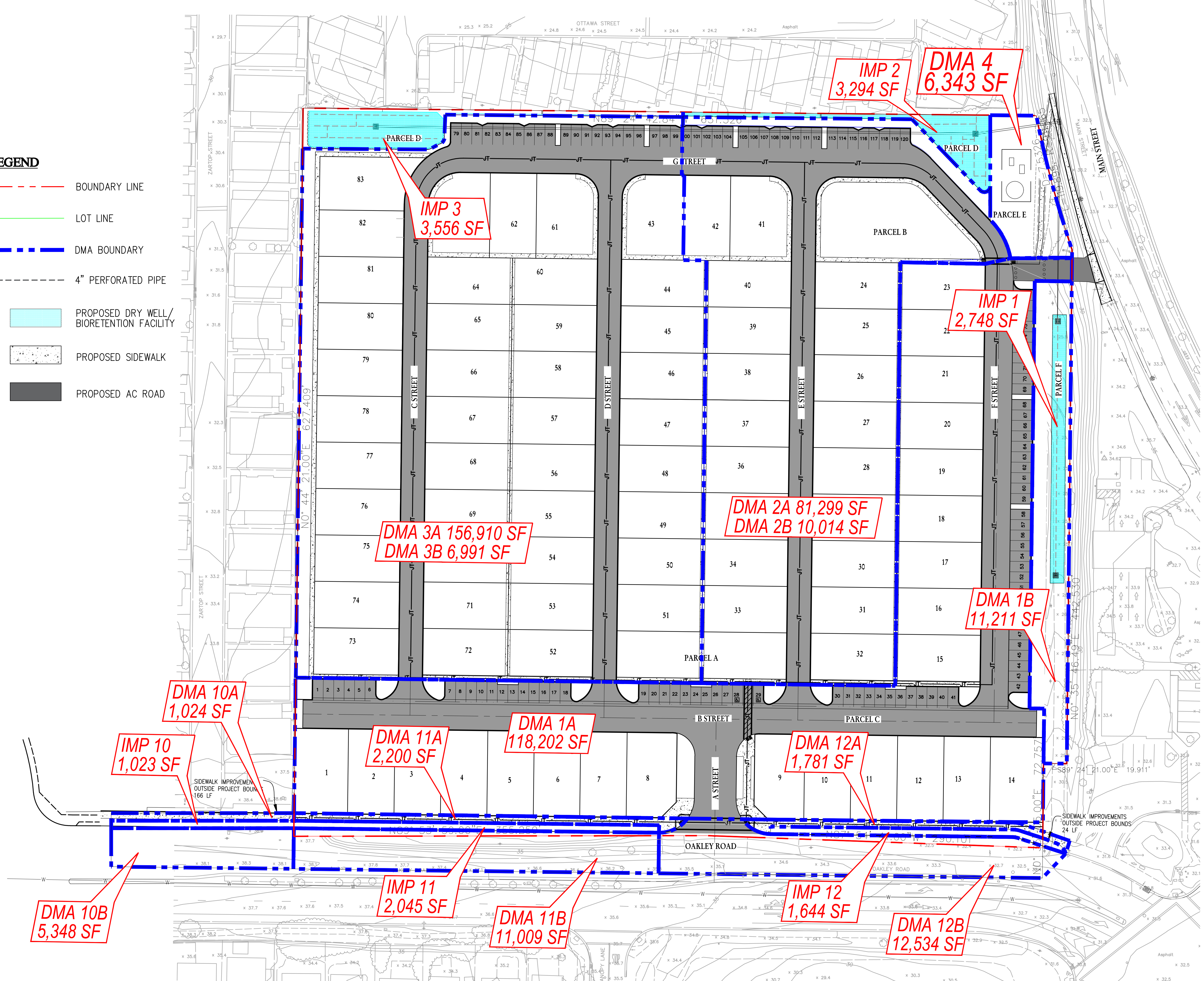
**SUBDIVISION 9634
THE VILLAGE AT 2092 OAKLEY ROAD
STORM WATER CONTROL
PLAN EXHIBIT**

CITY OF OAKLEY
CONTRA COSTA COUNTY, CALIFORNIA

BELLECCI & ASSOCIATES, INC.
CONCORD, CALIFORNIA
FEBRUARY 28, 2024 SCALE: 1"=30'

LEGEND

- - - - BOUNDARY LINE
- — — — LOT LINE
- - - - DMA BOUNDARY
- - - - 4" PERFORATED PIPE
- PROPOSED DRY WELL/
BIORETENTION FACILITY
- PROPOSED SIDEWALK
- PROPOSED AC ROAD



I. Self-Treating Areas

DMA Name	Area (sq ft)
DMA 4	6343

IV. Areas Draining to IMPs

IMP Name: IMP1 (Soil Type: A)

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 1A	118,202	Concrete or Asphalt	1.00	118,202	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>1,121</td> <td>0.020</td> <td>1,000</td> <td>2,386</td> </tr> <tr> <td>1.000</td> <td>118,202</td> <td>0.068</td> <td>1,000</td> <td>8,114</td> </tr> <tr> <td>Total</td> <td>119,323</td> <td></td> <td></td> <td>2,748</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	1,121	0.020	1,000	2,386	1.000	118,202	0.068	1,000	8,114	Total	119,323			2,748
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	1,121	0.020	1,000	2,386																					
1.000	118,202	0.068	1,000	8,114																					
Total	119,323			2,748																					
DMA 1B	11,211	Landscape	0.10	1,121																					

IMP Name: IMP2 (Soil Type: A)

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 2A	81,299	Concrete or Asphalt	1.00	81,299	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>1,001</td> <td>0.020</td> <td>1,000</td> <td>2,386</td> </tr> <tr> <td>1.000</td> <td>82,300</td> <td>0.068</td> <td>1,000</td> <td>8,114</td> </tr> <tr> <td>Total</td> <td>83,301</td> <td></td> <td></td> <td>3,294</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	1,001	0.020	1,000	2,386	1.000	82,300	0.068	1,000	8,114	Total	83,301			3,294
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	1,001	0.020	1,000	2,386																					
1.000	82,300	0.068	1,000	8,114																					
Total	83,301			3,294																					
DMA 2B	10,014	Landscape	0.10	1,001																					

IMP Name: IMP3 (Soil Type: A)

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 3A	156,910	Concrete or Asphalt	1.00	156,910	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>699</td> <td>0.020</td> <td>1,000</td> <td>3,152</td> </tr> <tr> <td>1.000</td> <td>157,609</td> <td>0.068</td> <td>1,000</td> <td>10,717</td> </tr> <tr> <td>Total</td> <td>158,308</td> <td></td> <td></td> <td>13,869</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	699	0.020	1,000	3,152	1.000	157,609	0.068	1,000	10,717	Total	158,308			13,869
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	699	0.020	1,000	3,152																					
1.000	157,609	0.068	1,000	10,717																					
Total	158,308			13,869																					
DMA 3B	6,991	Landscape	0.10	699																					

IMP Name: DMA10 (Soil Type: A)

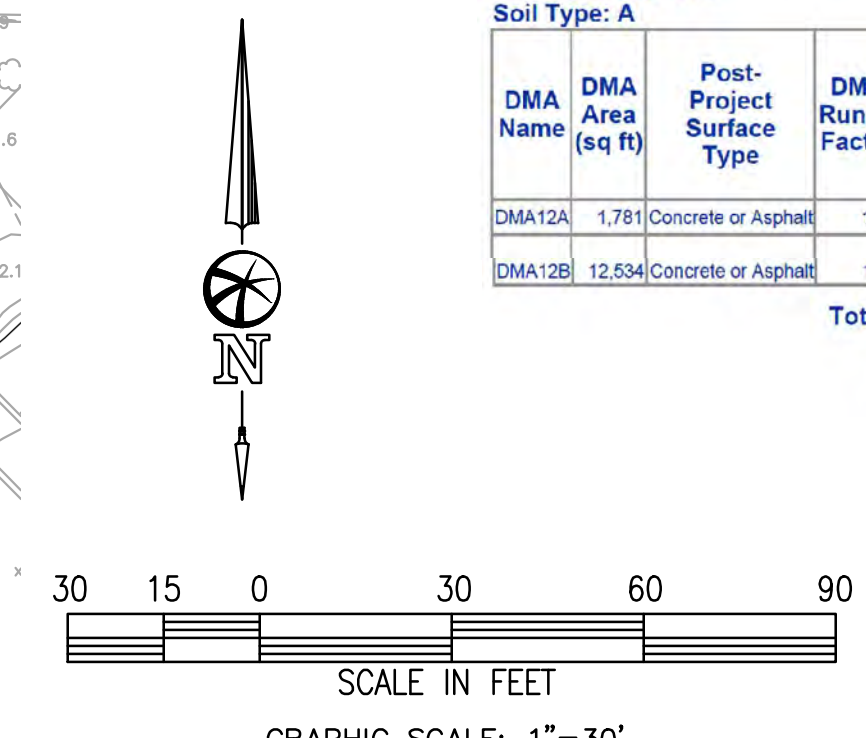
DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 10A	1,024	Concrete or Asphalt	1.00	1,024	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>5,346</td> <td>0.020</td> <td>1,000</td> <td>127</td> </tr> <tr> <td>1.000</td> <td>6,372</td> <td>0.068</td> <td>1,000</td> <td>433</td> </tr> <tr> <td>Total</td> <td>7,370</td> <td></td> <td></td> <td>511</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	5,346	0.020	1,000	127	1.000	6,372	0.068	1,000	433	Total	7,370			511
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	5,346	0.020	1,000	127																					
1.000	6,372	0.068	1,000	433																					
Total	7,370			511																					
DMA 10B	5,348	Concrete or Asphalt	1.00	5,348																					

IMP Name: DMA11 (Soil Type: A)

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 11A	2,200	Concrete or Asphalt	1.00	2,200	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>11,009</td> <td>0.020</td> <td>1,000</td> <td>264</td> </tr> <tr> <td>1.000</td> <td>13,209</td> <td>0.068</td> <td>1,000</td> <td>868</td> </tr> <tr> <td>Total</td> <td>15,418</td> <td></td> <td></td> <td>1,132</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	11,009	0.020	1,000	264	1.000	13,209	0.068	1,000	868	Total	15,418			1,132
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	11,009	0.020	1,000	264																					
1.000	13,209	0.068	1,000	868																					
Total	15,418			1,132																					
DMA 11B	11,009	Concrete or Asphalt	1.00	11,009																					

IMP Name: DMA12 (Soil Type: A)

DMA Name	DMA Area (sq ft)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing																				
DMA 12A	1,781	Concrete or Asphalt	1.00	1,781	<table border="1"> <tr> <th>Factor</th> <th>IMP Sizing</th> <th>Rain Adjust-ment</th> <th>Minimum Area or Volume</th> <th>Proposed Area or Volume</th> </tr> <tr> <td>0.10</td> <td>12,534</td> <td>0.020</td> <td>1,000</td> <td>296</td> </tr> <tr> <td>1.000</td> <td>14,315</td> <td>0.068</td> <td>1,000</td> <td>973</td> </tr> <tr> <td>Total</td> <td>16,349</td> <td></td> <td></td> <td>1,269</td> </tr> </table>	Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume	0.10	12,534	0.020	1,000	296	1.000	14,315	0.068	1,000	973	Total	16,349			1,269
Factor	IMP Sizing	Rain Adjust-ment	Minimum Area or Volume	Proposed Area or Volume																					
0.10	12,534	0.020	1,000	296																					
1.000	14,315	0.068	1,000	973																					
Total	16,349			1,269																					
DMA 12B	12,534	Concrete or Asphalt	1.00	12,534																					





PLAN VIEW
Scale: 1"=40'-0"





WATER TREATMENT PLANTING: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

FLOWERING DROUGHT-TOLERANT SHRUBS AND GROUNDCOVER: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

4'-0" WIDE CONCRETE WALKWAY: REFER TO DETAIL 1 SHEET L-10

HOMEOWNER PRIVATE YARD (TYPICAL)

SCREEN TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

CONCRETE DRIVEWAY: REFER TO PLANS PREPARED BY BELLECCI CIVIL ENGINEERS

TYPICAL HOUSE CLUSTER ENLARGEMENT: REFER TO SHEET L-3

STREET TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

HOUSE CLUSTER AND OPEN SPACE ENLARGEMENT: REFER TO SHEET L-4

OAKLEY ROAD STREET TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

FLOWERING DROUGHT-TOLERANT GROUNDCOVER: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

OPEN SPACE ENLARGEMENT: REFER TO SHEET L-6

EMERGENCY VEHICLE ACCESS: REFER TO PLANS PREPARED BY BELLECCI CIVIL ENGINEERS

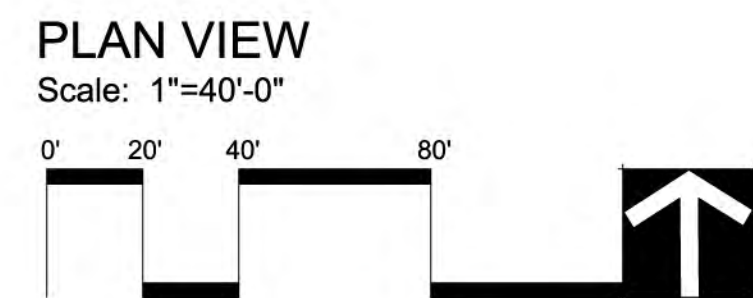
TREES UNDER POWER LINES: MAXIMUM HEIGHT OF 25'-0". REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

DRY WELL: REFER TO PLANS PREPARED BY BELLECCI CIVIL ENGINEERS

DROUGHT-TOLERANT SHRUBS AND GROUNDCOVER ON SLOPES: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

TYPICAL TREE PLANTING AT PARKING AREA CONCEPT: REFER TO SHEET L-5






PROJECT ENTRY ENLARGEMENT: REFER TO SHEET L-7

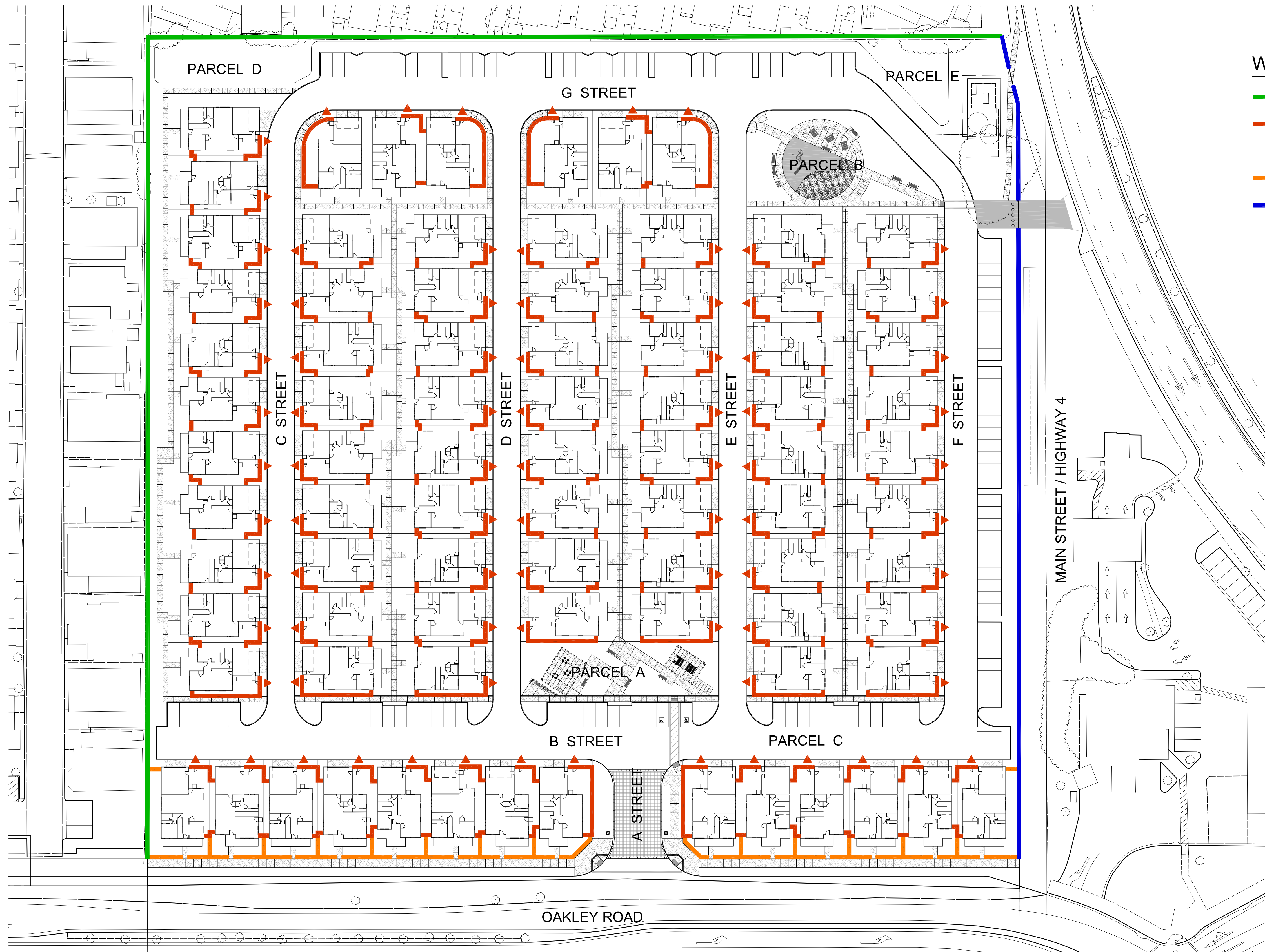


Preliminary Landscape Plan

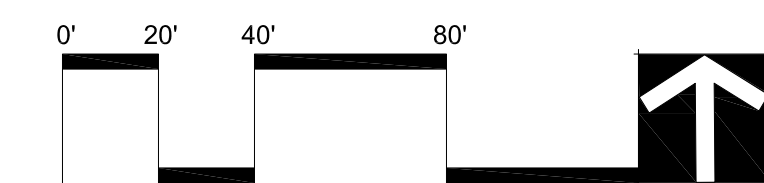


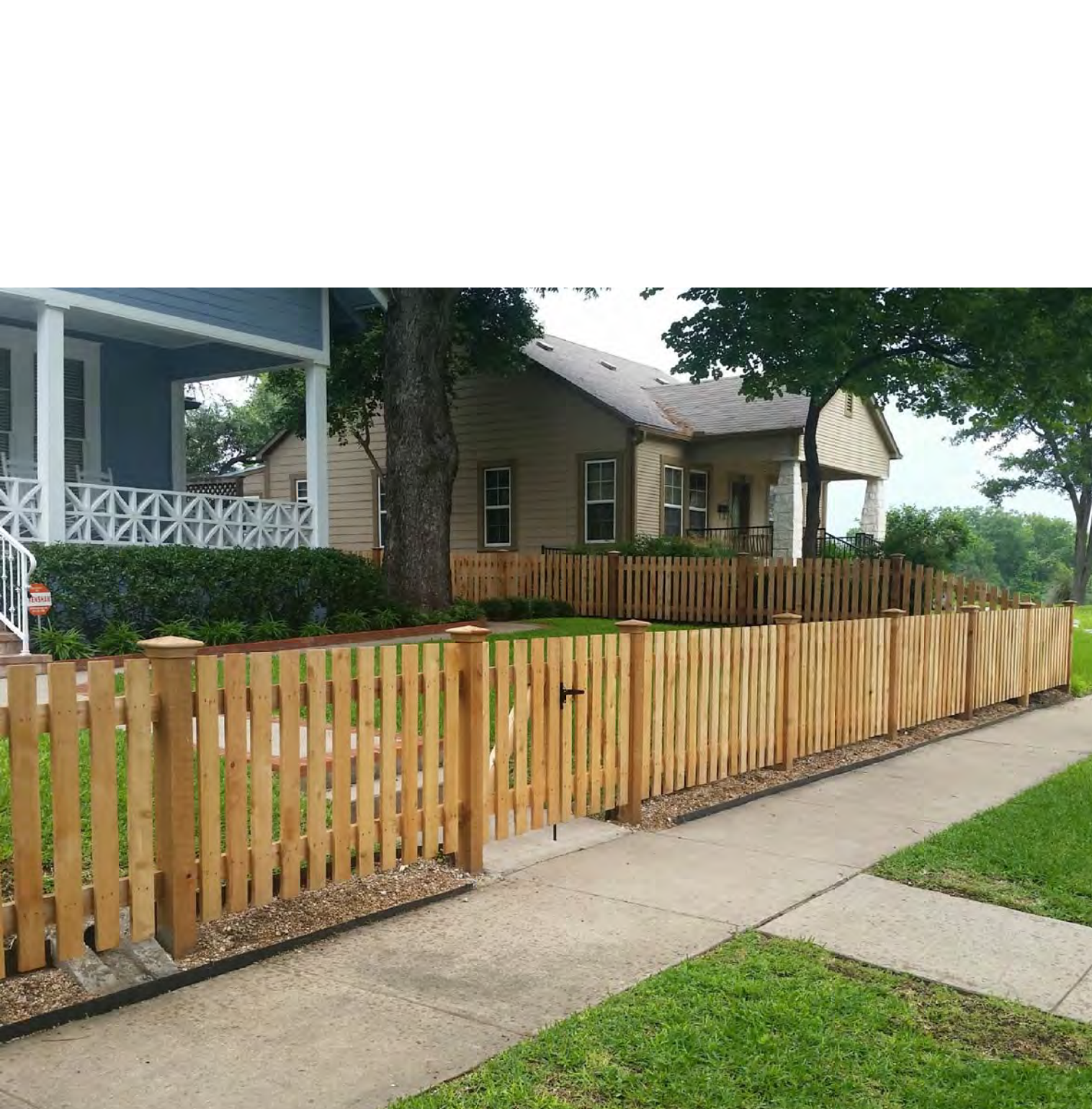
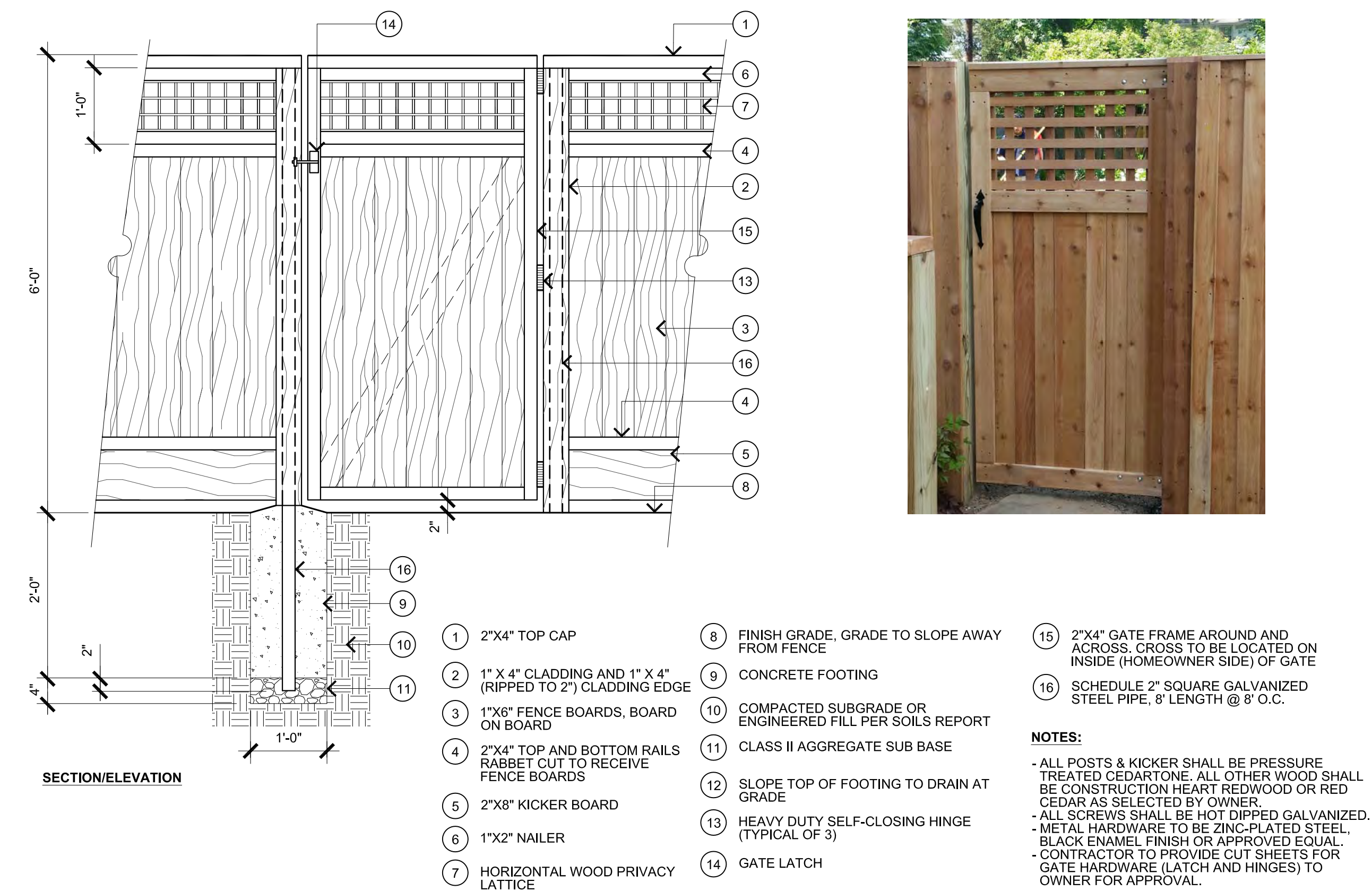
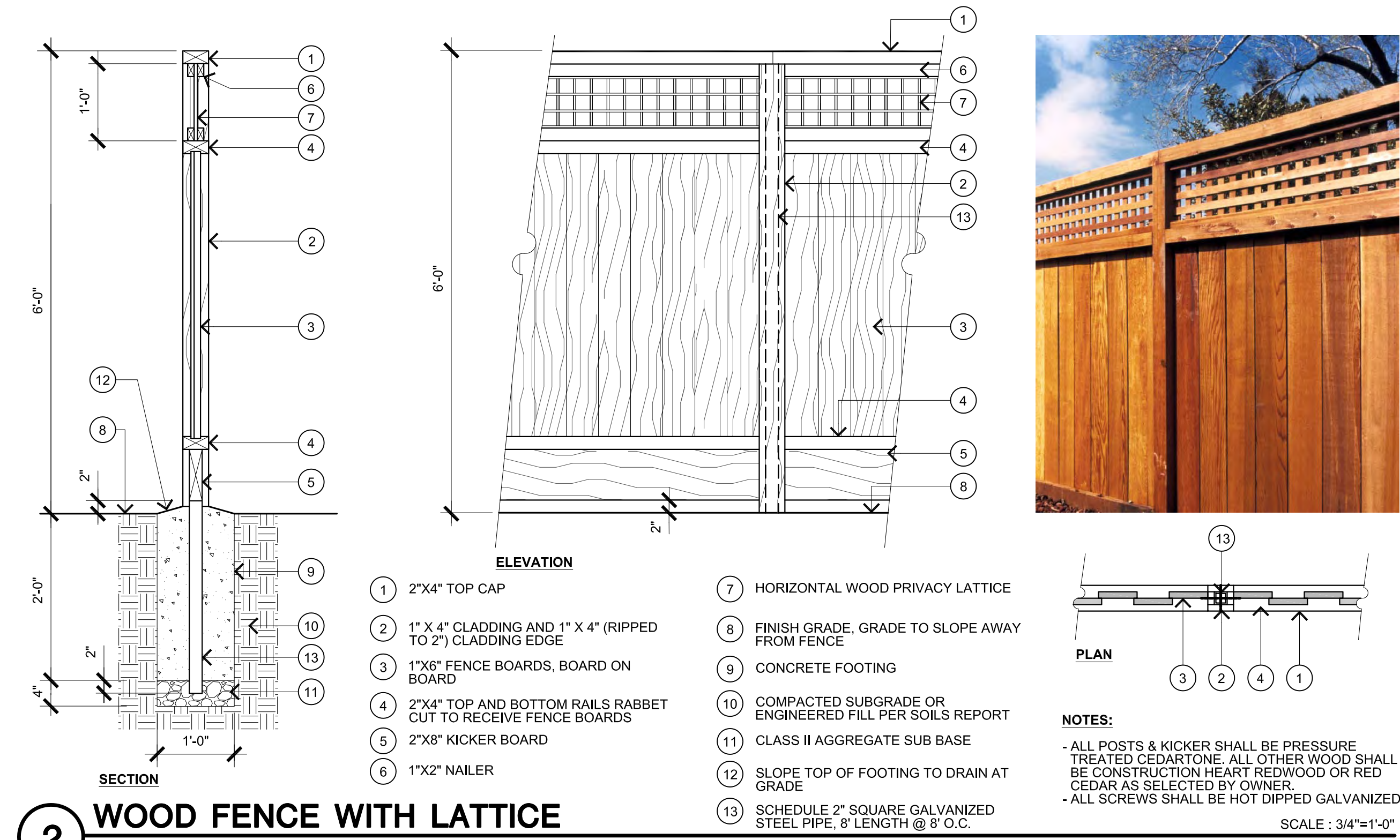
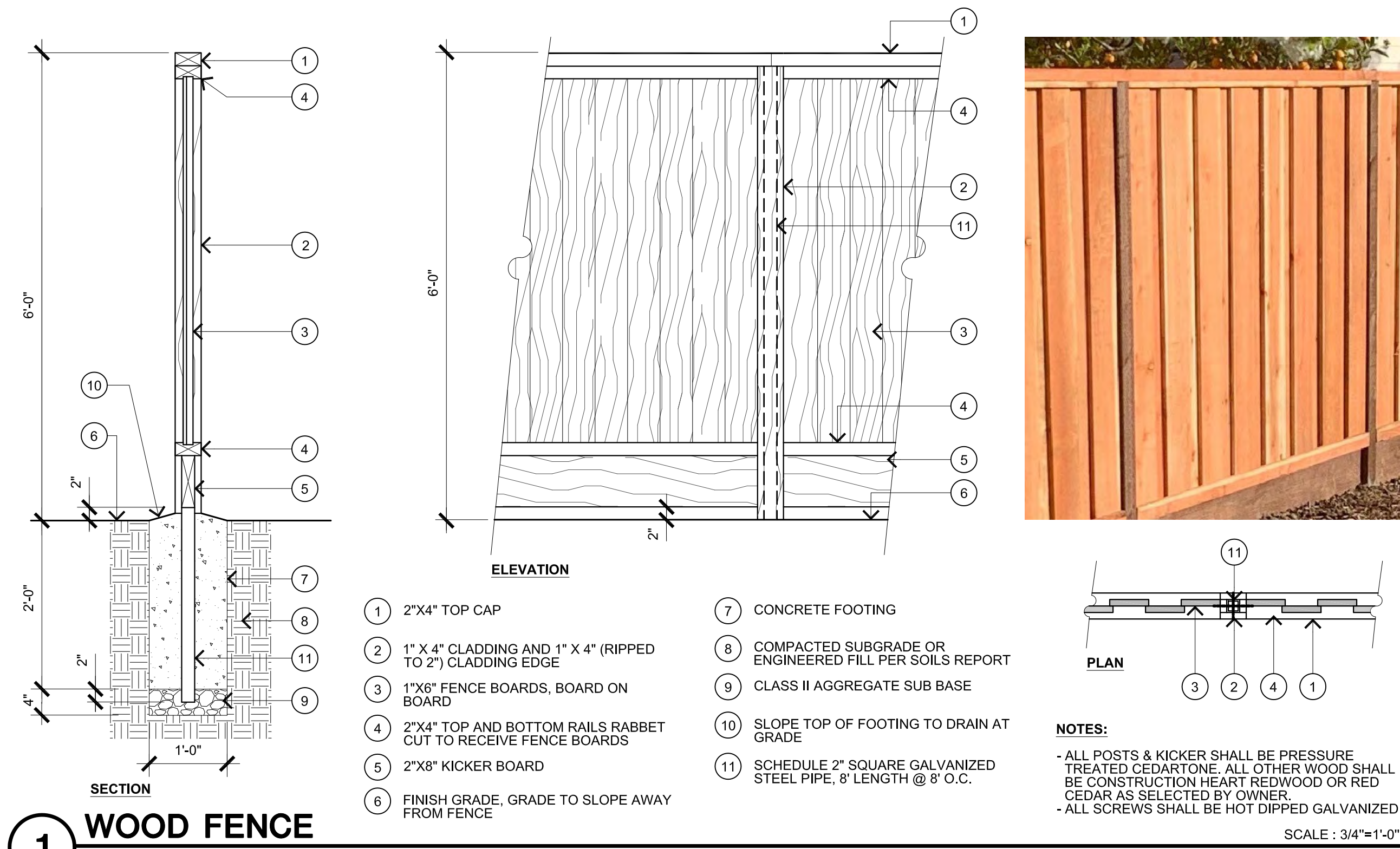
WALL & FENCE SCHEDULE

-  WOOD FENCE (6'-0" TALL); REFER TO DETAIL/IMAGE 1 SHEET L-2.2
-  WOOD FENCE WITH LATTICE (6'-0" TALL); REFER TO DETAIL/IMAGE 2 SHEET L-2.2
-  WOOD GATE WITH LATTICE (6'-0" TALL); REFER TO DETAIL/IMAGE 3 SHEET L-2.2
-  LOW PICKET FENCE AND GATE; REFER TO IMAGE 4 SHEET L-2.2
-  8'-0" HIGH CMU WALL - EXACT LOCATION TO BE DETERMINED PRIOR TO CONSTRUCTION - REFER TO IMAGE 5 SHEET L-2.2



PLAN VIEW
Scale: 1"=40'-0"

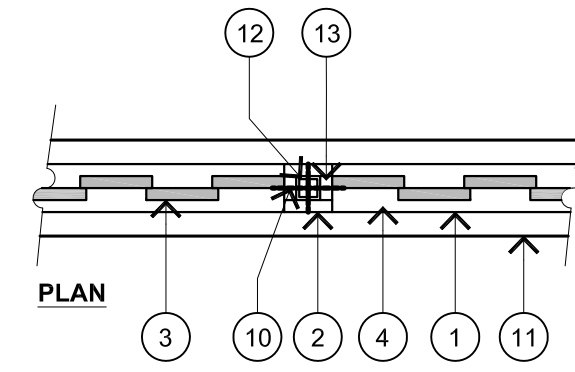
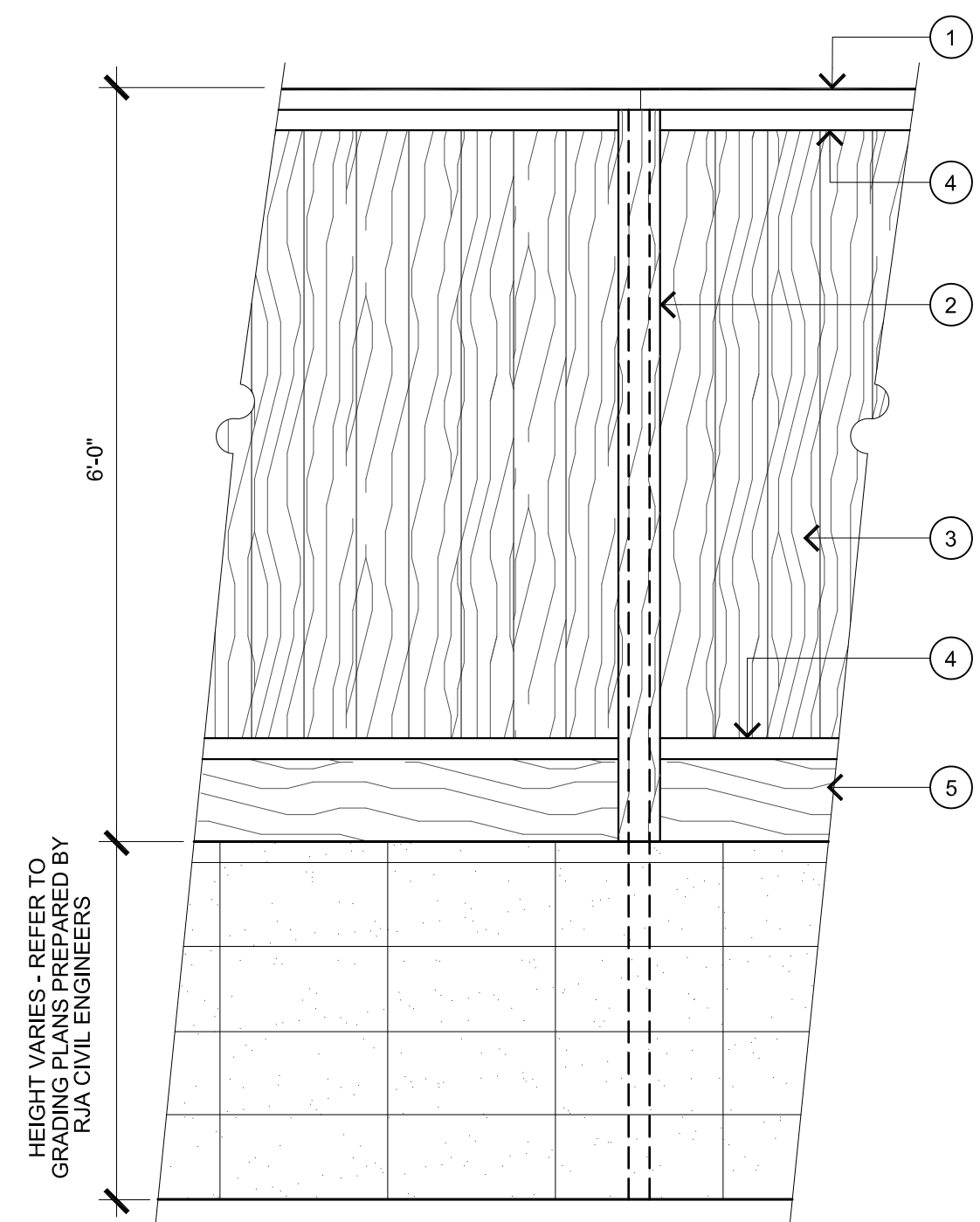
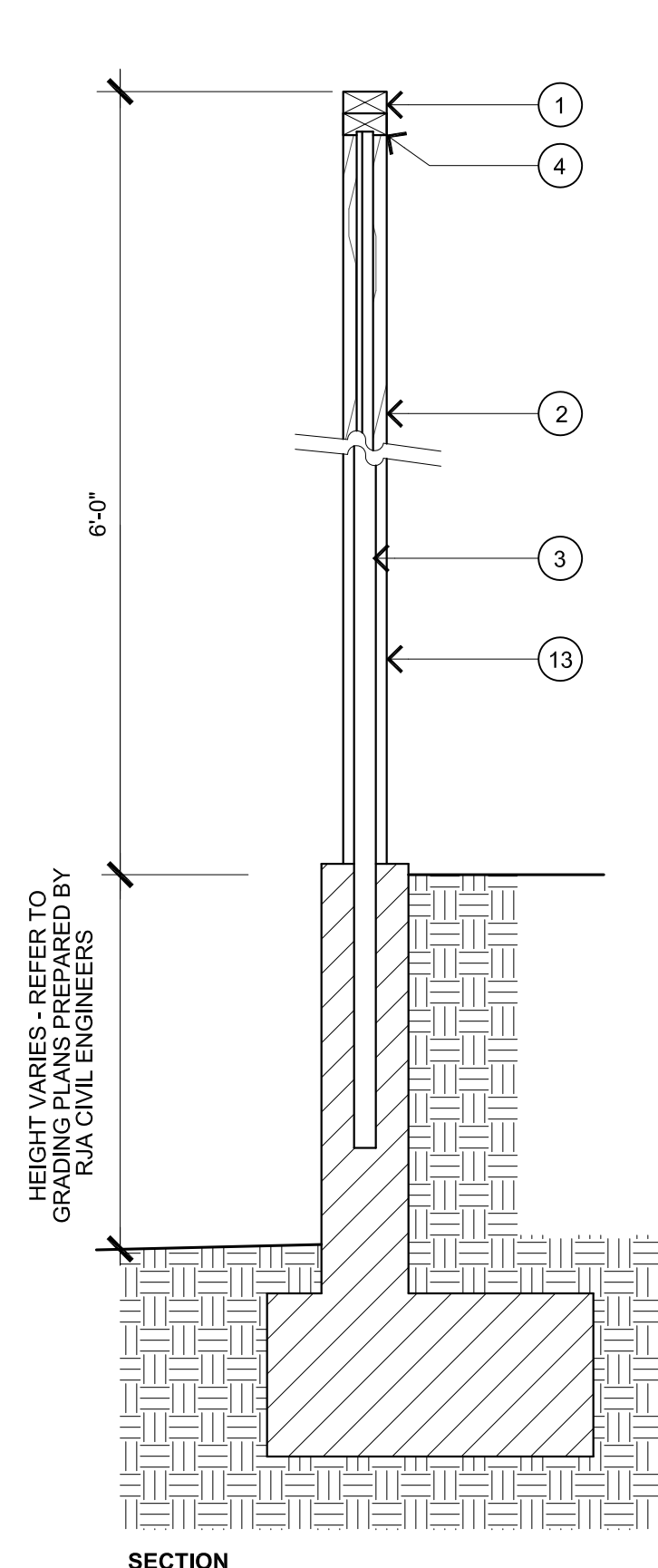




4 LOW PICKET FENCE



5 8'-0" HIGH CMU WALL



BLOCK RETAINING WALL:
 - SIZE TO BE 8X8X16 BLOCKS WITH 2X8X16 CAP
 - FINISH TO BE SHOT BLAST
 - COLOR TO BE 101

ELEVATION

- ① 2"X4" TOP CAP
- ② 1" X 4" CLADDING
- ③ 1"X6" FENCE BOARDS, BOARD ON BOARD
- ④ 2"X4" TOP AND BOTTOM RAILS RABBET CUT TO RECEIVE FENCE BOARDS
- ⑤ 2"X8" KICKER BOARD

- ⑥ FINISH GRADE, GRADE TO SLOPE AWAY FROM FENCE
- ⑦ CONCRETE FOOTING
- ⑧ COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- ⑨ CLASS II AGGREGATE SUB BASE
- ⑩ 1/2" CARRIAGE BOLT, WASHER AND NUT THROUGH BOTH CLADDING BOARDS AND PIPE, 18" O.C. BOTH WAYS

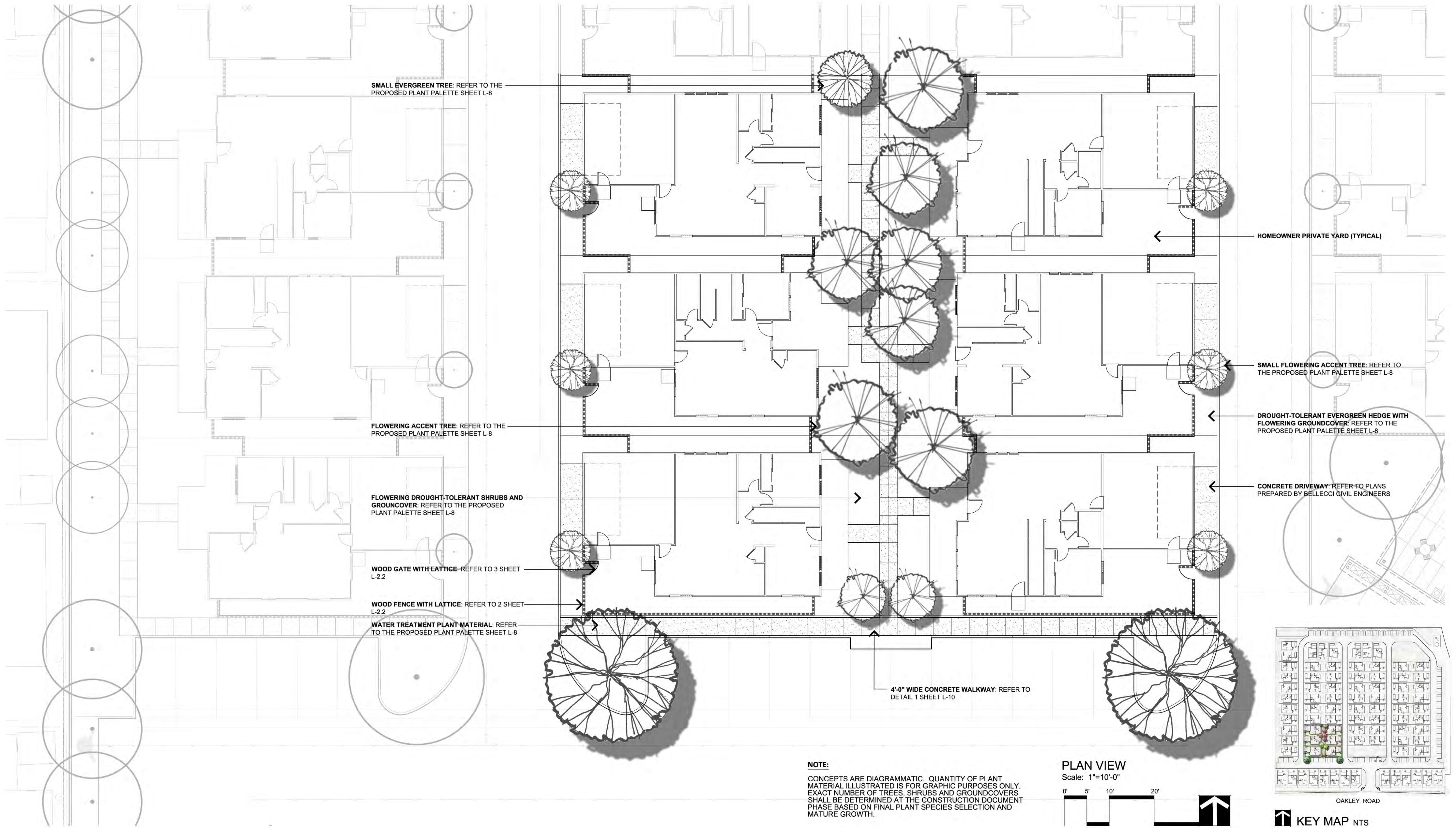
- ⑪ BLOCK RETAINING WALL- REFER TO PLANS PREPARED BY BELLECCI CIVIL ENGINEERS
- ⑫ SCHEDULE 2" SQUARE GALVANIZED STEEL PIPE, 8' LENGTH @ 8' O.C.
- ⑬ 1" X 4" (RIPPED TO 2") CLADDING EDGE

NOTES:

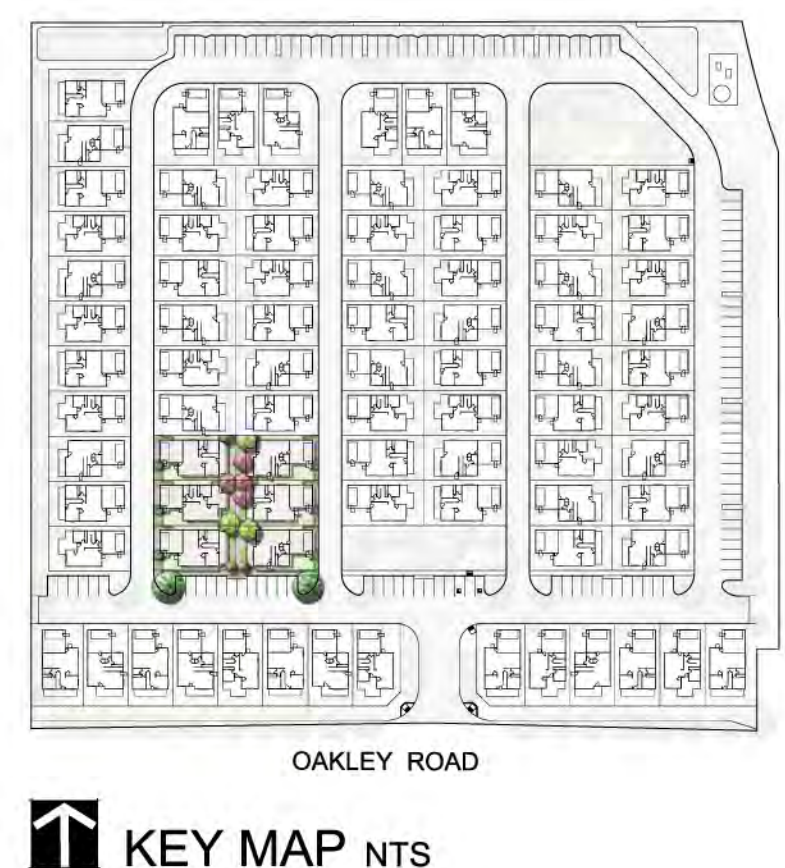
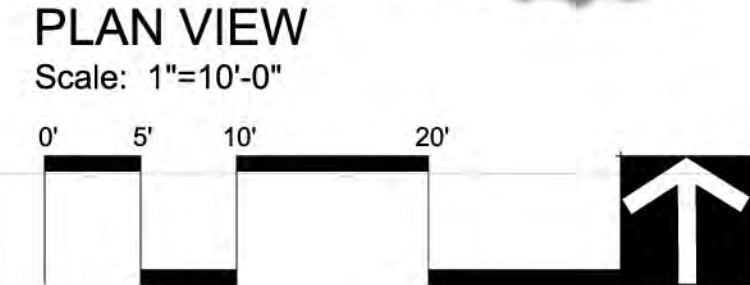
- ALL POSTS & KICKER SHALL BE PRESSURE TREATED CEDARTONE. ALL OTHER WOOD SHALL BE CONSTRUCTION HEART REDWOOD OR RED CEDAR AS SELECTED BY OWNER.
- ALL SCREWS SHALL BE HOT DIPPED GALVANIZED
- GRADE CHANGES SHALL OCCUR AT POSTS

4 WOOD FENCE OVER RETAINING WALL (IF REQUIRED)

SCALE : 3/4"=1'-0"

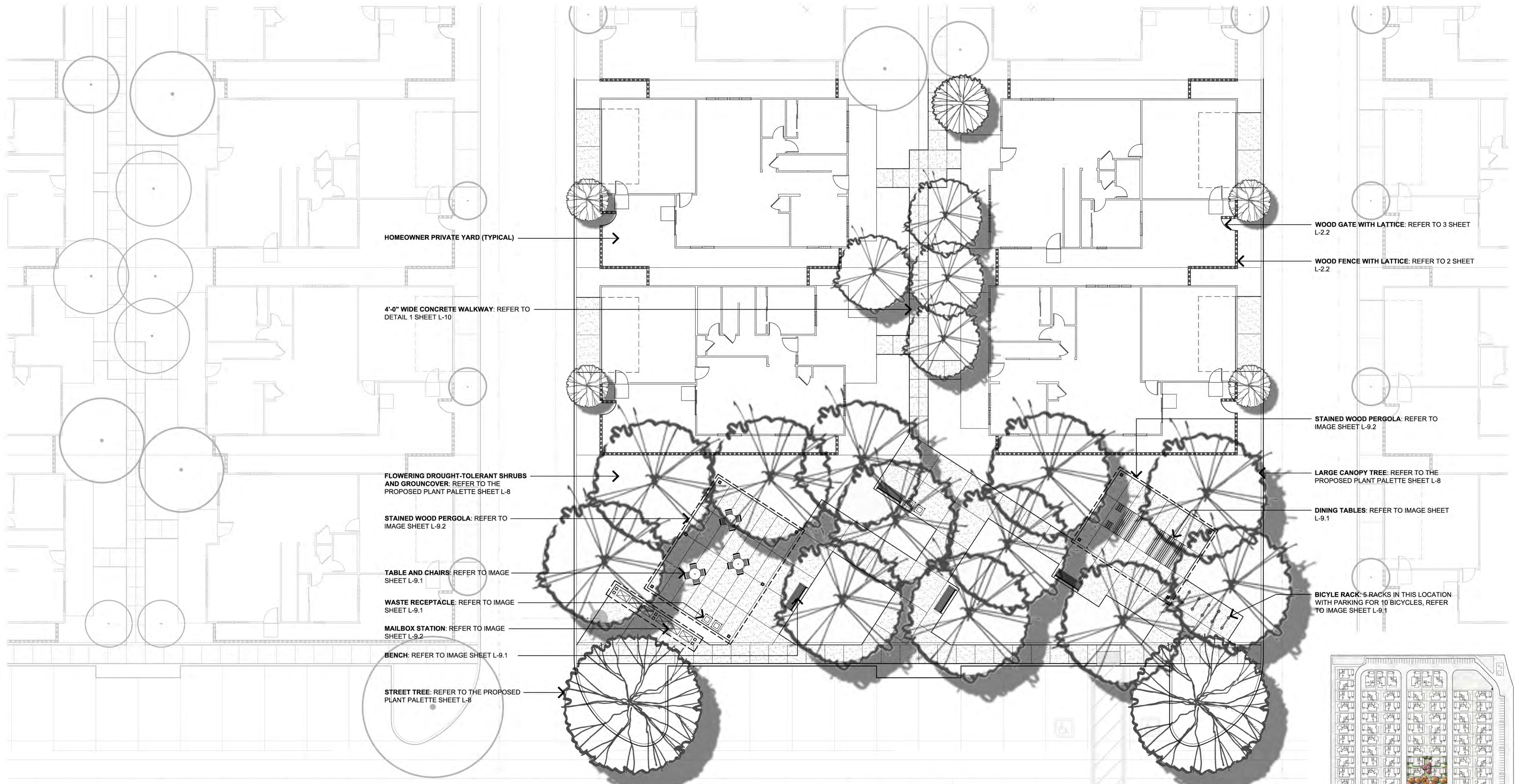


NOTE:
 CONCEPTS ARE DIAGRAMMATIC. QUANTITY OF PLANT MATERIAL ILLUSTRATED IS FOR GRAPHIC PURPOSES ONLY. EXACT NUMBER OF TREES, SHRUBS AND GROUNDCOVERS SHALL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE BASED ON FINAL PLANT SPECIES SELECTION AND MATURE GROWTH.



Typical House Cluster Enlargement





HOMEOWNER PRIVATE YARD (TYPICAL)

4'-0" WIDE CONCRETE WALKWAY: REFER TO DETAIL 1 SHEET L-10

FLOWERING DROUGHT-TOLERANT SHRUBS AND GROUNDCOVER: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

STAINED WOOD PERGOLA: REFER TO IMAGE SHEET L-9.2

TABLE AND CHAIRS: REFER TO IMAGE SHEET L-9.1

WASTE RECEPTACLE: REFER TO IMAGE SHEET L-9.1

MAILBOX STATION: REFER TO IMAGE SHEET L-9.2

BENCH: REFER TO IMAGE SHEET L-9.1

STREET TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

WOOD GATE WITH LATTICE: REFER TO 3 SHEET L-2.2

WOOD FENCE WITH LATTICE: REFER TO 2 SHEET L-2.2

STAINED WOOD PERGOLA: REFER TO IMAGE SHEET L-9.2

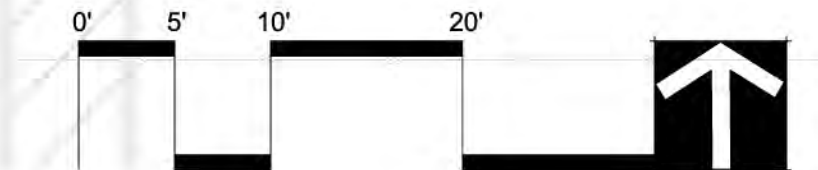
LARGE CANOPY TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

DINING TABLES: REFER TO IMAGE SHEET L-9.1

BICYCLE RACK: 5 RACKS IN THIS LOCATION WITH PARKING FOR 10 BICYCLES, REFER TO IMAGE SHEET L-9.1

NOTE:
 CONCEPTS ARE DIAGRAMMATIC. QUANTITY OF PLANT MATERIAL ILLUSTRATED IS FOR GRAPHIC PURPOSES ONLY. EXACT NUMBER OF TREES, SHRUBS AND GROUNDCOVERS SHALL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE BASED ON FINAL PLANT SPECIES SELECTION AND MATURE GROWTH.

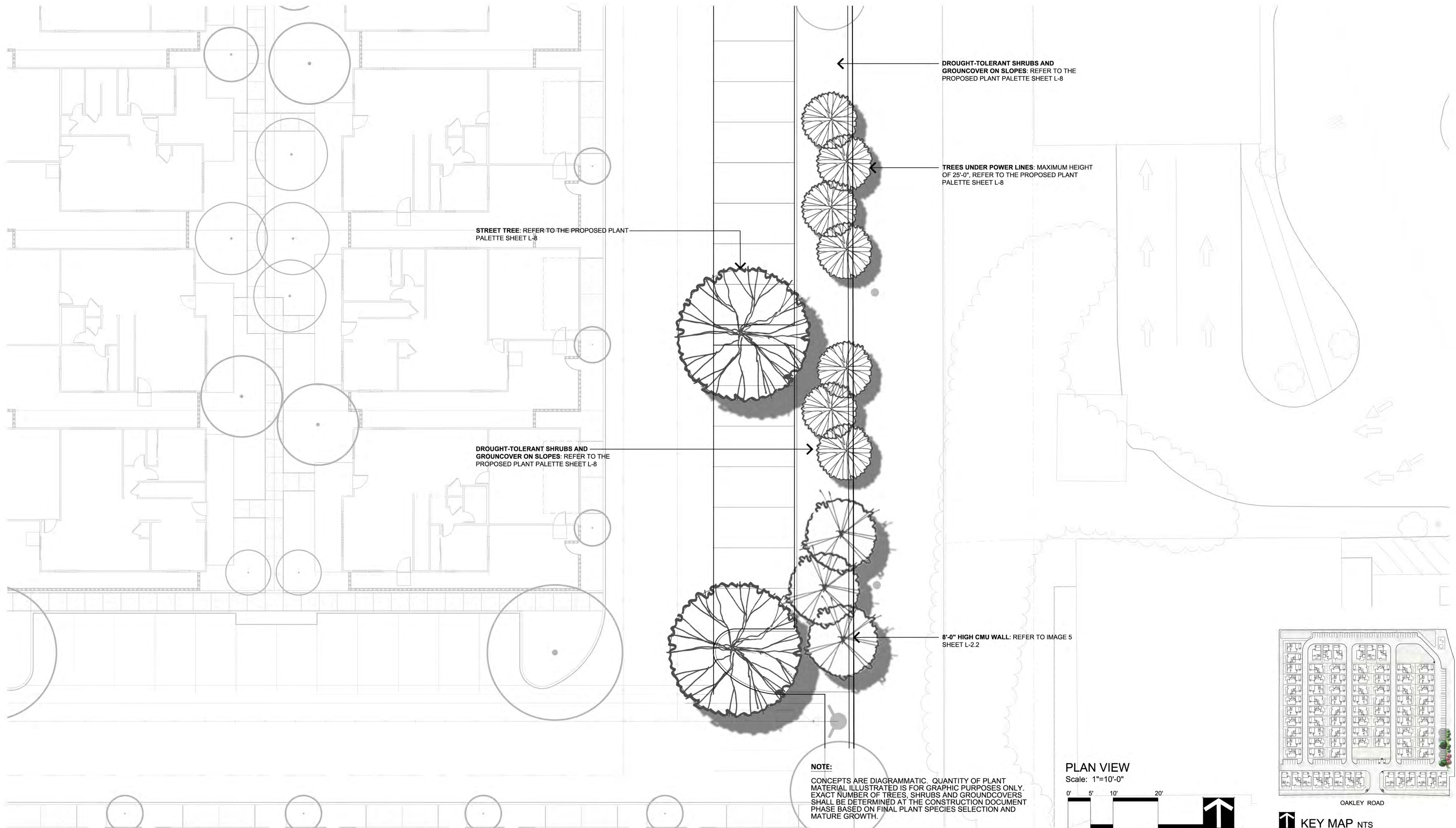
PLAN VIEW
 Scale: 1"=10'-0"



KEY MAP NTS

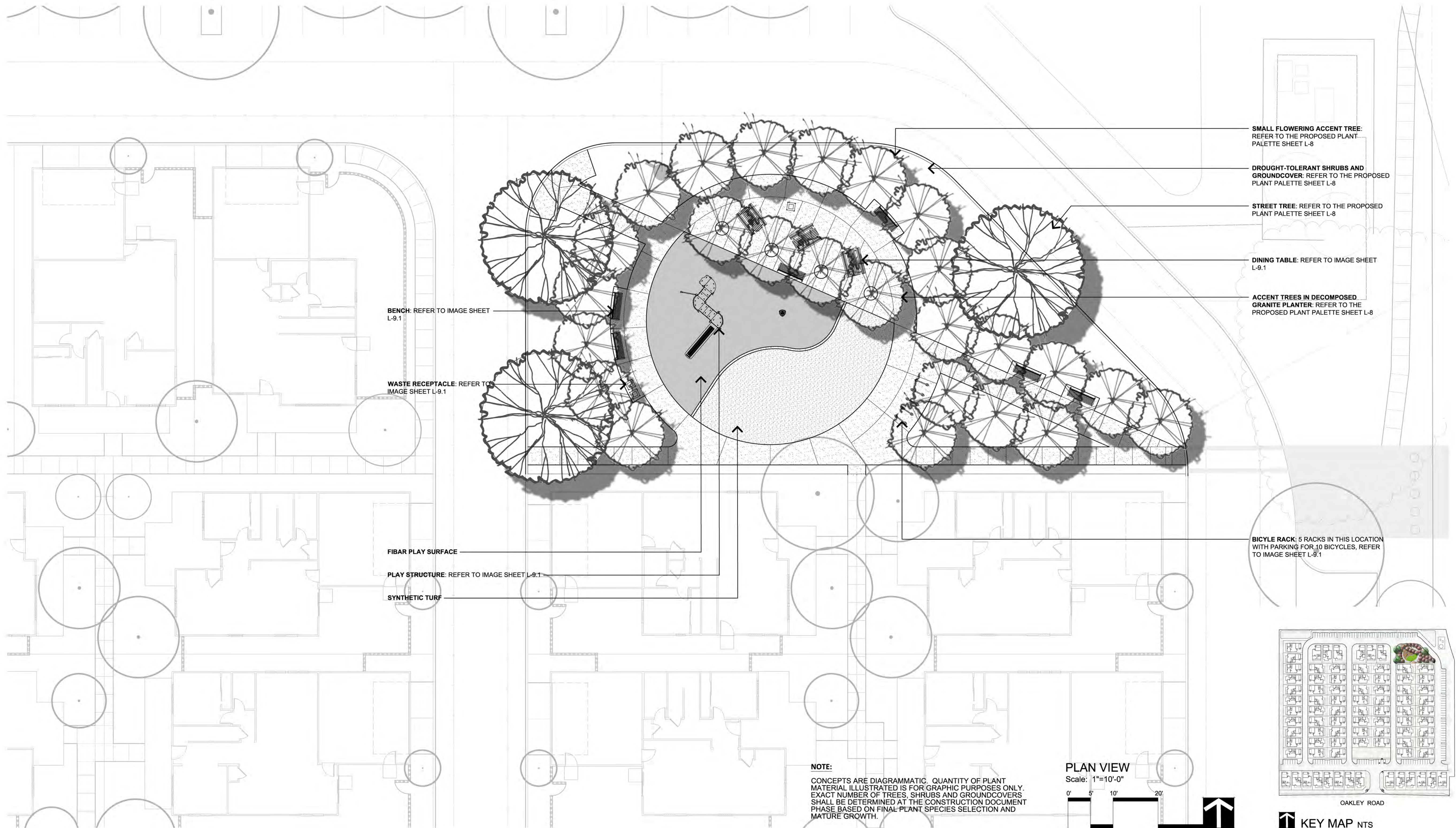
House Cluster and Open Space Enlargement





Typical Tree Planting at Parking Area Concept





BENCH: REFER TO IMAGE SHEET L-9.1

WASTE RECEPTACLE: REFER TO IMAGE SHEET L-9.1

FIBAR PLAY SURFACE

PLAY STRUCTURE: REFER TO IMAGE SHEET L-9.1

SYNTHETIC TURF

SMALL FLOWERING ACCENT TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

DROUGHT-TOLERANT SHRUBS AND GROUNDCOVER: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

STREET TREE: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

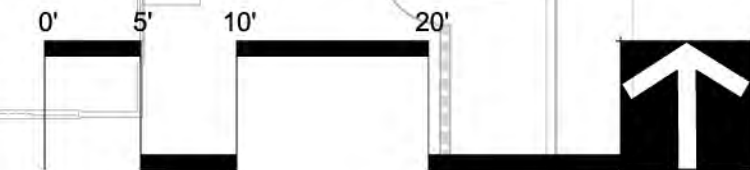
DINING TABLE: REFER TO IMAGE SHEET L-9.1

ACCENT TREES IN DECOMPOSED GRANITE PLANTER: REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

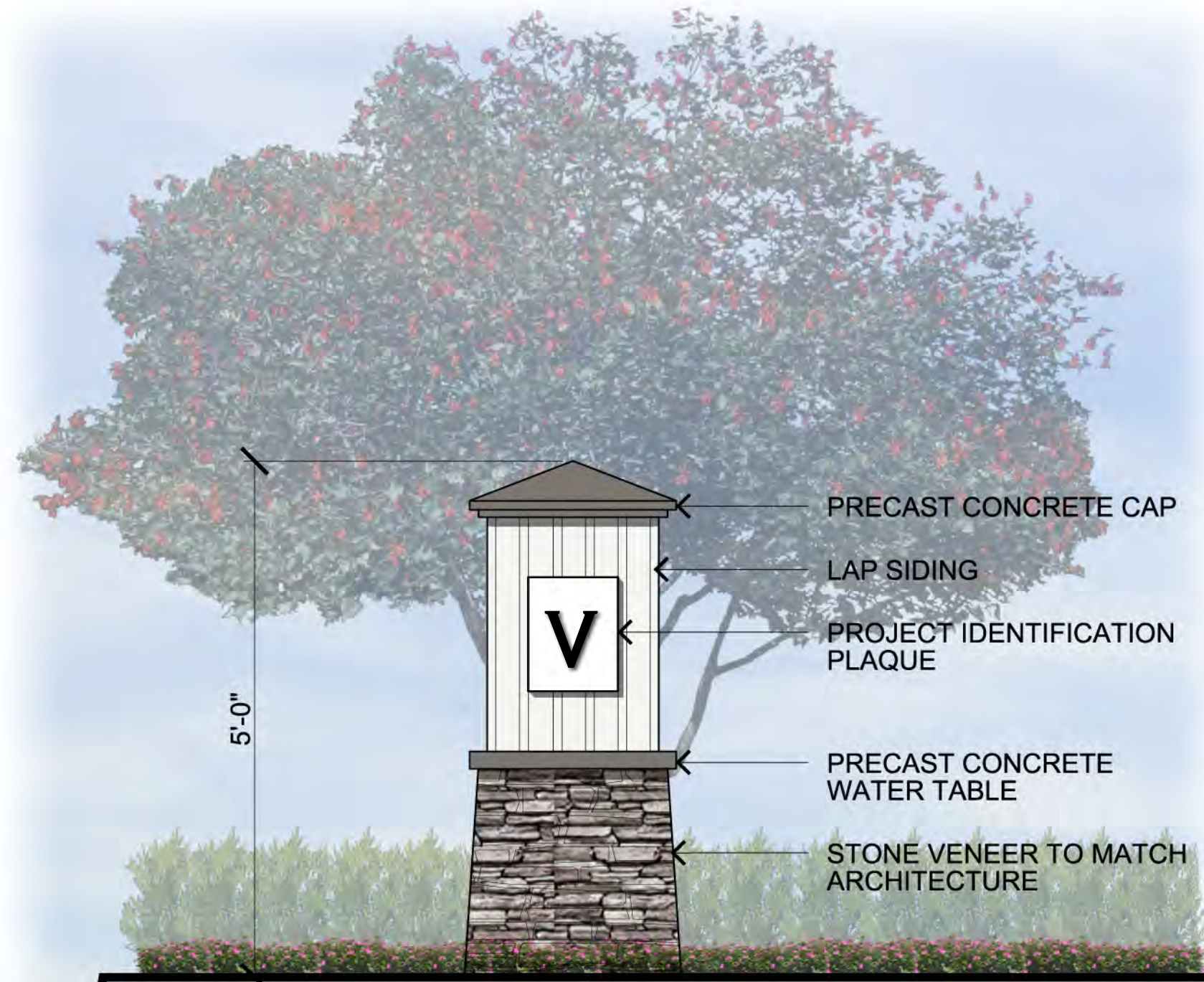
BICYCLE RACK: 5 RACKS IN THIS LOCATION WITH PARKING FOR 10 BICYCLES, REFER TO IMAGE SHEET L-9.1

NOTE:
 CONCEPTS ARE DIAGRAMMATIC. QUANTITY OF PLANT MATERIAL ILLUSTRATED IS FOR GRAPHIC PURPOSES ONLY. EXACT NUMBER OF TREES, SHRUBS AND GROUNDCOVERS SHALL BE DETERMINED AT THE CONSTRUCTION DOCUMENT PHASE BASED ON FINAL PLANT SPECIES SELECTION AND MATURE GROWTH.

PLAN VIEW
 Scale: 1"=10'-0"

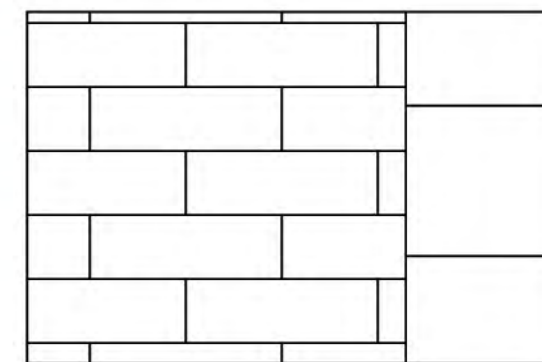


KEY MAP NTS

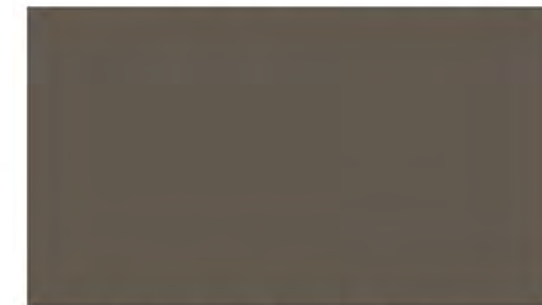


ENTRY MONUMENT

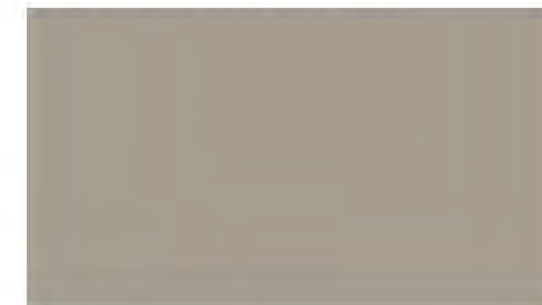
SCALE: 3/4" = 1'-0"



FIELD PRINT: RUNNING BOND
BORDER PRINT: STACKED BRICK



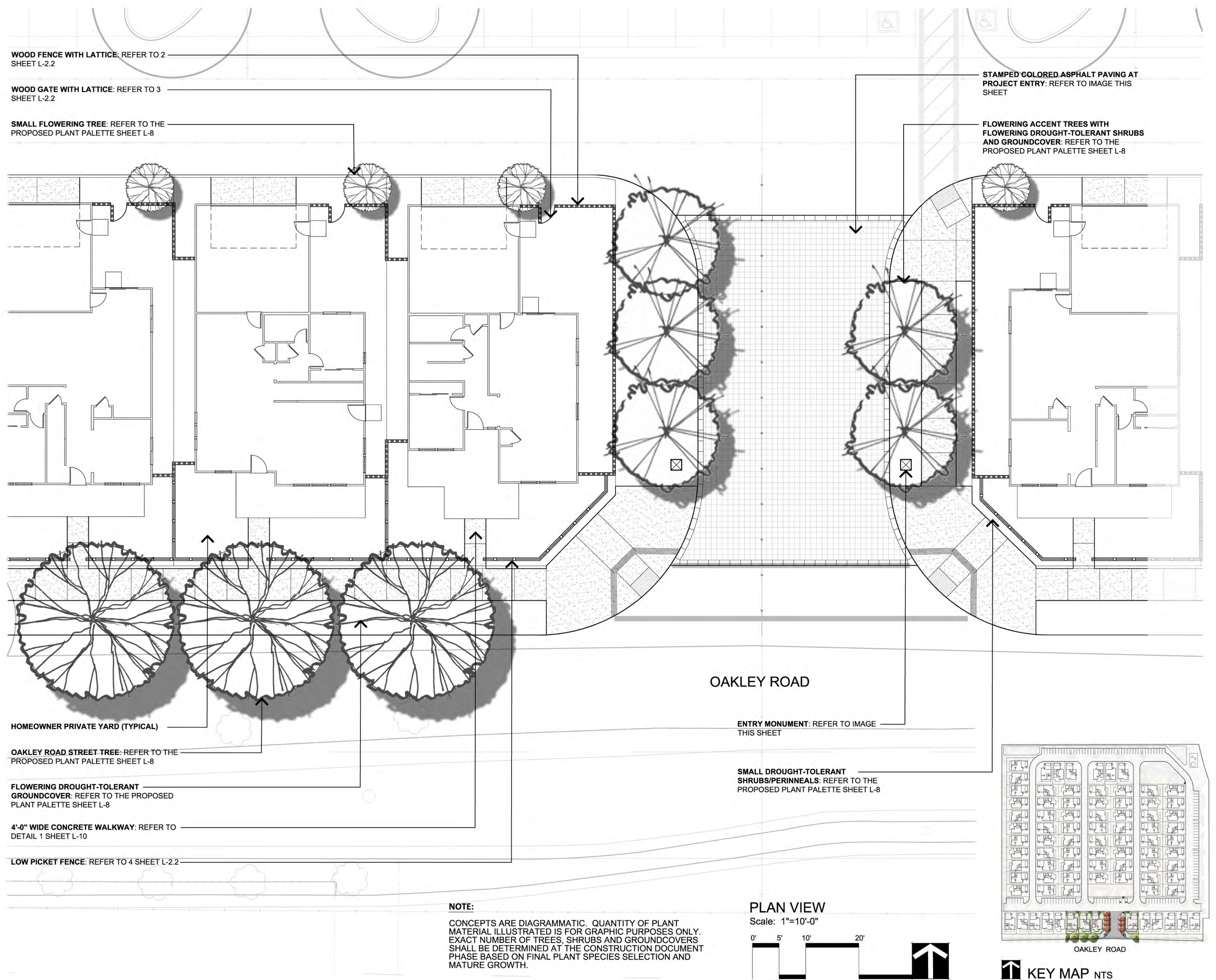
FIELD COLOR: GRANITE



BORDER COLOR: SANDSTONE

STAMPED COLORED ASPHALT AT PROJECT ENTRY

CONCEPT - FINAL COLORS TO BE DETERMINED PRIOR TO CONSTRUCTION



PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	SPACING	WULCOLS	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	SPACING	PLANTING ZONE	WULCOLS
OAKLEY ROAD STREET TREE:					GROUND COVER D:					
QUERCUS SUBER	CORK OAK	24" BOX	N/A	M	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	1 GALLON	3' O.C.		L
EVERGREEN TREES:										
GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	N/A	M	CEANATHUS SPECIES	WILD LILAC	1 GALLON	18" O.C.		L
LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY LAUREL	24" BOX	N/A	L	CISTUS SALVIFOLIUS	ROCKROSE	1 GALLON	2' O.C.		L
MAGNOLIA 'BRACKEN'S BROWN BEAUTY'	MAGNOLIA	24" BOX	N/A	M	CONVOLVULUS SABATIUS	GROUND MORNING GLORY	1 GALLON	3' O.C.		L
PRUNUS CAROLINIANA	NCN	24" BOX	N/A	L	COPROSMA KIRKII SPECIES	NCN	1 GALLON	18" O.C.		L
RHAPHIOLEPIS INDICA 'MAGNIFICENT'	PINK INDIAN HAWTHORNE	24" BOX	N/A	L	COTONEASTER SPECIES	COTONEASTER	1 GALLON	18" O.C.		L
ACCENT TREES:										
X CHITALPIA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	24" BOX	N/A	M	EREMOPHILA SPECIES	EMU BUSH	1 GALLON	2' O.C.		L
CERCIS CANADENSIS SPECIES	EASTERN REDBUD	24" BOX	N/A	M	LANTANA SPECIES	LANTANA	1 GALLON	4' O.C.		L
CHIONANTHUS RETUSUS	FRINGE TREE	24" BOX	N/A	M	ROSA SPECIES	GROUND COVER ROSE	2 GALLON	2' O.C.		L
LAGERSTROEMIA FAUREI SPECIES	CRAPE MYRTLE	24" BOX	N/A	L	TEUCRIUM SPECIES	GERMANDER	1 GALLON	2' O.C.		L
MALUS SPECIES	FLOWERING CRAB APPLE	24" BOX	N/A	M	WESTRINGIA SPECIES	WESTRINGIA	1 GALLON	VARIES		L
PRUNUS SPECIES	FLOWERING PLUM/CHERRY	24" BOX	N/A	L	ZAUSCHNERIA CANUM 'EVERETT'S CHOICE'	EVERETT'S CALIFORNIA FUCHSIA	1 GALLON	VARIES		L
BACKGROUND/FOUNDATION SHRUB A:					STORM WATER TREATMENT SHRUBS AND GRASSES E:					
ARCTOSTAPHYLOS SPECIES	MANZANITA	5 GALLON	3' O.C.	L	CHONDROPETALUM SPECIES	NCN	1 GALLON	MIX EVENLY	BASIN FLOOR	L
BACCHARIS SPECIES	COYOTE BRUSH	5 GALLON	3' O.C.	L	JUNCUS PATENS	RUSH	1 GALLON	MIX EVENLY	BASIN FLOOR	L
BUXUS SPECIES	BOXWOOD	5 GALLON	3' O.C.	M	LEYMUS SPECIES	NCN	1 GALLON	MIX EVENLY	BASIN FLOOR	L
CALLISTEMON 'BETTER JOHN'	DWARF BOTTLBRUSH	5 GALLON	3' O.C.	L	MIMULUS AURANTIACUS	MONKEY FLOWER	1 GALLON	MIX EVENLY	BASIN FLOOR	L
CISTUS SPECIES	ROCKROSE	5 GALLON	4'-6" O.C.	L	MUHLENBERGIA RIGENS	DEER GRASS	1 GALLON	MIX EVENLY	BASIN FLOOR	L
COPROSMA SPECIES	NCN	5 GALLON	4' O.C.	L	STORM WATER TREATMENT PLANTING NOTES:					
ESCALLONIA SPECIES	ESCALLONIA	5 GALLON	3' O.C.	M	STORM WATER TREATMENT SHRUBS AND GRASSES APPROVED PER THE C.3 HANDBOOK APPENDIX D PLANT LIST.					
HESPERALOE SPECIES	NCN	5 GALLON	2' O.C.	L	PG&E APPROVED TREES WITHIN DISTRIBUTION LINE F:					
LEUCOPHYLLUM SPECIES	NCN	5 GALLON	2' O.C.	L	(NO TREES TO BE PLANTED WITHING 10' OF POWER POLE BASE)					
LIGUSTRUM TEXANUM	WAXLEAF PRIVET	5 GALLON	2' O.C.	M	AESCULUS CALIFORNICA	BUCKEYE	15 GALLON	N/A		L
PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GALLON	3' O.C.	L	CALLISTEMON SPECIES	BOTTLEBRUSH	15 GALLON	N/A		L
PITTIOSPORUM SPECIES	NCN	5 GALLON	3' O.C.	L	ERIOBOTRYA SPECIES	LOQUAT	15 GALLON	N/A		L
RHAPHIOLEPIS SPECIES	INDIAN HAWTHORNE	5 GALLON	3'-5' O.C.	M	LAGERSTROEMIA SPECIES	CRAPE MYRTLE	15 GALLON	N/A		M
ROSMARINUS SPECIES	ROSEMARY	5 GALLON	3' O.C.	L	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	15 GALLON	N/A		L
INTERMEDIATE SHRUB B:										
ABELIA 'KALEIDOSCOPE'	ABELIA	1 GALLON	3'-6" O.C.	L						
COLEONEMA PULLCHELLUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	1 GALLON	4' O.C.	M						
CORREA SPECIES	AUSTRALIAN FUCHSIA	1 GALLON	3' O.C.	L						
DIETES SPECIES	FORTNIGHT LILY	1 GALLON	3' O.C.	L						
GALVEZIA 'FIRECRACKER'	NCN	1 GALLON	3' O.C.	L						
LAVANDULA SPECIES	LAVENDER	1 GALLON	3' O.C.	L						
LIRIOPE GIGANTEA	LILY TURF	1 GALLON	2' O.C.	M						
LOMANDRA SPECIES	NCN	1 GALLON	VARIES	L						
MUHLENBERGIA SPECIES	DEER GRASS	1 GALLON	4' O.C.	L						
NANDINA SPECIES	HEAVENLY BAMBOO	1 GALLON	2' O.C.	L						
PITTIOSPORUM SPECIES	NCN	1 GALLON	2' O.C.	L						
PENNISSETUM SPECIES	FOUNTAIN GRASS	1 GALLON	3' O.C.	L						
POLYGALA FRUTICOSA 'PETITE BUTTERFLY'	COMPACT SWEET PEA	5 GALLON	30" O.C.	L						
ROSA SPECIES	SHRUB ROSE	1 GALLON	3' O.C.	M						
SALVIA GREGGII SPECIES	SAGE	1 GALLON	3' O.C.	L						
YUCCA SPECIES	YUCCA	1 GALLON	3' O.C.	L						
FOREGROUND SHRUB C:										
AGAPANTHUS SPECIES	LILY OF THE NILE	1 GALLON	VARIES	M						
CALLANDRINA 'JAZZ TIME'	NCN	1 GALLON	30" O.C.	L						
DIANELLA SPECIES	FLAX LILY	1 GALLON	30" O.C.	L						
GREVILLEA SPECIES	GRELLIVEA	1 GALLON	2' O.C.	L						
HEMEROCALLIS SPECIES	EVERGREEN DAYLILY	1 GALLON	2' O.C.	M						
LAVANDULA SPECIES	LAVENDER	1 GALLON	3' O.C.	L						
LIRIOPE SPECIES	LILY TURF	1 GALLON	2' O.C.	M						
NANDINA SPECIES	HEAVENLY BAMBOO	1 GALLON	3' O.C.	L						
TEUCRIUM SPECIES	GERMANDER	1 GALLON	2' O.C.	L						
ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	1 GALLON	VARIES	L						

NOTES

WATER CONSERVATION STATEMENT:

PLANT MATERIAL HAS BEEN CHOSEN FOR WATER CONSERVING AND REDUCED MAINTENANCE CHARACTERISTICS. A MAXIMUM OF 25% OF NON-TURF PLANTS WILL HAVE A MODERATE IRRIGATION WATER REQUIREMENT AND A MINIMUM OF 50% OF NON-TURF PLANTS WILL HAVE A LOW TO VERY LOW IRRIGATION WATER REQUIREMENT.

I HAVE COMPLIED WITH THE CRITERIA OF CITY OF OAKLEY WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

IRRIGATION NOTE:

A FULLY AUTOMATIC IRRIGATION SYSTEM SHALL BE PROPOSED FOR THE PROJECT UTILIZING WATER CONSERVING METHODS. IRRIGATION SHALL BE INSTALLED THROUGHOUT THE BIO-RETENTION AREAS TO PROVIDE SUPPLEMENTAL IRRIGATION IN THE DRY MONTHS WITH REDUCED IRRIGATION DURING SEASONAL RAINFALL OR WET MONTHS.

MINIMUM TREE CLEARANCE NOTE:

- SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
- MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
- LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
- 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
- 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.
- ALL TREES PLANTED WITHIN 5'-0" OF FUTURE CURBS, SIDEWALK, WALLS AND ALL UTILITIES, SHALL INCLUDE A ROOT BARRIER.

LANDSCAPE NOTES:

PLANT PALETTE IS FOR REFERENCE ONLY. NOT ALL TREES, SHRUBS, GRASSES, AND GROUND COVER LISTED WILL BE UTILIZED IN THE PREPARATION OF CONSTRUCTION DOCUMENTS. ADDITIONAL PLANTS MAY BE SUBSTITUTED DUE TO AVAILABILITY AND CONTAINER SIZE. PLANT MATERIAL SHALL BE SELECTED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.

PLACE 3" OF COMPOSTED NON-FLOATABLE MULCH IN AREAS BETWEEN STORM WATER PLANTINGS AND SIDE SLOPES.

A WEED BARRIER (2 OZ. POLYSPUN WEED BARRIER FABRIC AVAILABLE FROM PRO FABRIC SUPPLY, WWW.PROFABRICSUPPLY.COM, OR APPROVED EQUAL) SHALL BE INSTALLED AS A WARNING BARRIER TO PREVENT ALTERATION TO THE SILVA CELLS. INSTALL DIRECTLY ON TOP OF THE SILVA CELL LIMITS.

LANDSCAPING SHALL BE OF THE TYPE AND SITUATED IN LOCATIONS TO MAXIMIZE OBSERVATION WHILE PROVIDING THE DESIRED DEGREE OF AESTHETICS. LANDSCAPING SHOULD BE TRIMMED SO AS NOT TO PROVIDE CONCEALMENT OPPORTUNITIES OR MEANS TO ACCESS ROOF. SECURITY PLANTING MATERIALS ARE ENCOURAGED ALONG PROPERTY LINE AND UNDER VULNERABLE WINDOWS.

ALL TRANSFORMERS AND UTILITY BOXES TO BE SCREENED WITH EVERGREEN SHRUBS.





BENCH

FINISH TO BE BRONZE



WASTE RECEPTACLE

FINISH TO BE BRONZE



BICYCLE RACK

FINISH TO BE BRONZE



DINING TABLE

FINISH TO BE BRONZE

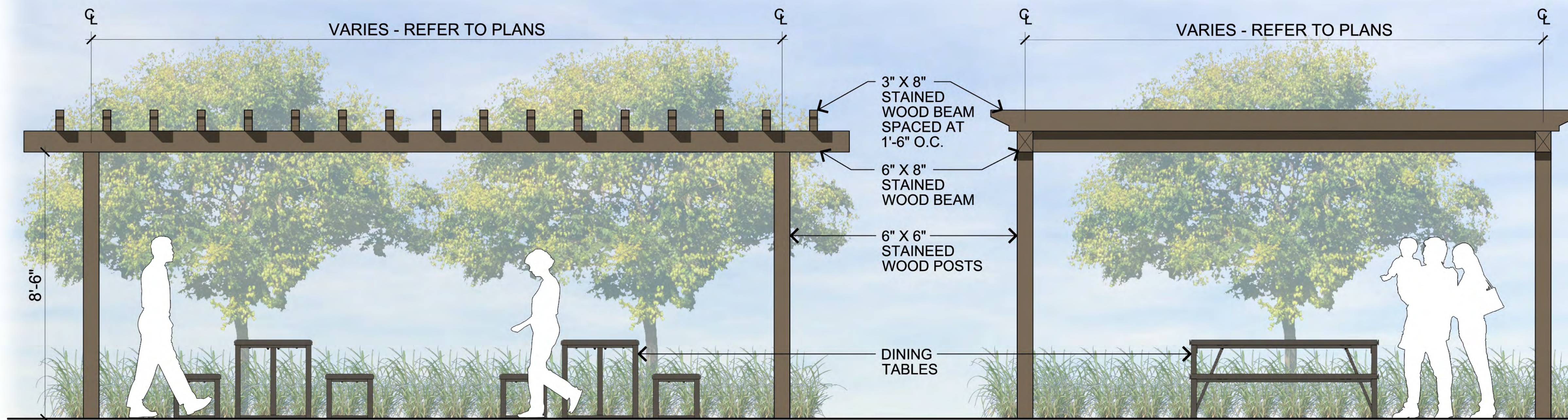


TABLES AND CHAIRS

FINISH TO BE BRONZE

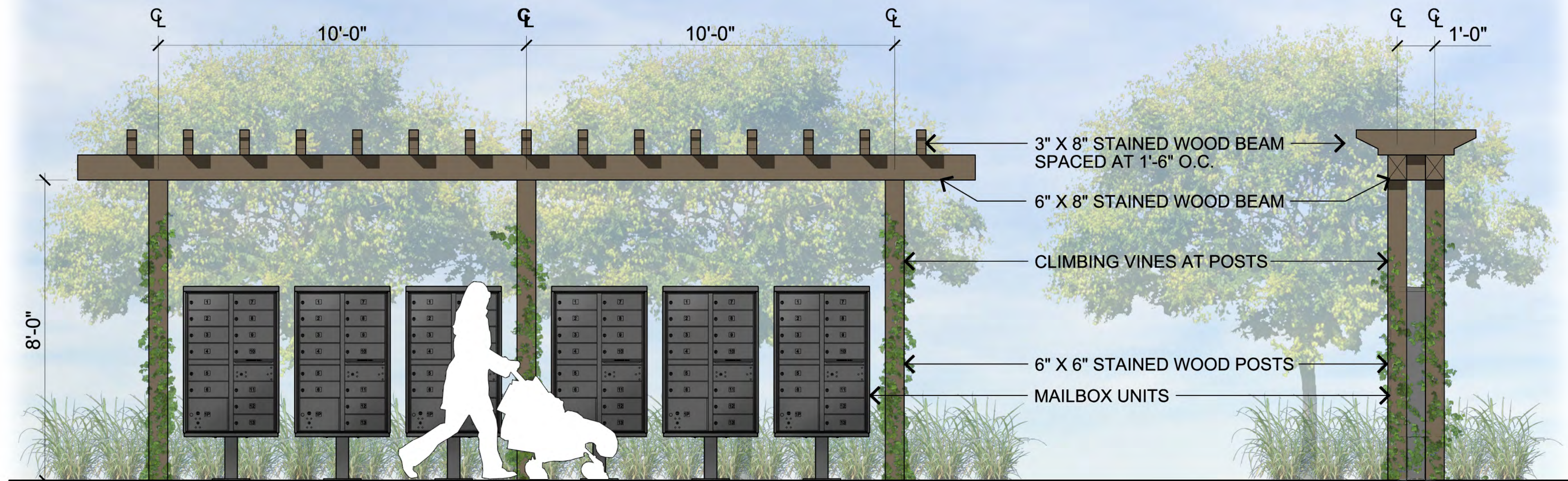


PLAY STRUCTURE



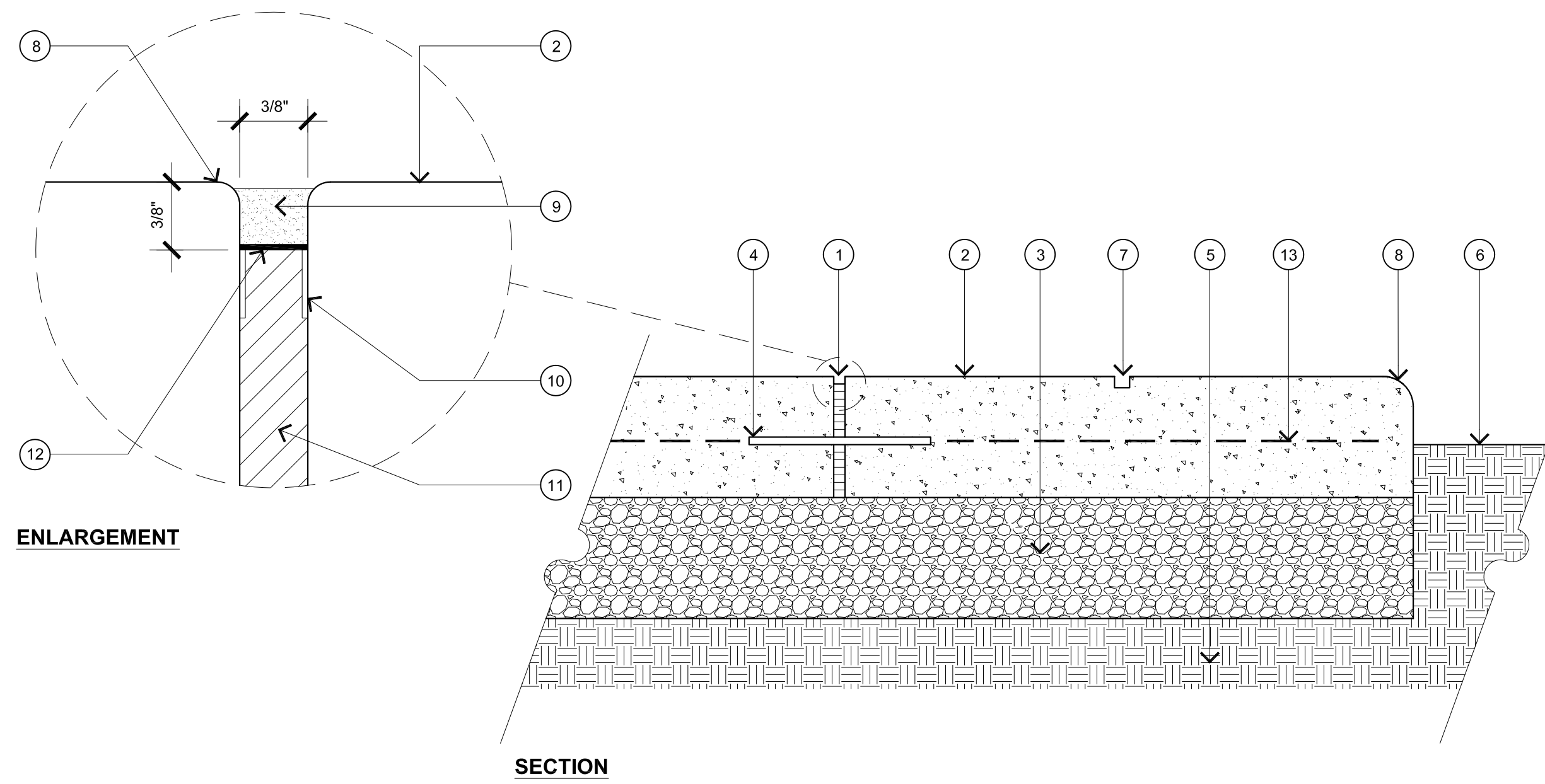
STAINED WOOD PERGOLA

SCALE: 1/2" = 1'-0"



MAILBOX STATION

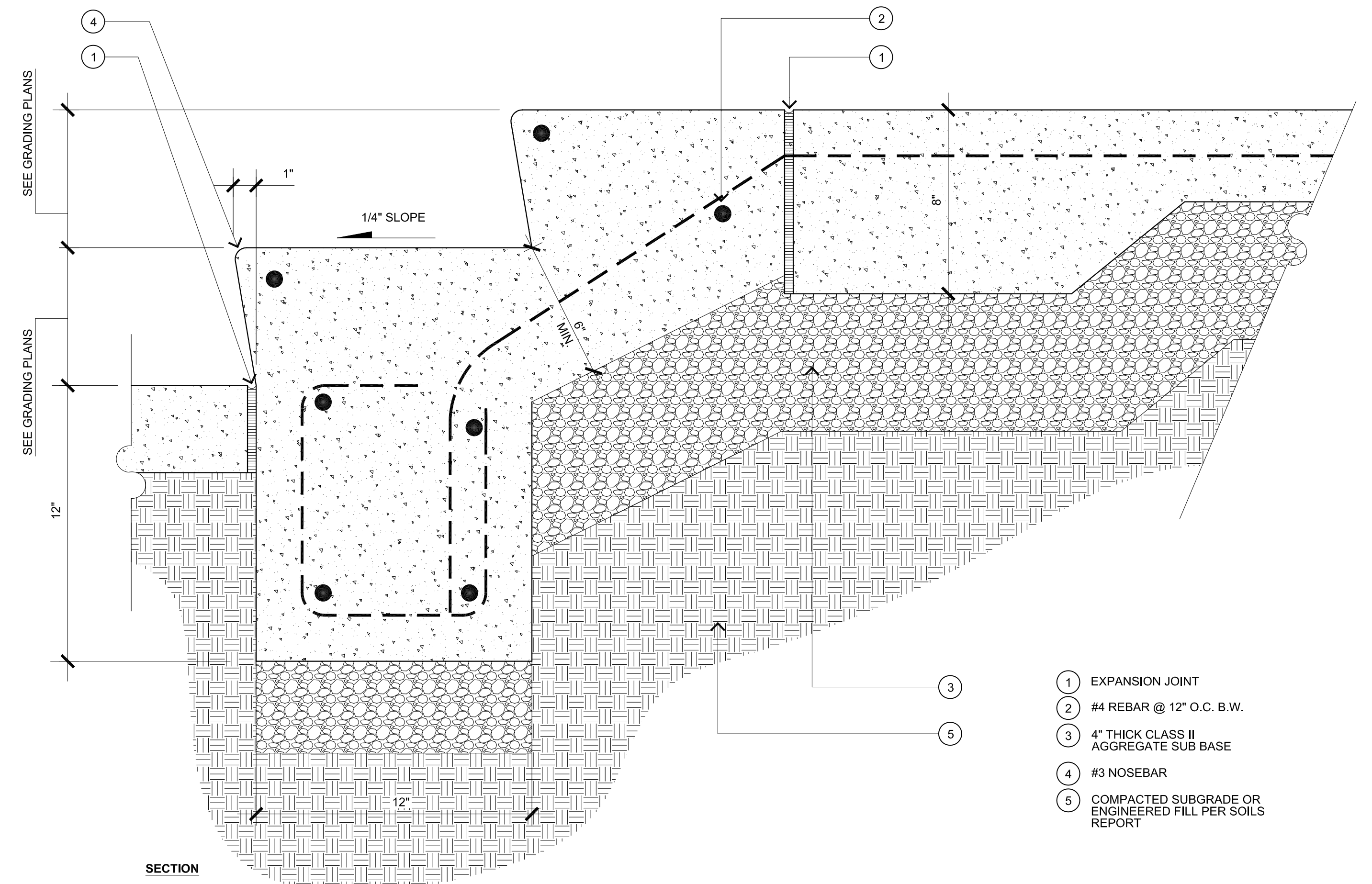
SCALE: 1/2" = 1'-0"



- ① 3/8" EXPANSION JOINT WITH SEALANT & BACKER ROD. EXPANSION JOINTS SHALL OCCUR EVERY 25' O.C. EACH WAY- REFER TO PLAN FOR LOCATIONS
 - ② 4" THICK CONCRETE PAVING
 - ③ 4" THICK CLASS II AGGREGATE SUB BASE
 - ④ #4 X 24" LONG DOWELS @ 24" O.C.
 - ⑤ 90% COMPACTED SUB GRADE
 - ⑥ FINISH GRADE AT PLANTING AREA 1" BELOW AT TURF AREAS, 2" AT SHRUB AND GROUND COVER AREAS
 - ⑦ SCORED JOINT - 1" DEEP X 1/8" WIDE SAWCUT @ 12" O.C. EACH WAY, REFER TO PLANS FOR LOCATIONS (TYP.)
 - ⑧ RADIUSED EDGE
 - ⑨ SEALANT - ALSO INSTALL WHERE PAVING ABUTS TO BUILDING FOUNDATIONS
 - ⑩ PVC CAP
 - ⑪ EXPANSION MATERIAL
 - ⑫ BOND BREAKER TAPE
 - ⑬ #3 REBAR @ 18" O.C. BOTH WAYS
- NOTE:
CONCRETE MIX SHALL BE LOW SHRINK.

1 CONCRETE PAVING

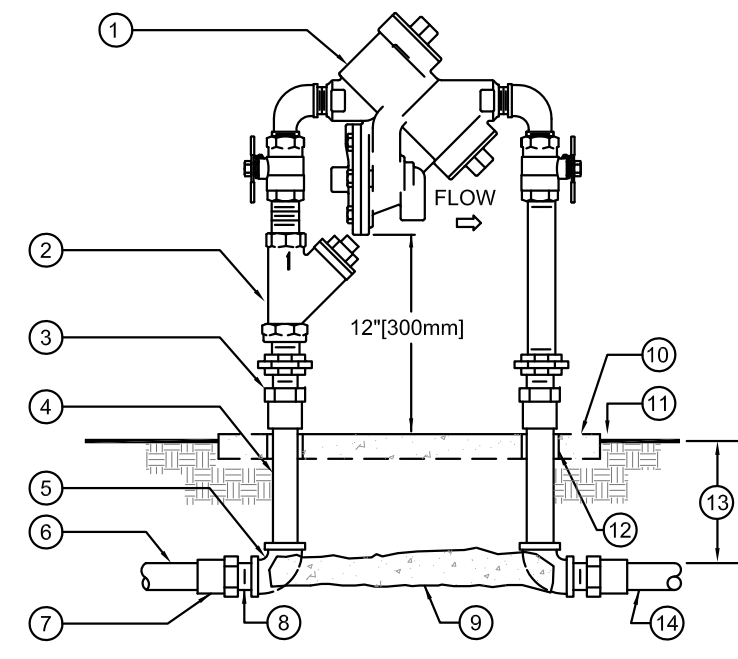
SCALE : 3"=1'-0"



- ① EXPANSION JOINT
- ② #4 REBAR @ 12" O.C. B.W.
- ③ 4" THICK CLASS II AGGREGATE SUB BASE
- ④ #3 NOSEBAR
- ⑤ COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT

2 CONCRETE STEPS (AS NEEDED)

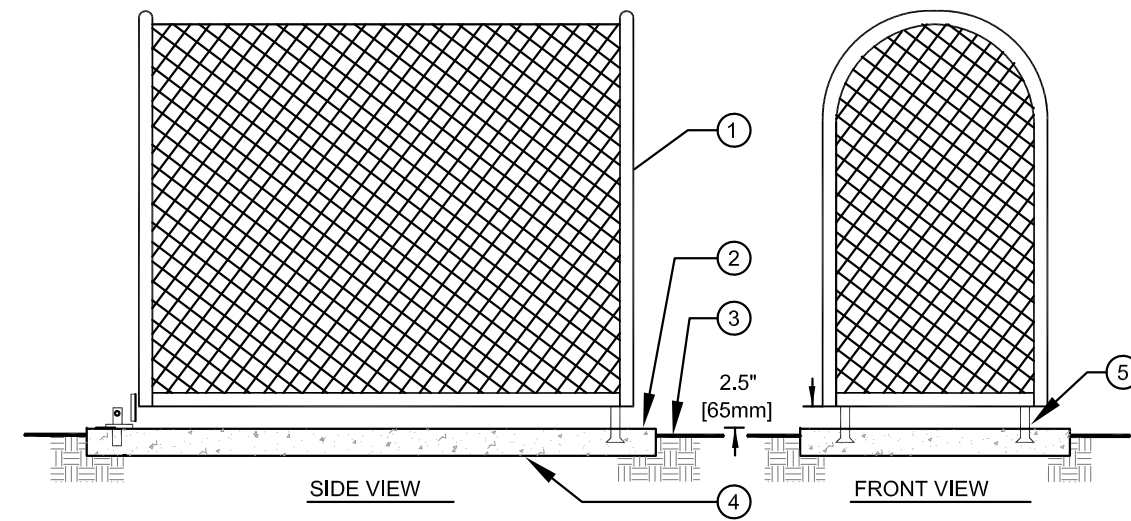
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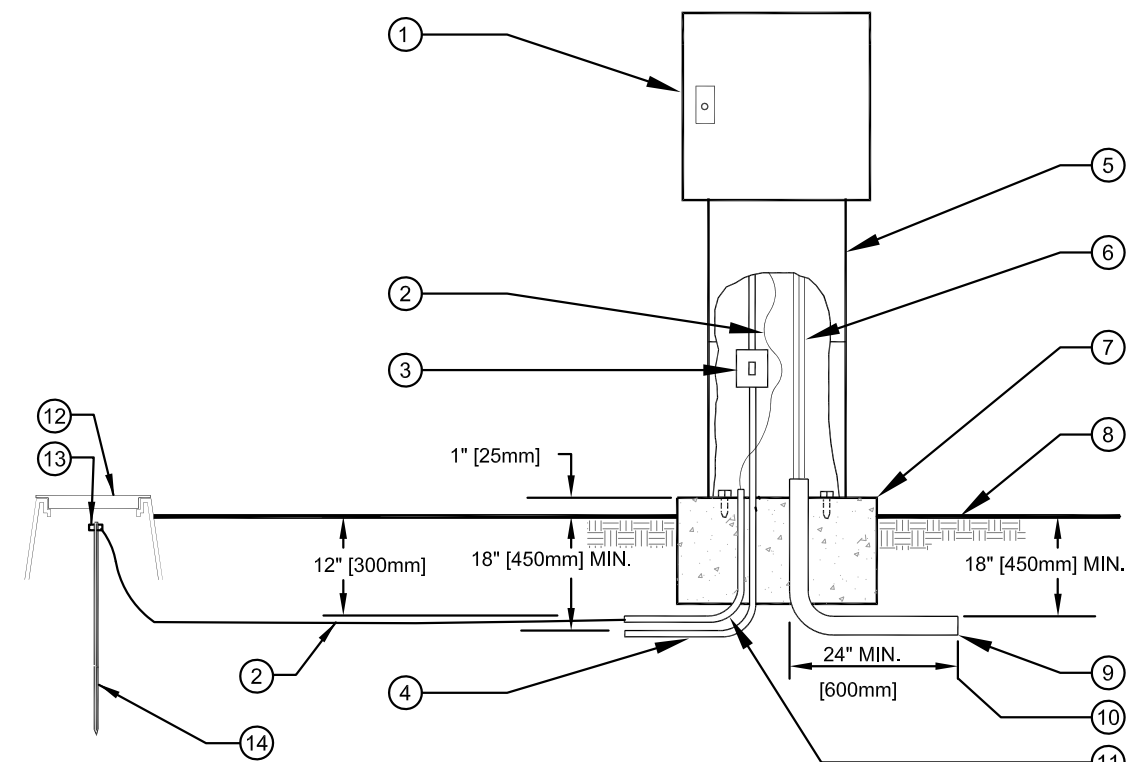
- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
- 2 YB "Y" STRAINER SYSTEM (AS REQUIRED).
- 3 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 6 PVC MAIN LINE TO POINT OF CONNECTION.
- 7 BUSH AS NECESSARY FOR SIZE TRANSITION.
- 8 SCHEDULE 40 PVC MALE ADAPTER- 2 TOTAL.
- 9 CONCRETE SUPPORT BLOCK.
- 10 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 11 FINISH GRADE.
- 12 PVC SLEEVE BOTH SIDES.
- 13 REFER TO IRRIGATION LEGEND
- 14 PVC MAIN LINE TO IRRIGATION SYSTEM.

NOTES:

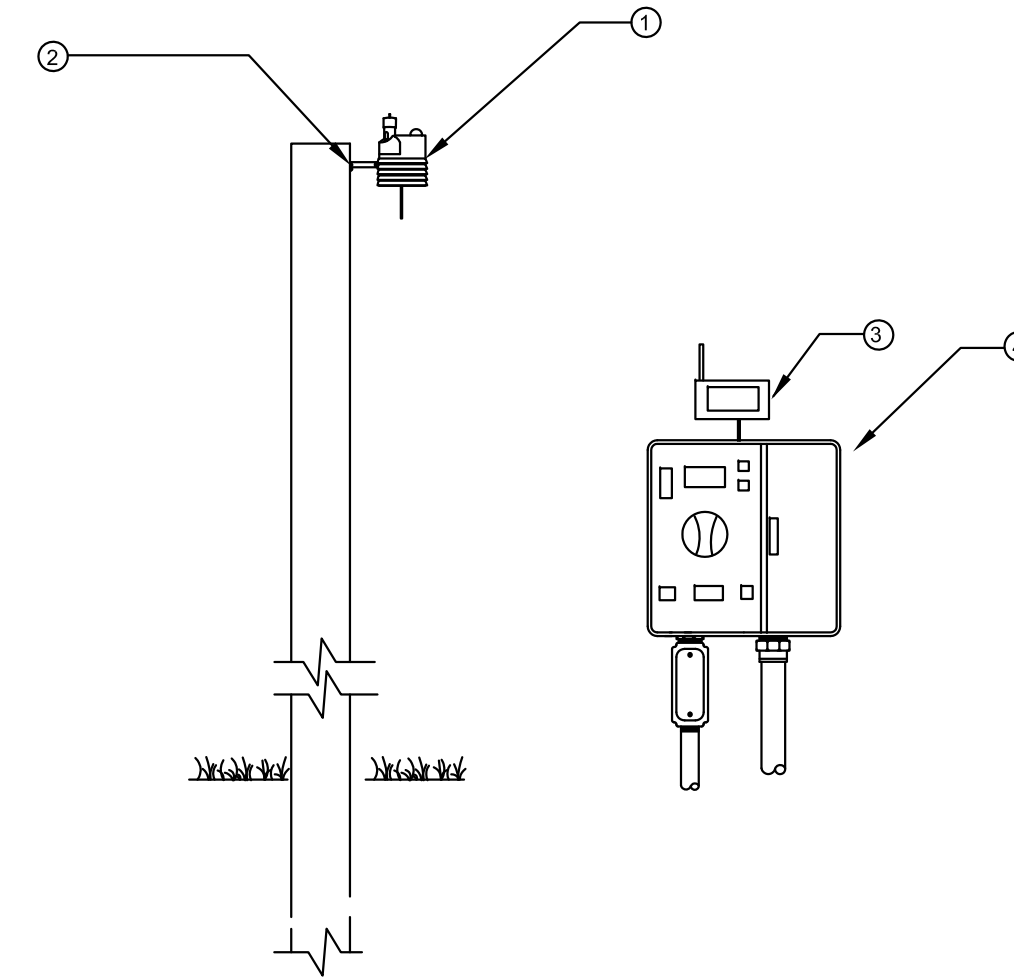
- INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
- DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
- NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
- PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
- 2 SET PAD 1/2" [13mm] ABOVE FINISH GRADE
- 3 FINISH GRADE
- 4 6" [150mm] THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" [150mm] BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- 5 MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD. PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.

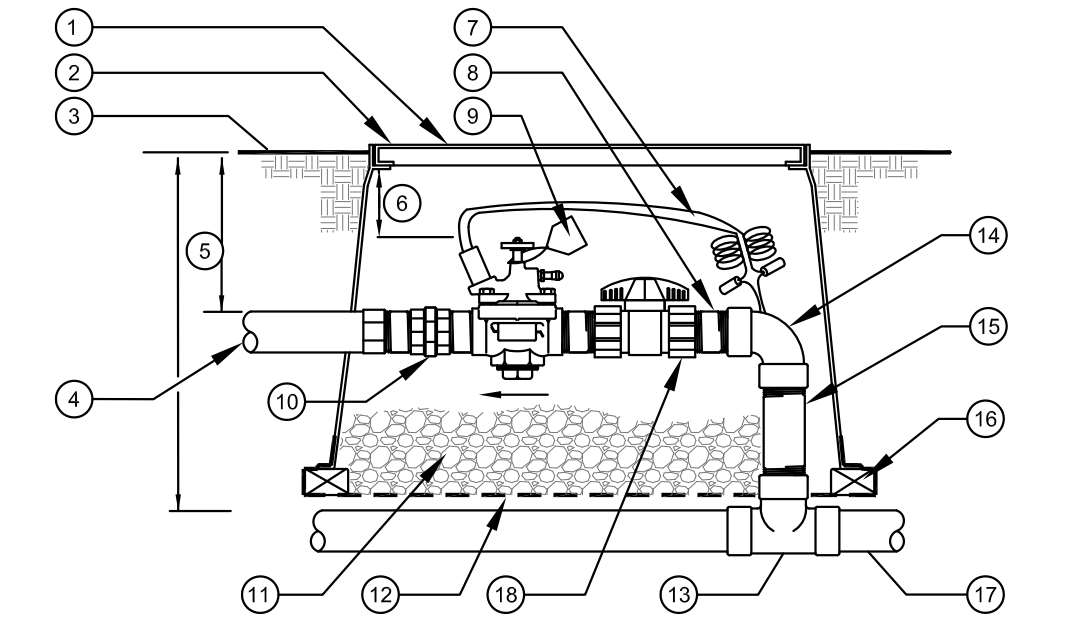


- 1 IRRIGATION CONTROLLER.
- 2 #6 BARE COPPER GROUND WIRE.
- 3 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
- 4 120 VOLT A.C. ELECTRICAL SERVICE FROM SOURCE TO CONTROLLER LOCATION PROVIDED BY CONTRACTOR. IRRIGATION CONTRACTOR TO PROVIDE RIGID STEEL CONDUIT FROM SERVICE STUD-OUT TO CONTROLLER GCFI SWITCH AND COMPLETE ELECTRICAL SERVICE TO CONTROLLER.
- 5 PEDESTAL ENCLOSURE.
- 6 LOW VOLTAGE CONTROL WIRING.
- 7 CONCRETE PAD-6" [150mm] THICK (MIN.) EXTEND 6" [150mm] BEYOND EACH SIDE AND BACK. 24" [600mm] IN FRONT AND 1" [25mm] ABOVE FINISH GRADE.
- 8 FINISH GRADE.
- 9 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT WITH SWEEP ELL FOR LOW VOLTAGE WIRE.
- 10 24" MIN. [600mm] AND OR 12" [300mm] BEYOND HARDCAPE.
- 11 1 1/2" [40mm] PVC SWEEP ELL FOR GROUND WIRE.
- 12 6" ROUND BLACK PLASTIC BOX WITH T-LID FOR GROUND ROD.
- 13 CADWELD CONNECTIONS
- 14 8" LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 10' AWAY FROM CONTROLLER.



NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.

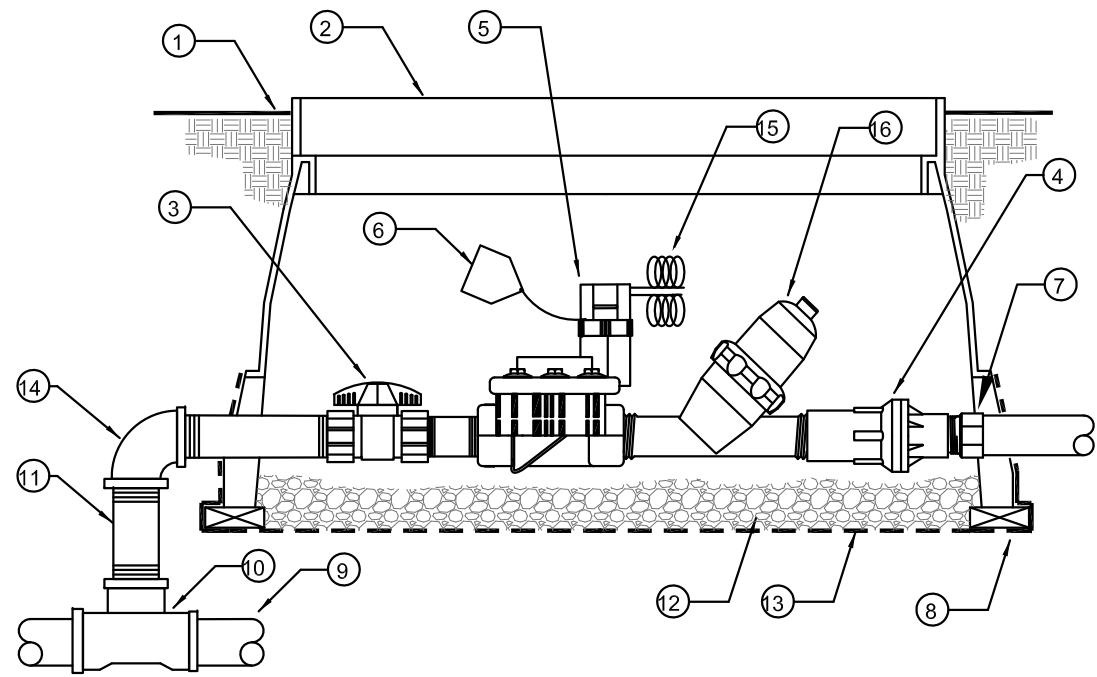
- 1 WIRELESS CLIMATE SENSOR TRANSMITTER
- 2 SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN. IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
- 3 SENSOR RECEIVER
- 4 CONTROLLER



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE.
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" [75mm] MIN. 6" [150mm] MAX.
- 7 VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3' [1m] OF EXCESS LF WIRE IN A 1" [25mm] DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (1xT).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK-1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

1 REDUCED PRESSURE BACKFLOW ASSEMBLY

SCALE: NONE



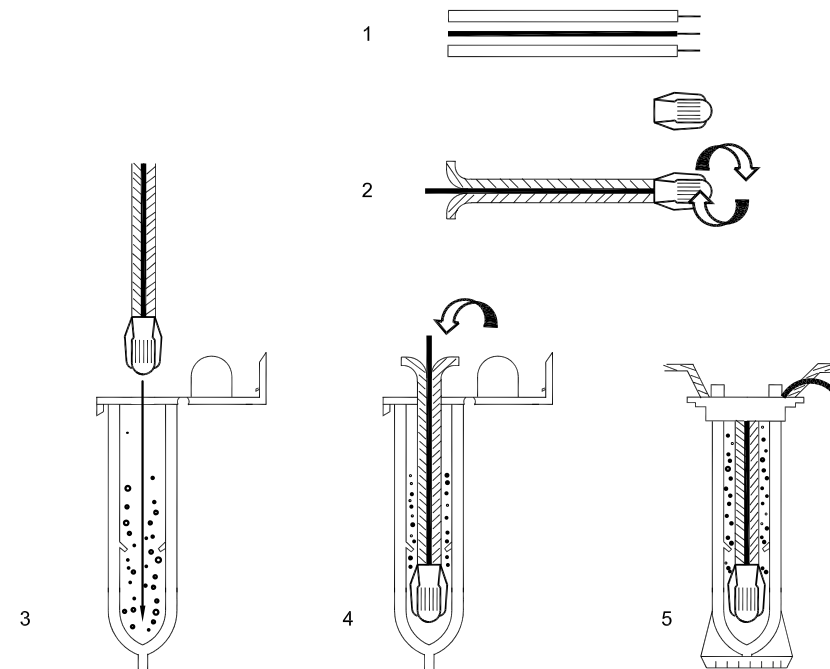
- 1 FINISH GRADE
- 2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- 4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- 5 REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- 6 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 7 SCHEDULE 40 MALE ADAPTER
- 8 BRICK-1 EACH CORNER.
- 9 PVC MAIN LINE.
- 10 UPC APPROVED SCHEDULE 40 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (1xT).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3' [1m] OF EXCESS LF WIRE IN A 1" [25mm] DIAMETER COIL.
- 16 Y-FILTER (INCLUDED IN DRIP ZONE KIT)

INSTRUCTIONS:

- STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
- TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT. DO NOT OVERTIGHTEN.
- INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
- PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
- INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

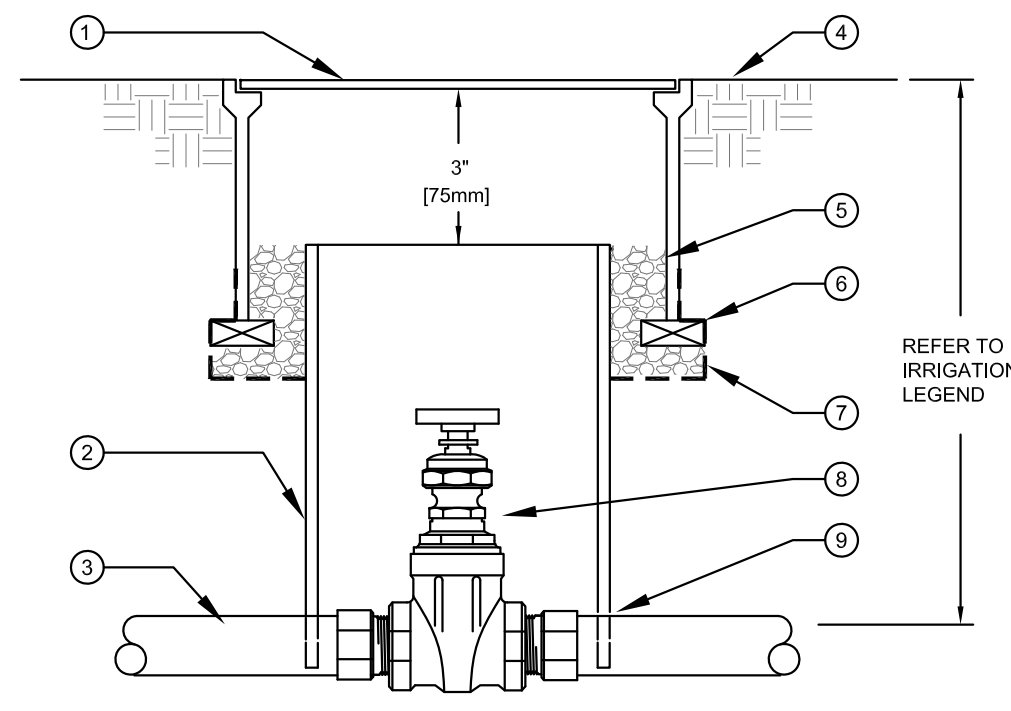
7 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE



3 CONTROLLER - PEDESTAL MOUNT

SCALE: NONE



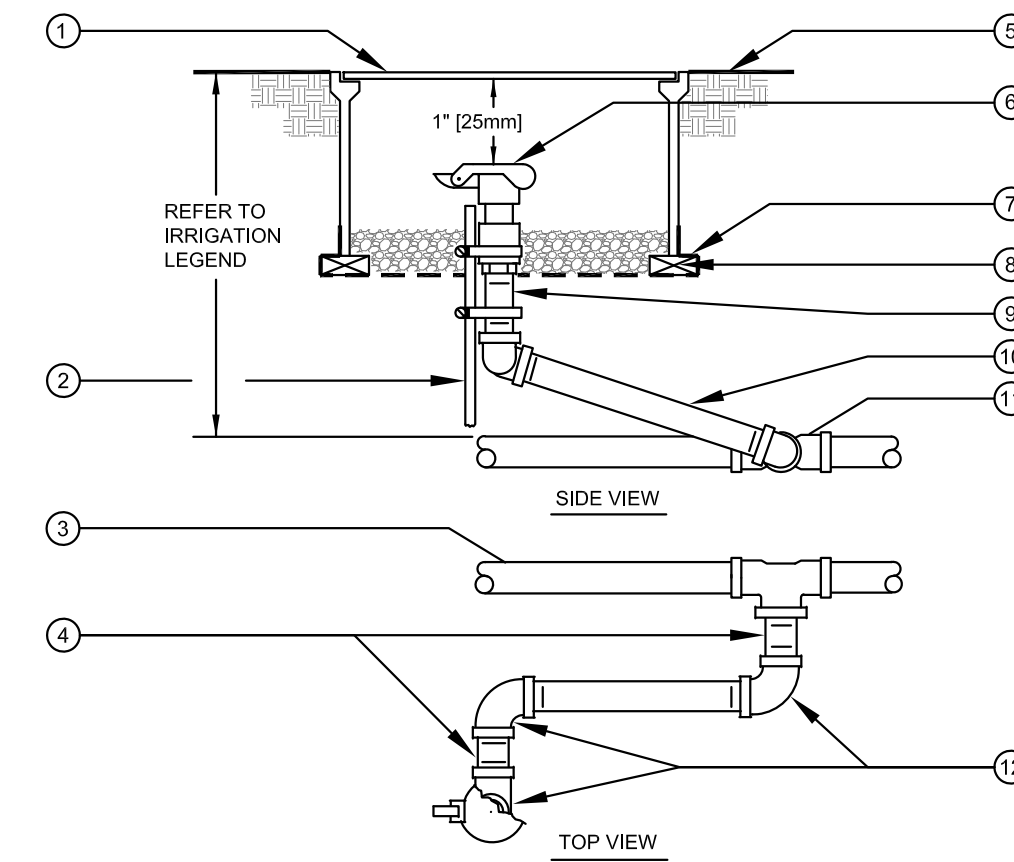
- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 MALE ADAPTER, REFER TO LEGEND FOR FITTING TYPE.

8 GATE VALVE

SCALE: NONE

4 WIRELESS WEATHER SENSOR

SCALE: NONE



- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 1 1/4" x 1 1/4" x 3/16" [30mm x 30mm x 5mm] ANGLE IRON 30" [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
- 3 PVC MAIN LINE.
- 4 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 5 FINISH GRADE.
- 6 QUICK COUPLING VALVE.
- 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 8 BRICK - 2 TOTAL.
- 9 SCHEDULE 80 PVC THREADED NIPPLE.
- 10 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
- 12 SCHEDULE 80 PVC THREADED 90° ELL.

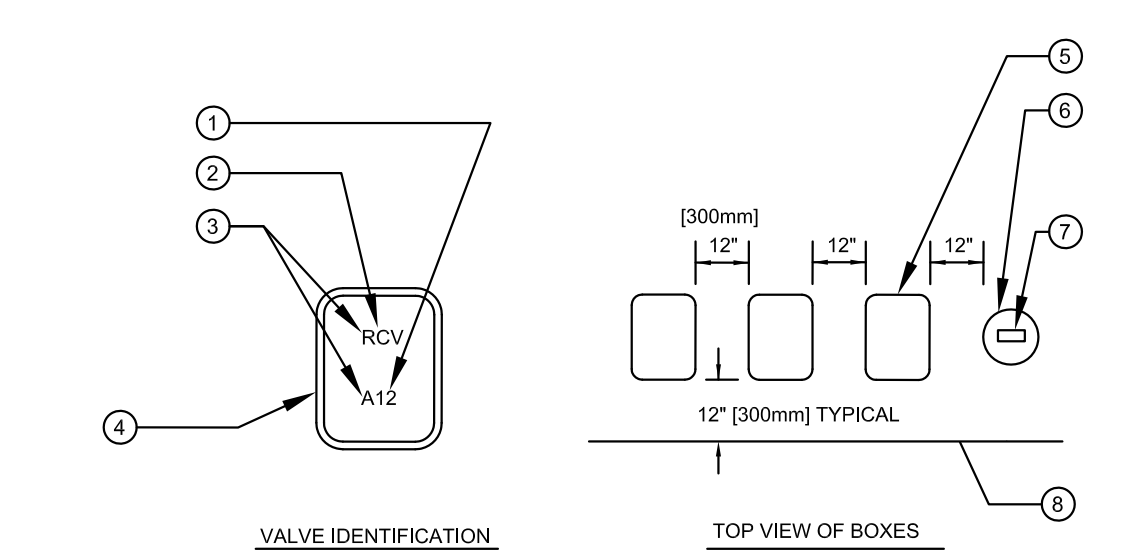
NOTE: NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

9 QUICK COUPLING VALVE

SCALE: NONE

5 REMOTE CONTROL VALVE

SCALE: NONE



- 1 CONTROLLER AND STATION
- 2 VALVE TYPE
- 3 HEAT BRAND LETTERS AND NUMBERS INTO LID.
- 4 VALVE BOX COVER
- 5 RECTANGULAR VALVE BOX
- 6 ROUND VALVE BOX FOR QCV AND GATE VALVE.
- 7 HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
- 8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.

INSTRUCTIONS:

- CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
- SET BOXES 1" [25mm] ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
- SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
- SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
- AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
- INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

6 REMOTE CONTROL VALVE (DRIPZONE)

SCALE: NONE

7 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE

8 GATE VALVE

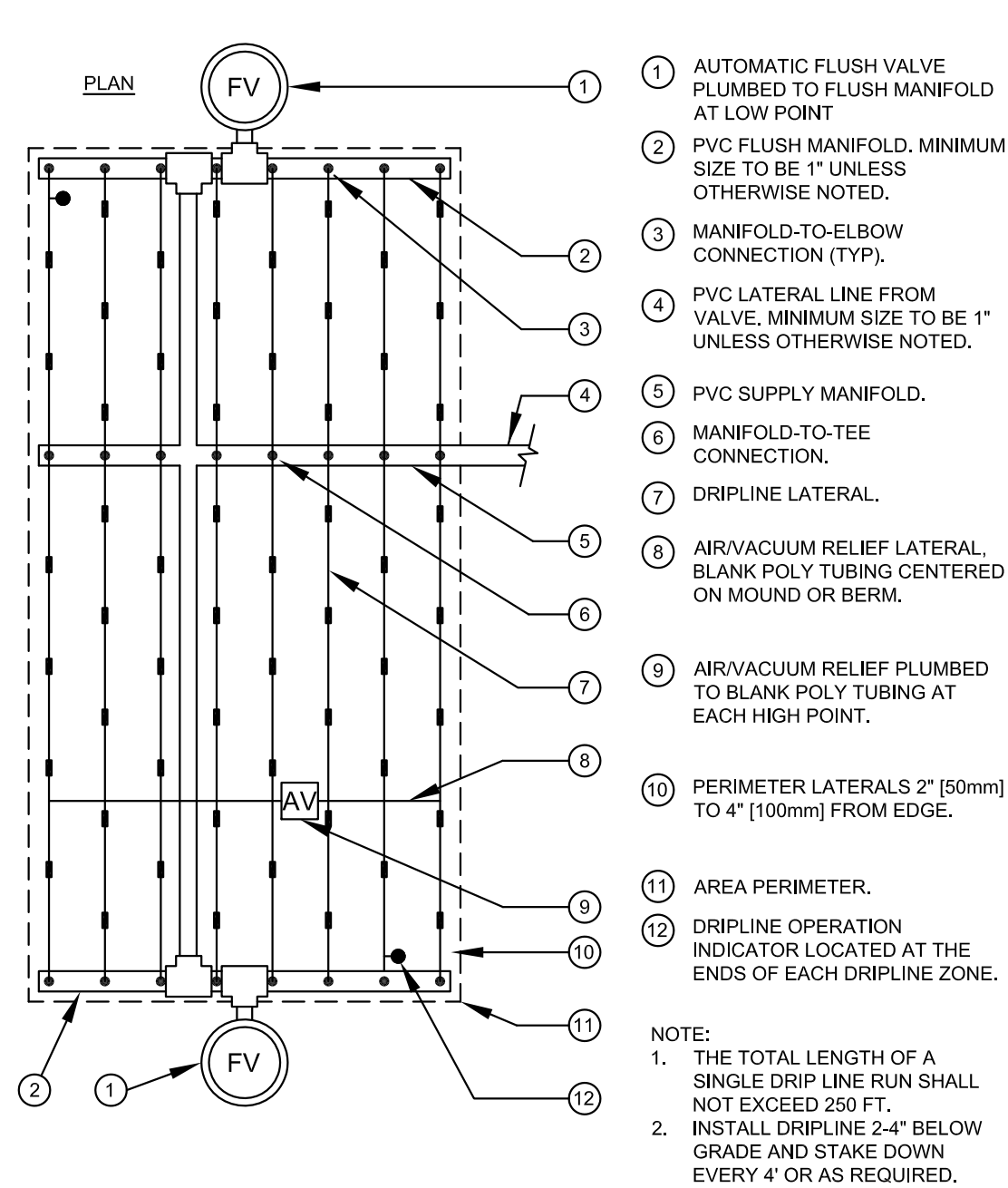
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9 QUICK COUPLING VALVE

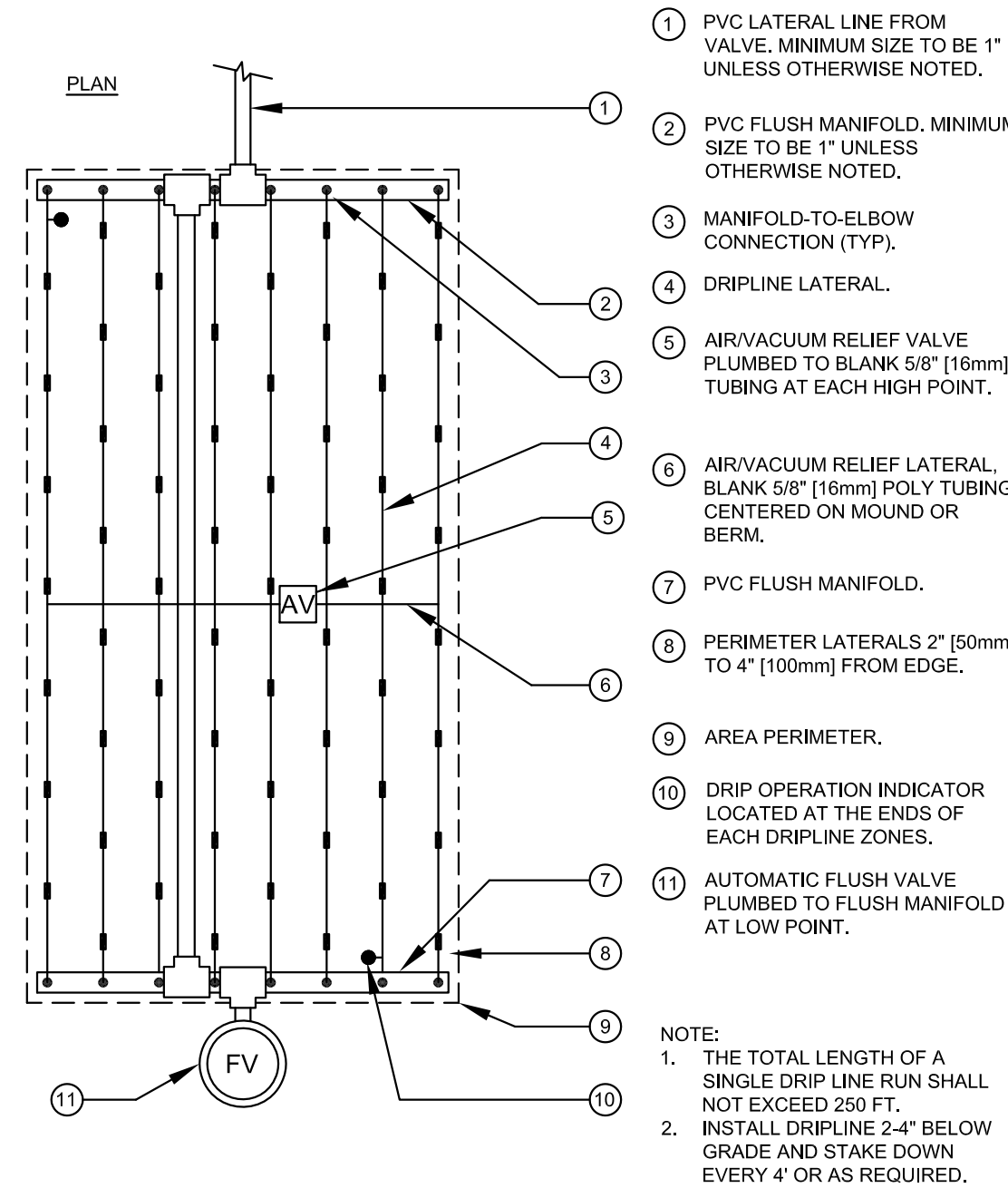
SCALE: NONE

10 VALVE BOX INSTALLATION

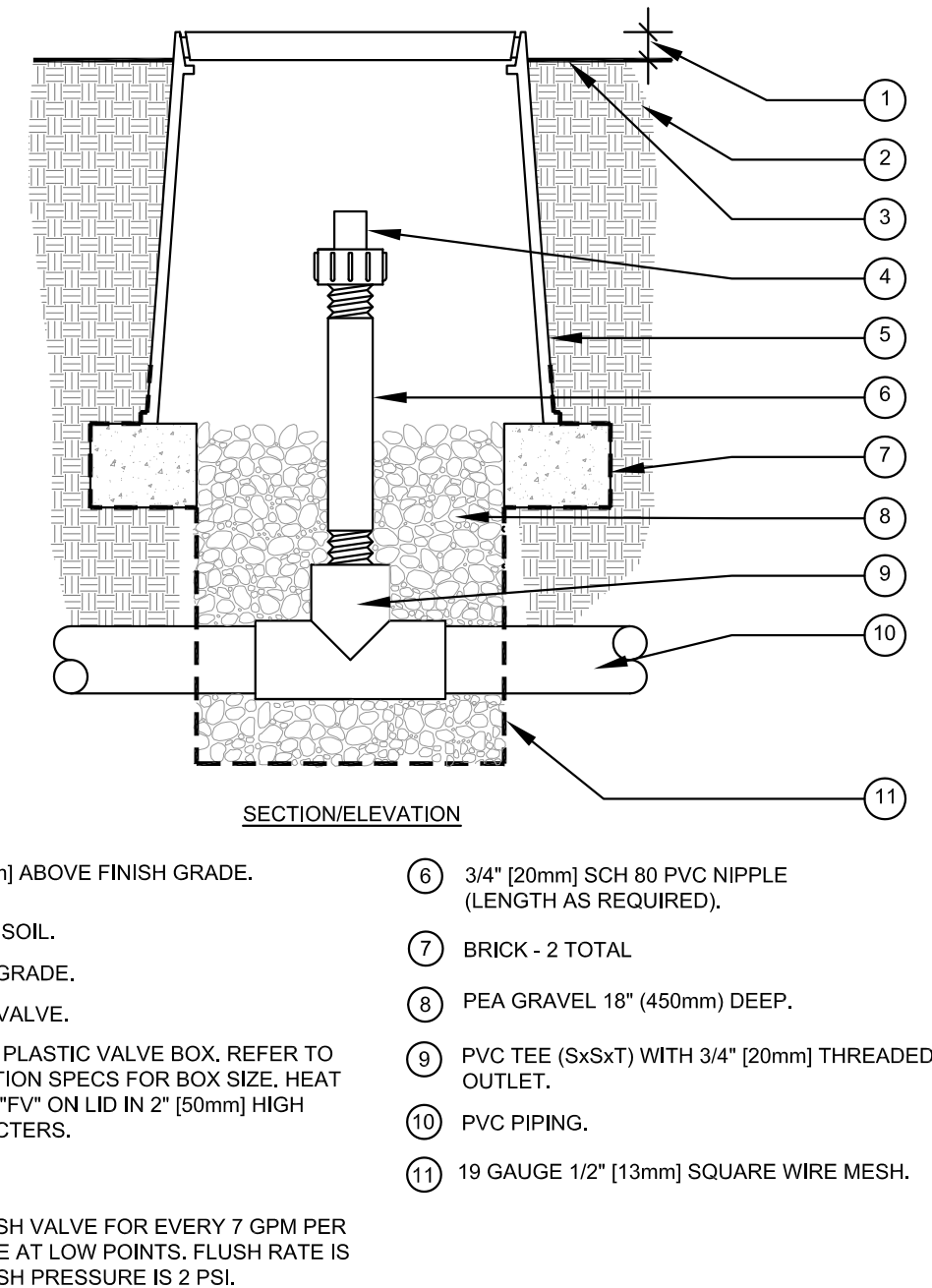
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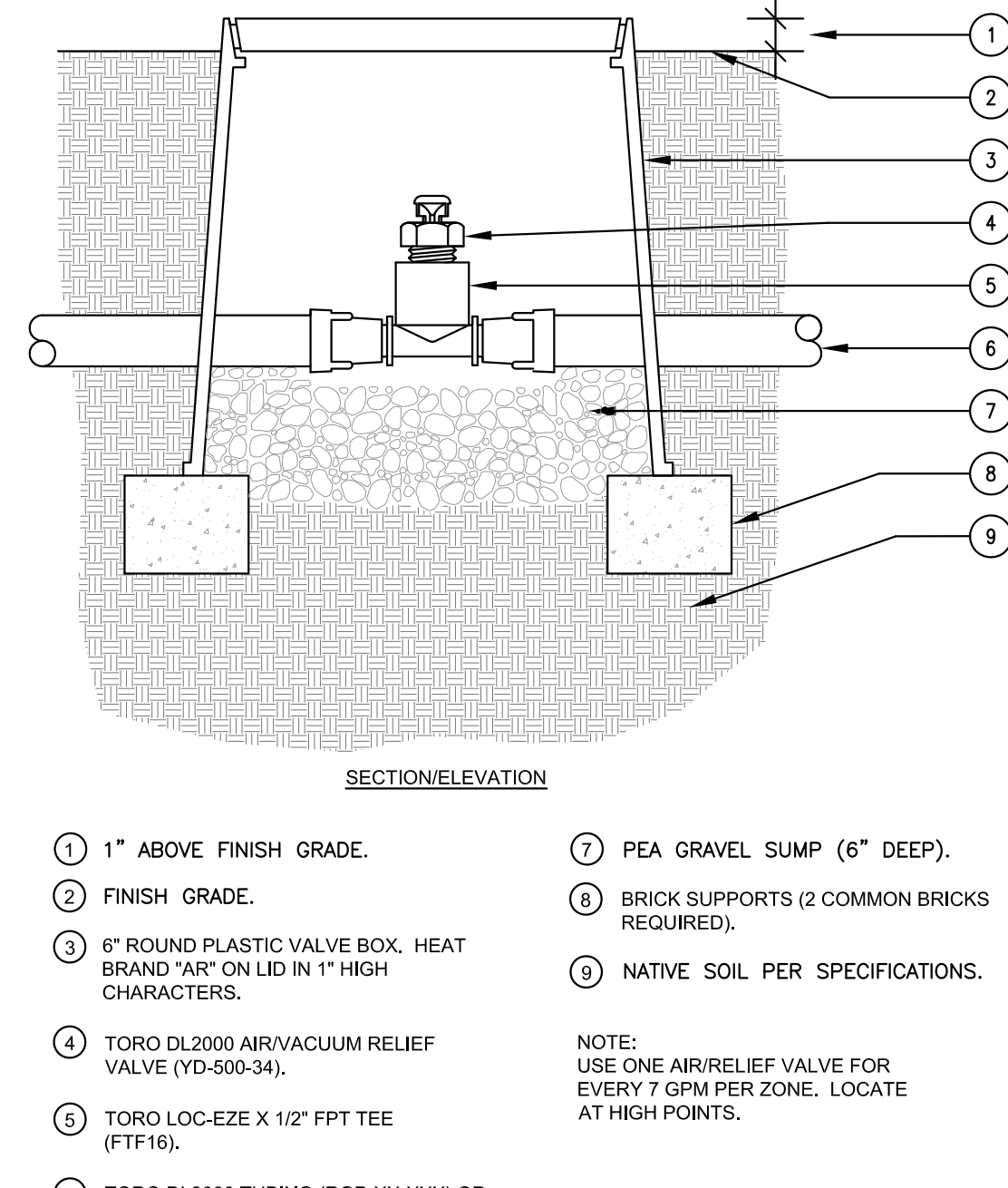
- 1 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
 - 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 3 MANIFOLD-TO-ELBOW CONNECTION (TYP.)
 - 4 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 5 PVC SUPPLY MANIFOLD.
 - 6 MANIFOLD-TO-TEE CONNECTION.
 - 7 DRIPLINE LATERAL.
 - 8 AIR/VACUUM RELIEF LATERAL. BLANK POLY TUBING CENTERED ON MOUND OR BERM.
 - 9 AIR/VACUUM RELIEF PLUMBED TO BLANK POLY TUBING AT EACH HIGH POINT.
 - 10 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
 - 11 AREA PERIMETER.
 - 12 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- NOTE:
 1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



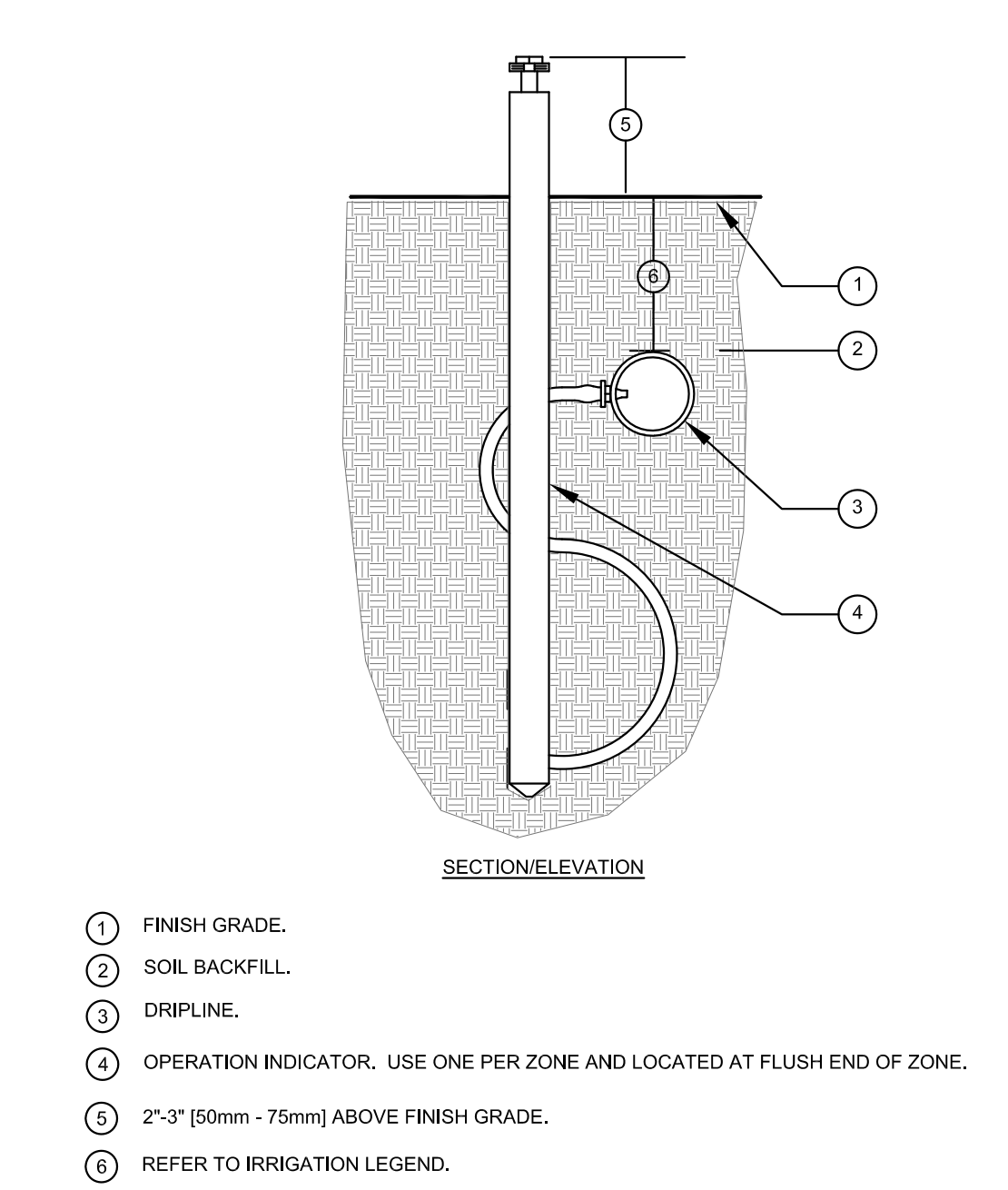
- 1 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 3 MANIFOLD-TO-ELBOW CONNECTION (TYP.)
 - 4 DRIPLINE LATERAL.
 - 5 AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" [16mm] TUBING AT EACH HIGH POINT.
 - 6 AIR/VACUUM RELIEF LATERAL. BLANK 5/8" [16mm] POLY TUBING CENTERED ON MOUND OR BERM.
 - 7 PVC FLUSH MANIFOLD.
 - 8 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
 - 9 AREA PERIMETER.
 - 10 DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONES.
 - 11 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- NOTE:
 1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.
 2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- 1 1" [25mm] ABOVE FINISH GRADE.
 - 2 NATIVE SOIL.
 - 3 FINISH GRADE.
 - 4 FLUSH VALVE.
 - 5 ROUND PLASTIC VALVE BOX. REFER TO IRRIGATION SPECS FOR BOX SIZE. HEAT BRAND "FV" ON LID IN 2" [50mm] HIGH CHARACTERS.
 - 6 3/4" [20mm] SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
 - 7 BRICK - 2 TOTAL
 - 8 PEA GRAVEL 18" (450mm) DEEP.
 - 9 PVC TEE (SxSxT) WITH 3/4" [20mm] THREADED OUTLET.
 - 10 PVC PIPING.
 - 11 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- NOTE:
 USE ONE FLUSH VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT LOW POINTS. FLUSH RATE IS 0.8 GPM. FLUSH PRESSURE IS 2 PSI.



- 1 1" ABOVE FINISH GRADE.
 - 2 FINISH GRADE.
 - 3 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
 - 4 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
 - 5 TORO LOC-EEZ X 1/2" FPT TEE (FTF16).
 - 6 TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
 - 7 PEA GRAVEL SUMP (6" DEEP).
 - 8 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
 - 9 NATIVE SOIL PER SPECIFICATIONS.
- NOTE:
 USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.



- 1 FINISH GRADE.
- 2 SOIL BACKFILL.
- 3 DRIPLINE.
- 4 OPERATION INDICATOR. USE ONE PER ZONE AND LOCATED AT FLUSH END OF ZONE.
- 5 2"-3" [50mm - 75mm] ABOVE FINISH GRADE.
- 6 REFER TO IRRIGATION LEGEND.

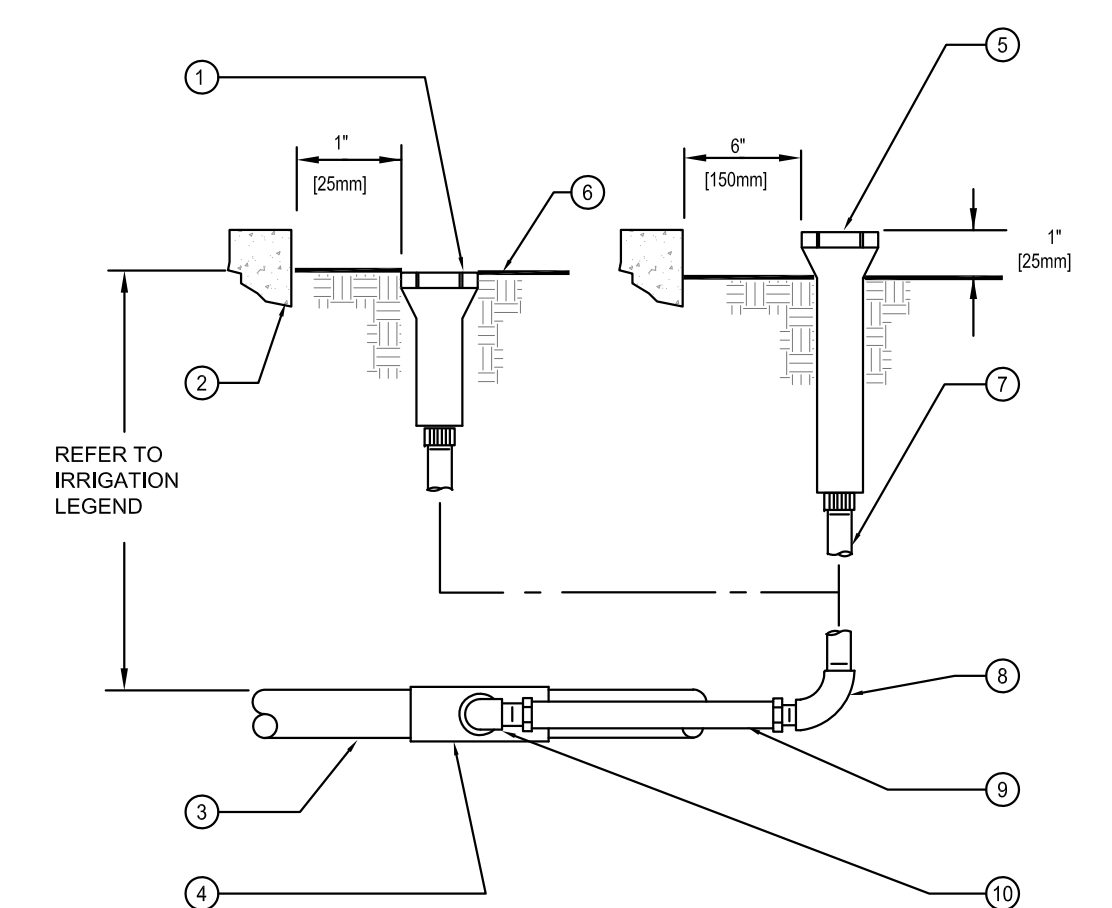
1 TORO DL 2000 CENTER FEED LAYOUT SCALE: NONE

2 TORO DL 2000 END FEED LAYOUT SCALE: NONE

3 TORO DL 2000 FLUSH VALVE (PVC TEE) SCALE: NONE

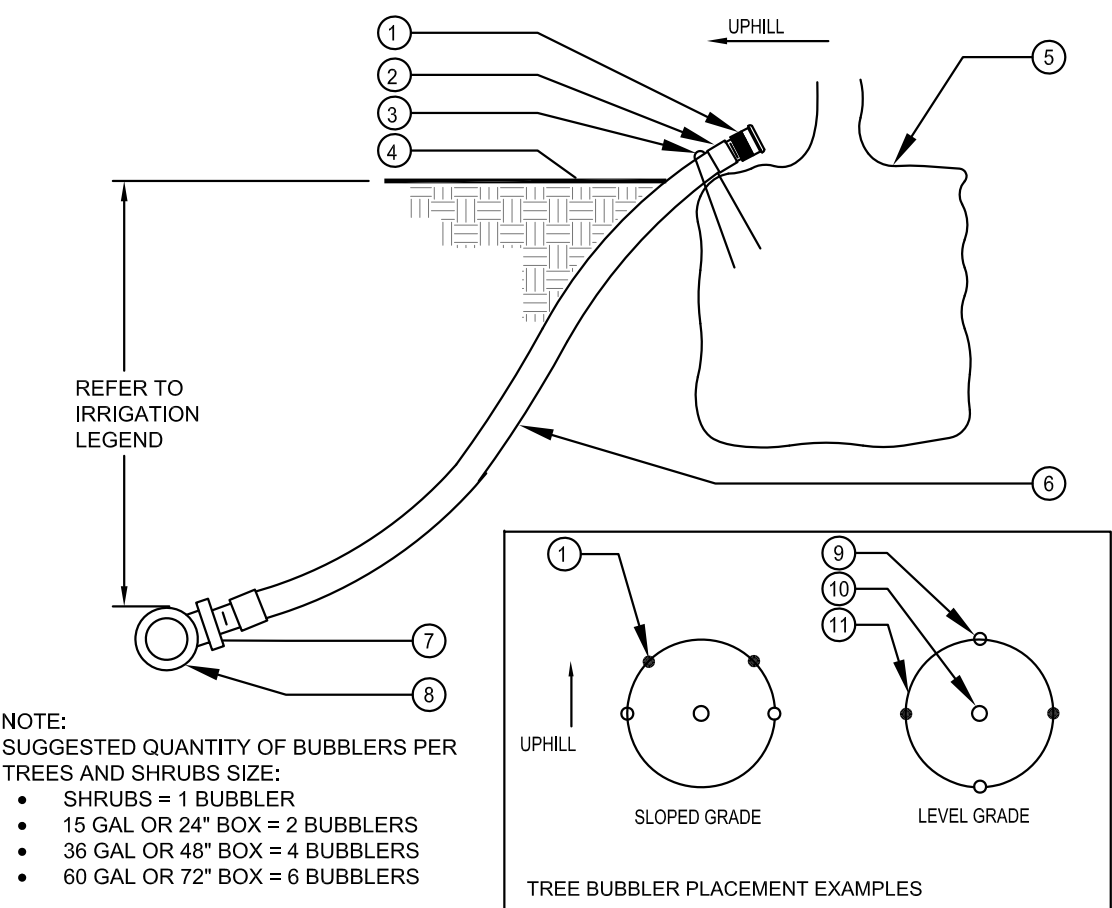
4 TORO DL 2000 AIR VACUUM RELIEF VALVE SCALE: NONE

5 TORO DL 2000 OPERATION INDICATOR SCALE: NONE



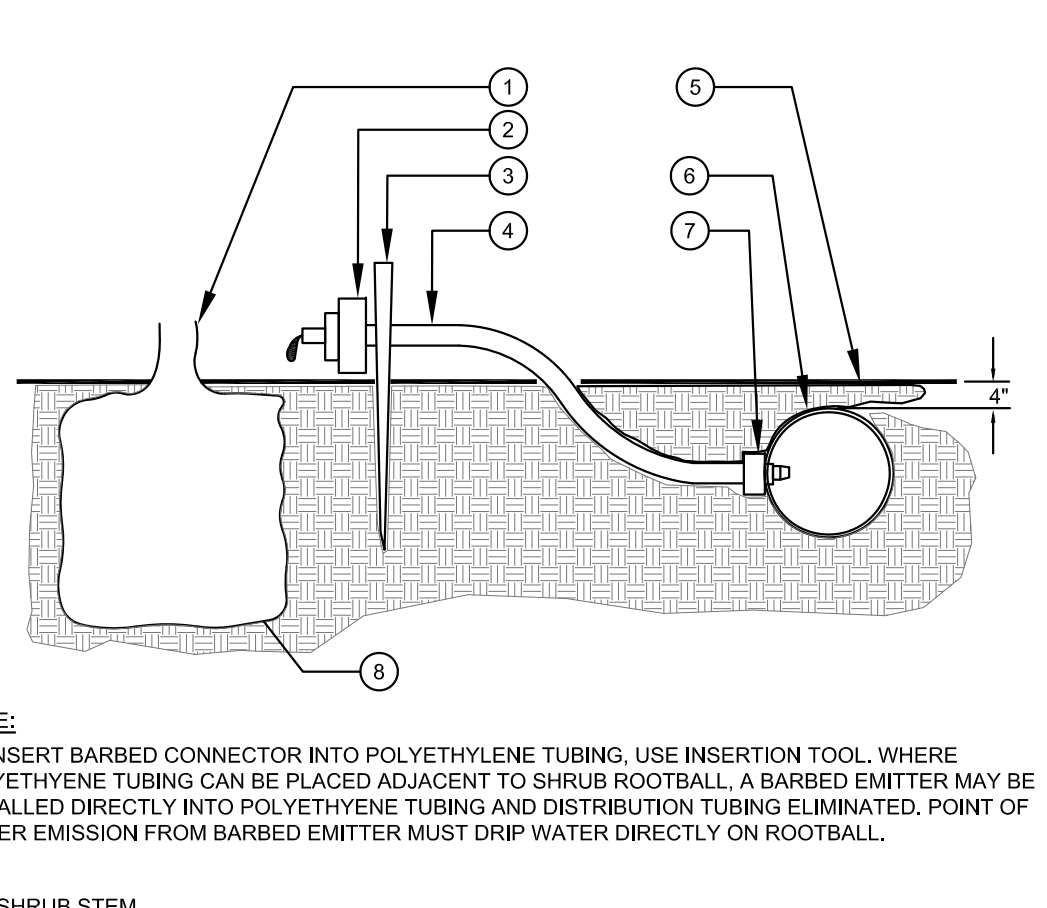
- 1 POP-UP LAWN SPRAY SPRINKLER
- 2 WALL, WALK, CURB OR BUILDING
- 3 PVC LATERAL LINE
- 4 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
- 5 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
- 6 FINISH GRADE
- 7 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 8 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
- 9 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
- 10 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

6 POP-UP SPRAY SPRINKLER RISER SCALE: NONE



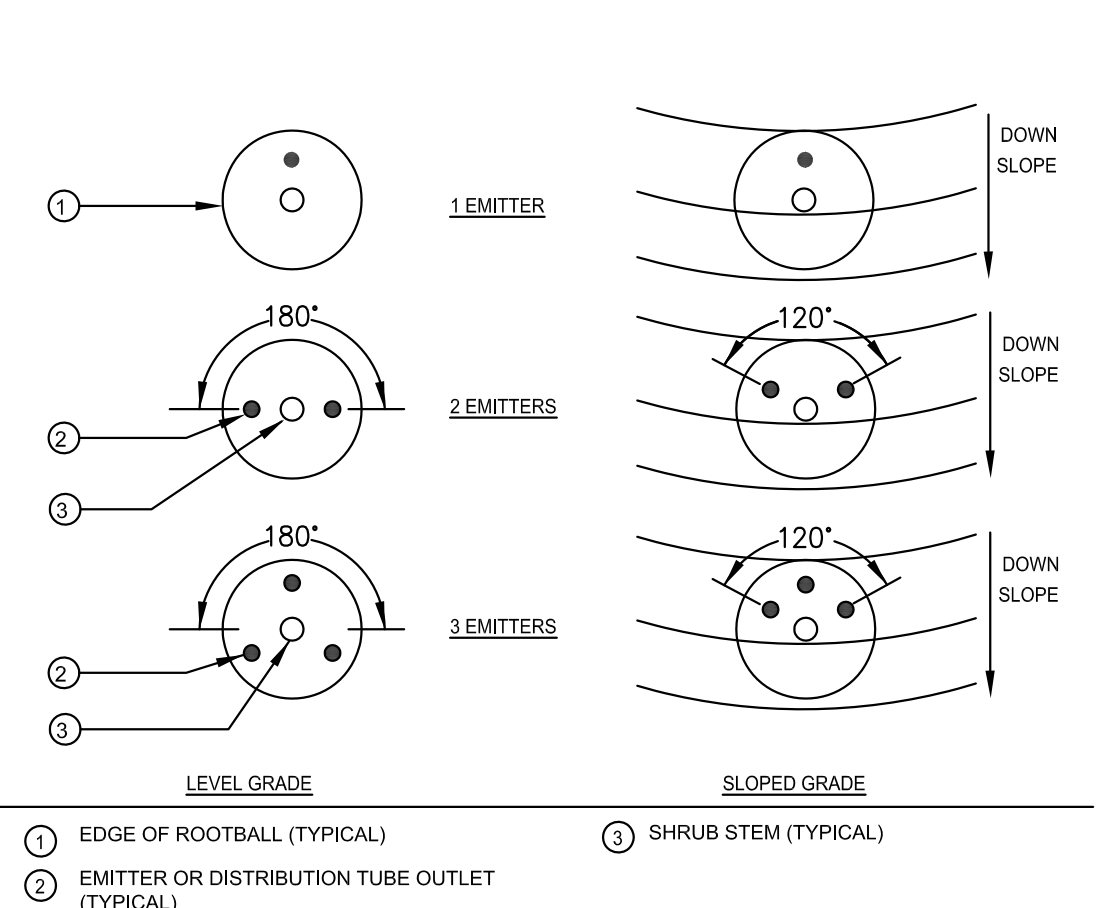
- NOTE:
 SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:
 • SHRUBS = 1 BUBBLER
 • 15 GAL OR 24" BOX = 2 BUBBLERS
 • 36 GAL OR 48" BOX = 4 BUBBLERS
 • 60 GAL OR 72" BOX = 6 BUBBLERS
- TREE BUBBLER PLACEMENT EXAMPLES
- 1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
 - 2 1/2" [13mm] SCH. 40 MALE ADAPTER.
 - 3 6" [150mm] STEEL STAPLE.
 - 4 FINISH GRADE.
 - 5 TREE OR SHRUB ROOTBALL.
 - 6 1/2" [13mm] IPS FLEXIBLE PVC.
 - 7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
 - 8 PVC LATERAL LINE.
 - 9 TREE STAKES.
 - 10 TREE OR SHRUB.
 - 11 EDGE OF ROOTBALL (TYPICAL).

7 TREE AND SHRUB BUBBLER SCALE: NONE

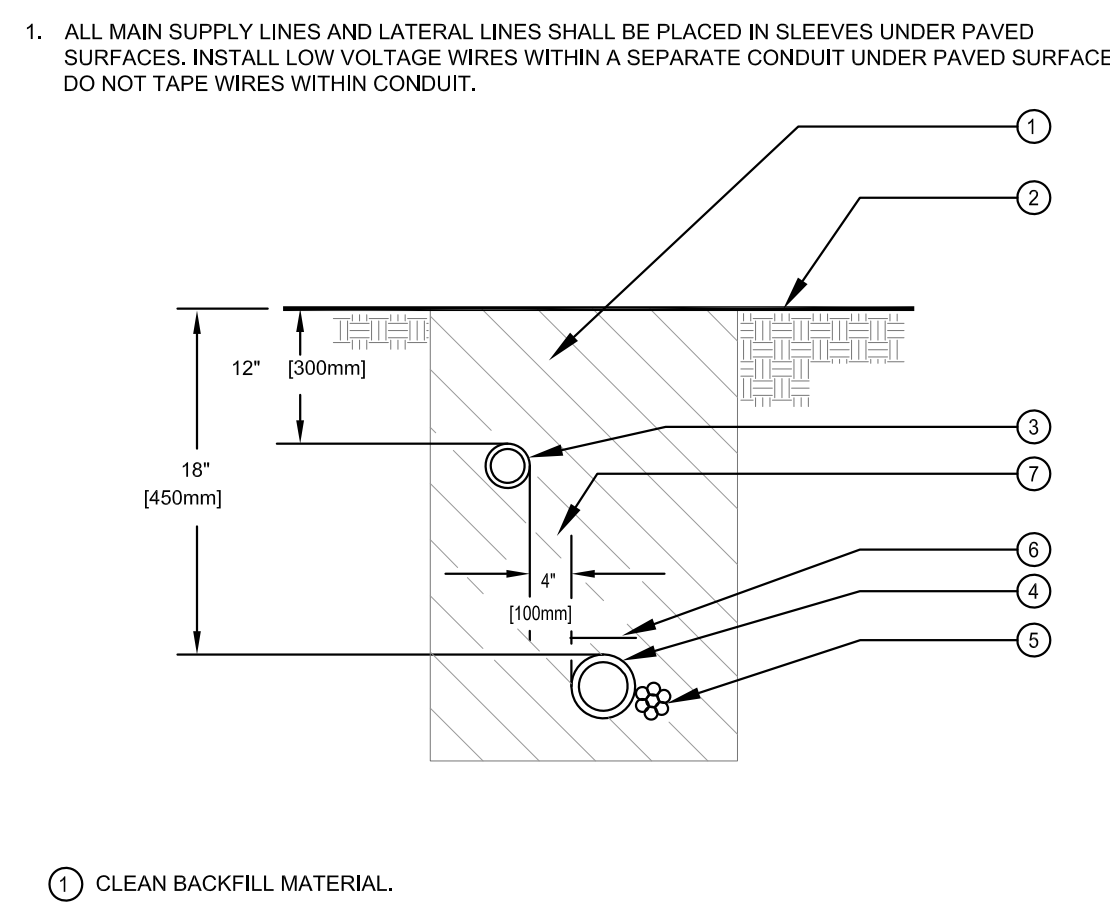


- NOTE:
 TO INSERT BARBED CONNECTOR INTO POLYETHYLENE TUBING, USE INSERTION TOOL. WHERE POLYETHYLENE TUBING CAN BE PLACED ADJACENT TO SHRUB ROOTBALL, A BARBED EMITTER MAY BE INSTALLED DIRECTLY INTO POLYETHYLENE TUBING AND DISTRIBUTION TUBING ELIMINATED. POINT OF WATER EMISSION FROM BARBED EMITTER MUST DRIP WATER DIRECTLY ON ROOTBALL.
- 1 SHRUB STEM.
 - 2 EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
 - 3 TUBING SUPPORT STAKE (SALCO DTS-200-400)
 - 4 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
 - 5 FINISH GRADE.
 - 6 SALCO PVC FLEX HOSE. INSTALL 4" [100mm] BELOW FINISH GRADE.
 - 7 BARBED MALE ADAPTER.
 - 8 EDGE OF ROOTBALL.

8 SALCO FLEX TUBING EMITTER PLACEMENT SCALE: NONE

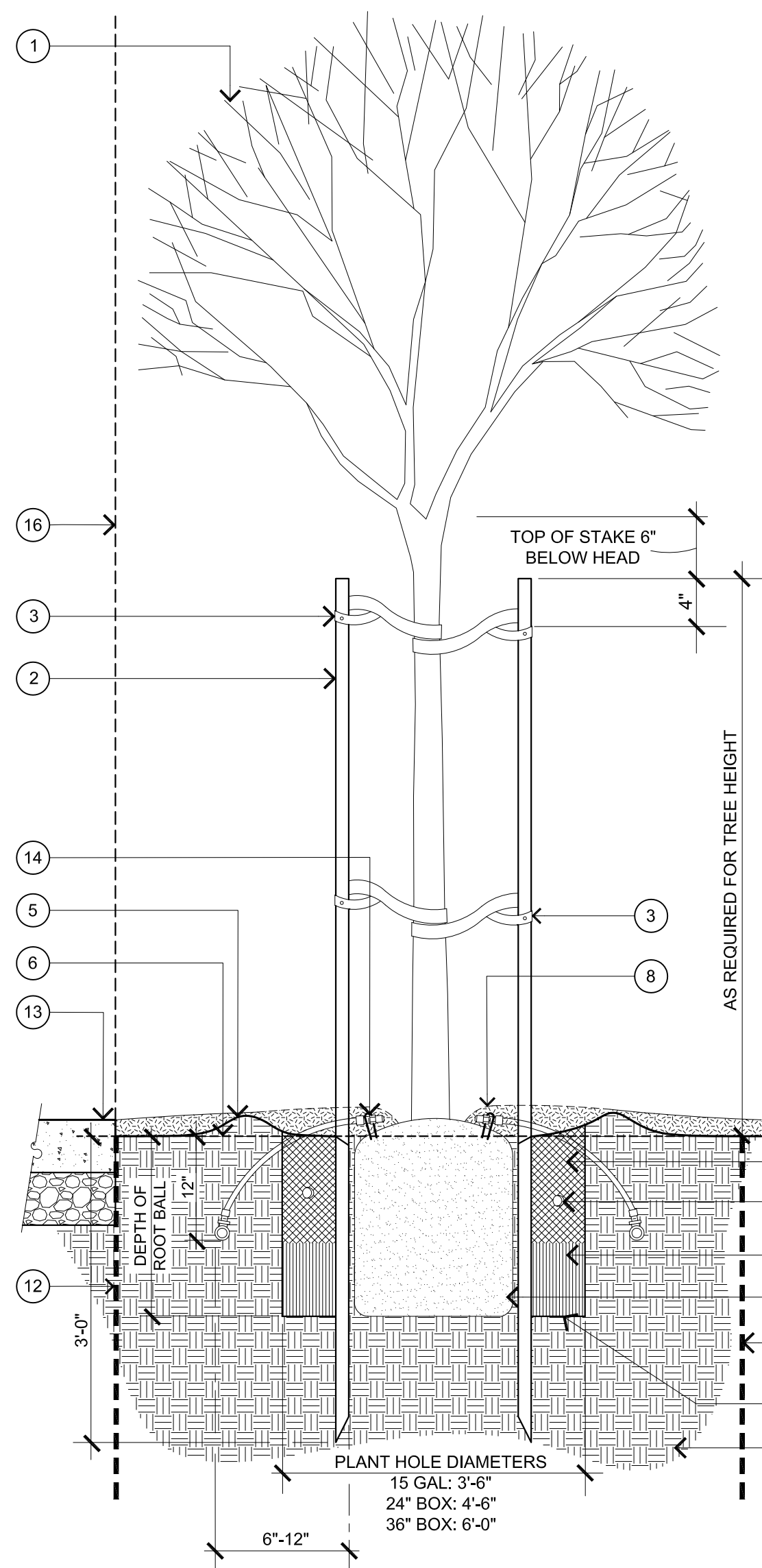


9 SALCO EMITTER PLACEMENT AND SCALE: NONE



- NOTE:
 1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.
- 1 CLEAN BACKFILL MATERIAL.
 - 2 FINISH GRADE.
 - 3 LATERAL LINE.
 - 4 MAIN LINE.
 - 5 LOW VOLTAGE CONTROL WIRE. TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
 - 6 DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE.
 - 7 TYPICAL DISTANCE BETWEEN PIPES.

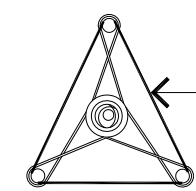
10 TRENCHING SCALE: NONE



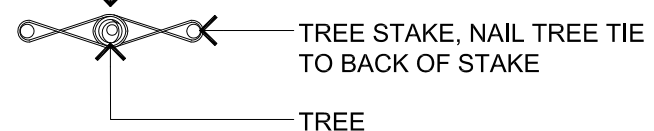
- 1 TREE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 LODGE POLE PINE TREE STAKES: 3"x10' LONG TREE STAKES FOR WINDY CONDITIONS AND 36" BOX AND LARGER TREES
- 3 TREE TIE: WONDER TREE-TIE(800-910-2810) MODEL# W14-46, W24-84 OR APPROVED EQUAL. LOOP IN A FIGURE EIGHT AND NAIL TO BACK OF STAKE WITH GALVANIZED THREADED NAILS. ALLOW 3" OF MOVEMENT OF TREE IN ALL DIRECTIONS.
- 4 TREE ROOTBALL SET ON 12" LAYER UNDISTURBED NATIVE SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES. TAMP SOIL TO 85% RELATIVE COMPACTION. SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
- 5 3" EARTH BERM FOR WATER BASIN
- 6 FINISH GRADE. SET 1" BELOW AT TURF AREAS AND 2" AT SHRUB AND GROUNDCOVER AREAS
- 7 BACK FILL MIX: (TOP 12 INCHES ONLY); 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM TRUNK OF TREE
- 9 PULVERIZED NATIVE SOIL
- 10 FERTILIZER TABS (21 GRAM, 20-10-5):
- 15 GAL: 6 TABS
- 24" BOX: 8 TABS
- 36" BOX: 12 TABS
- 11 PLANTING HOLE, PULVERIZED NATIVE SOIL BELOW 12" FROM FINISHED GRADE; SCARIFY WALLS
- 12 ROOT BARRIER(AS NEEDED); REFER TO PLANTING NOTES AND SPECIFICATIONS
- 13 PAVING: REFER TO PLAN
- 14 1/4 GPM IRRIGATION BUBBLER, OFFSET FROM TREE TUCKED TO ROOTBALL
- 15 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 16 BUILDING OR WALL

NOTES:

ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.



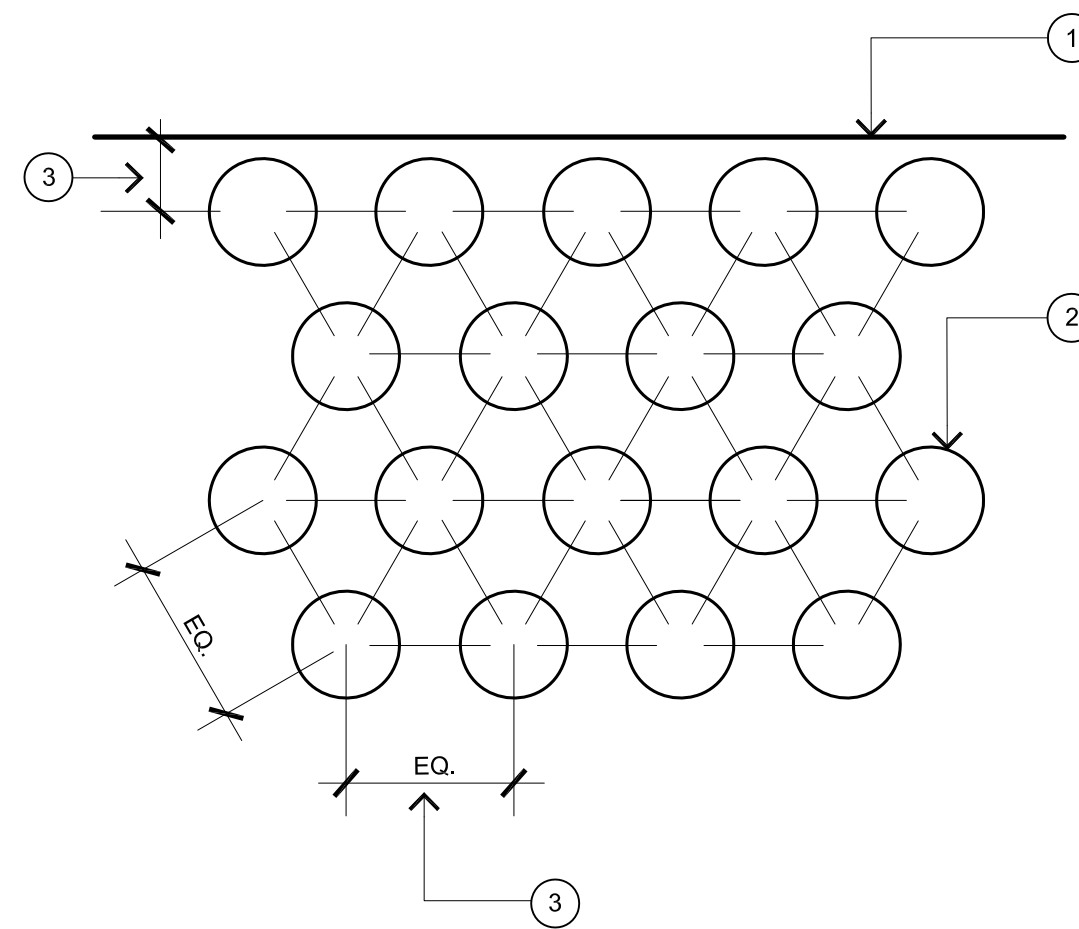
PREVAILING WIND



TREE

1 TREE STAKING

N.T.S.



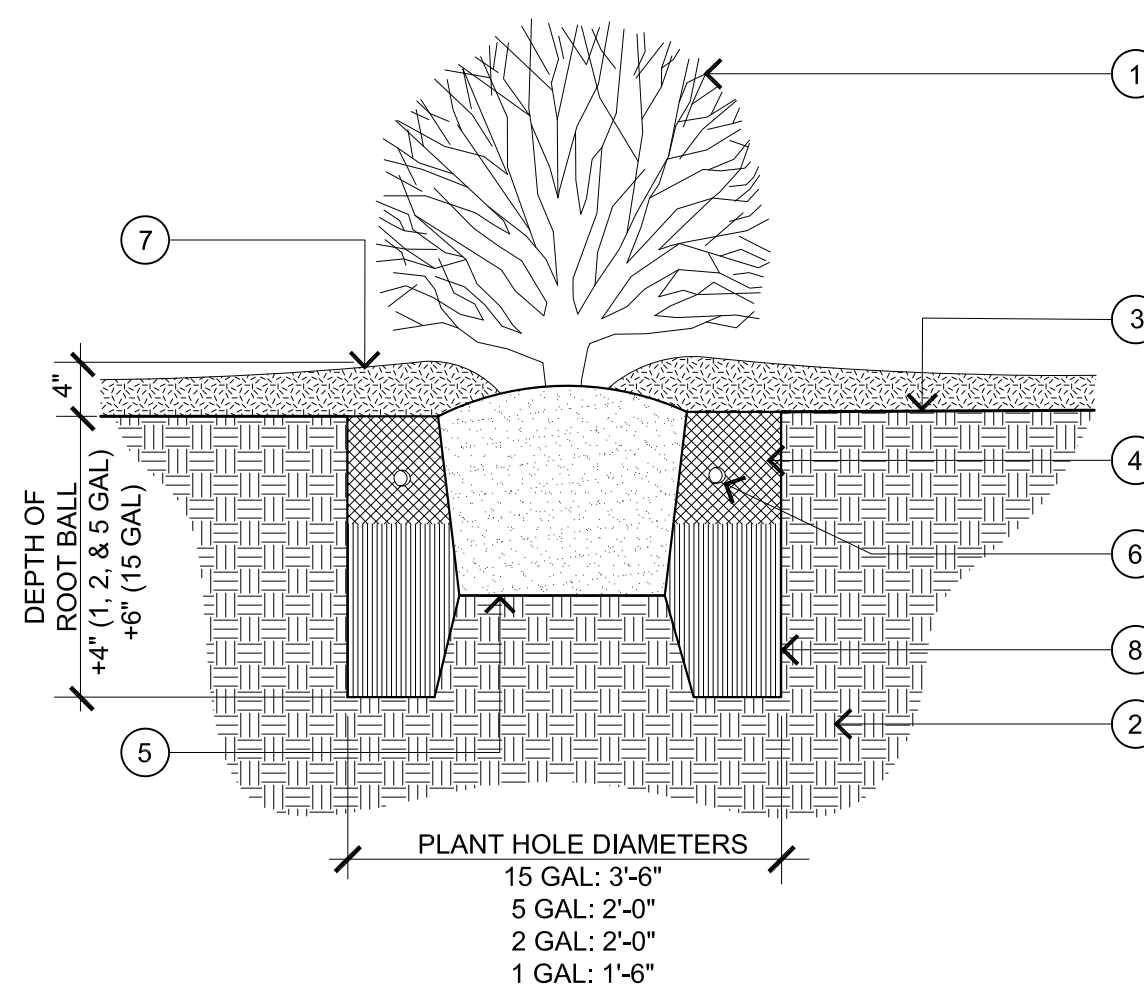
- 1 EDGE OF PAVING, HEADER, FACE OF BUILDING, WALL, ETC.
- 2 GROUNDCOVER OR SHRUB; REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 3 GROUNDCOVER AND SHRUB SPACING PER PLANTING PLAN AND LEGEND

NOTES:

- ALL PLANTS SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE SPECIFIED ON THE PLANS
- CENTERLINE OF PLANTS SHALL BE 1/2 OF EQUAL SPACING MINIMUM FROM EDGE OF PLANTING AREA
- INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES
- KEEP MULCH CLEAR OF PLANT BASE
- ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT

2 GROUNDCOVER PLANTING

N.T.S.



- 1 SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 3 FINISH GRADE
- 4 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HEIGHT); 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 5 SHRUB ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
- 6 FERTILIZER TABS (21 GRAM, 20-10-5):
- 1 GALLON: 1 TAB
- 2 GALLON: 2 TABS
- 5 GAL: 3 TABS
- 15 GAL: 5 TABS
- 7 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
- 8 PULVERIZED NATIVE SOIL

NOTES:

ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT

3 SHRUB PLANTING

N.T.S.





399.203 The Village at 2092 Oakley Road
Oakley, CA
February 28, 2024

CONCEPTUAL STREETSCENE
A0.1

SDG Architects, Inc.
3361 Walnut Blvd, Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com





PASEO VIEW



ENTRY OPEN SPACE

EXTERIOR MATERIALS

SPANISH ELEVATION

- STUCCO WALL FINISH
- STUCCO PORCH
- ARCHED ENTRY
- FOAM WINDOW TRIM
- DECORATIVE SHUTTERS
- CONCRETE S-TILE ROOFING
- DECORATIVE GABLE ACCENT

BUNGALOW ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- STUCCO PORCH COLUMNS w/ STONE VENEER
- DECORATIVE SHUTTERS
- CONCRETE ROOF TILE
- DECORATIVE GABLE ACCENT

FARMHOUSE ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- BOARD AND BATT SIDING
- WOOD WINDOW TRIM
- DECORATIVE SHUTTERS
- ASPHALT COMPOSITION SHINGLE ROOF
- WOOD PORCH POSTS w/ WOOD TRIM



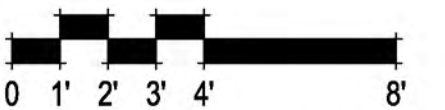
SPANISH



FARMHOUSE



BUNGALOW





SPANISH REAR ELEVATION



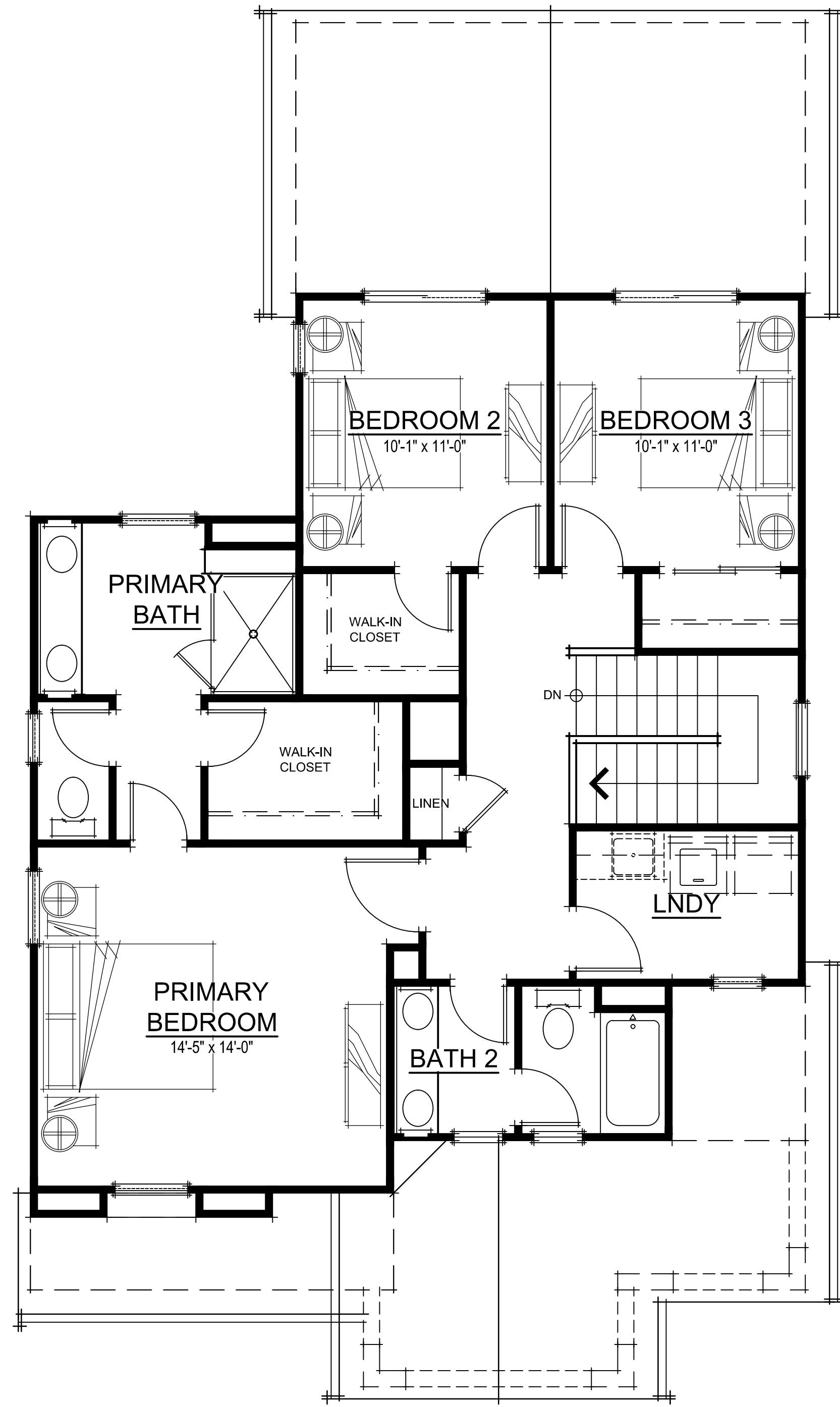
SPANISH RIGHT ELEVATION



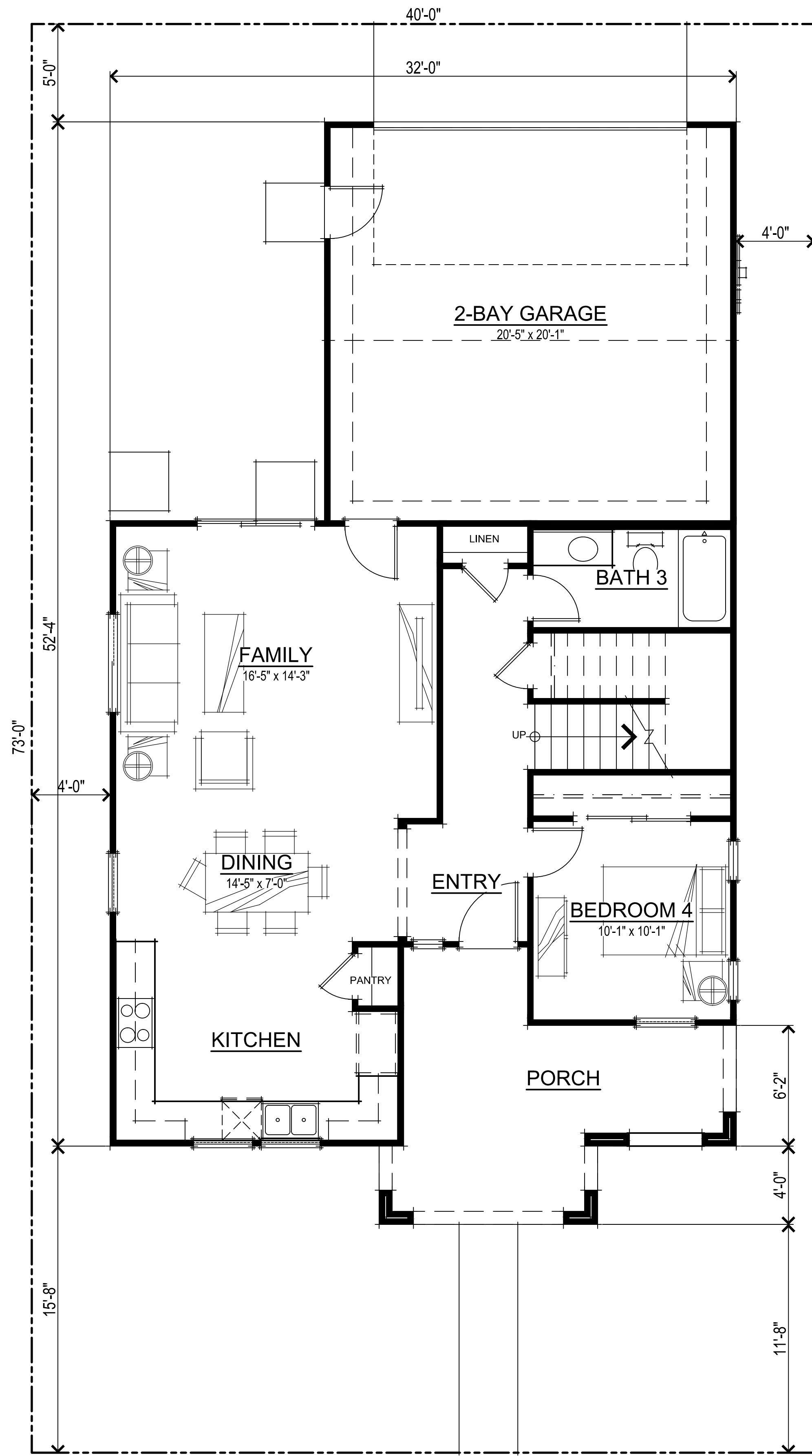
SPANISH LEFT ELEVATION



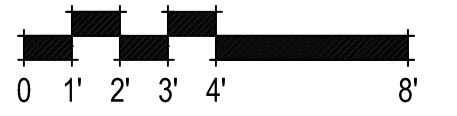
SPANISH FRONT ELEVATION



SECOND FLOOR PLAN

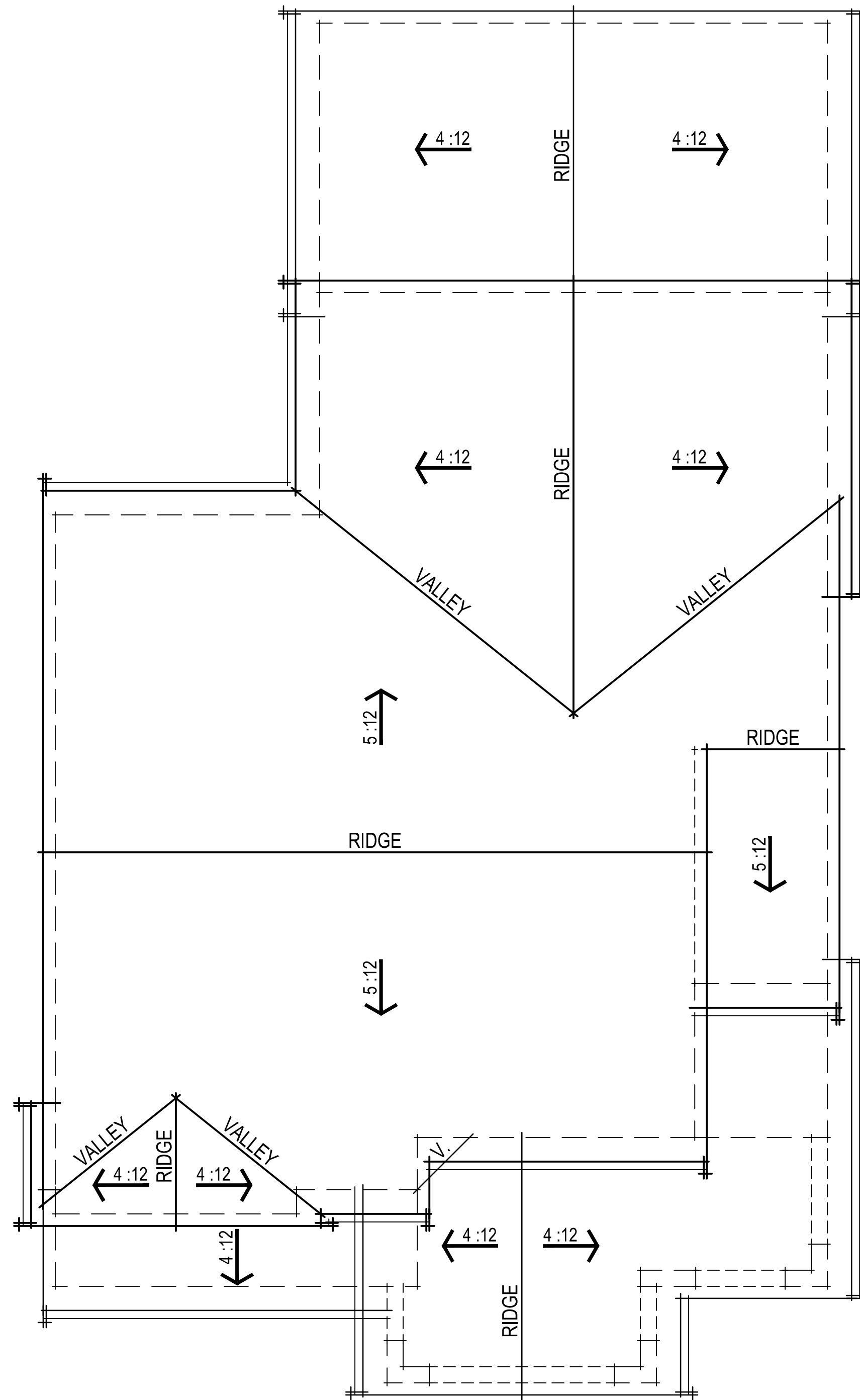


FIRST FLOOR PLAN

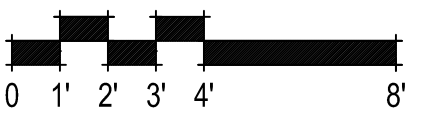


SQUARE FOOTAGES	
FIRST FLOOR	892 SQ. FT.
SECOND FLOOR	956 SQ. FT.
TOTAL LIVING	1848 SQ. FT.
2-BAY GARAGE	429 SQ. FT.

PLAN 1 SPANISH FLOOR PLANS
A03



SPANISH ROOF PLAN





BUNGALOW REAR ELEVATION



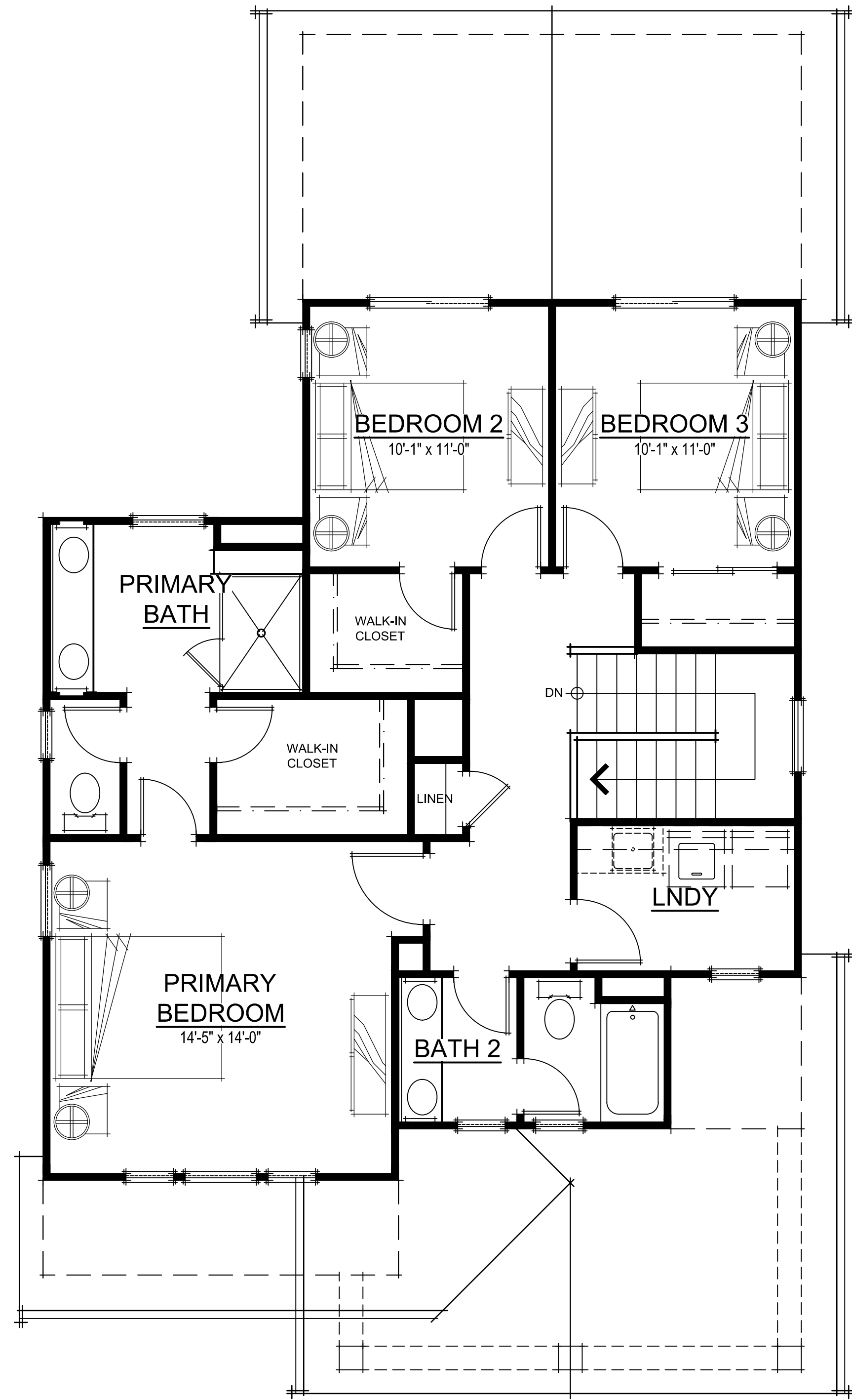
BUNGALOW RIGHT ELEVATION



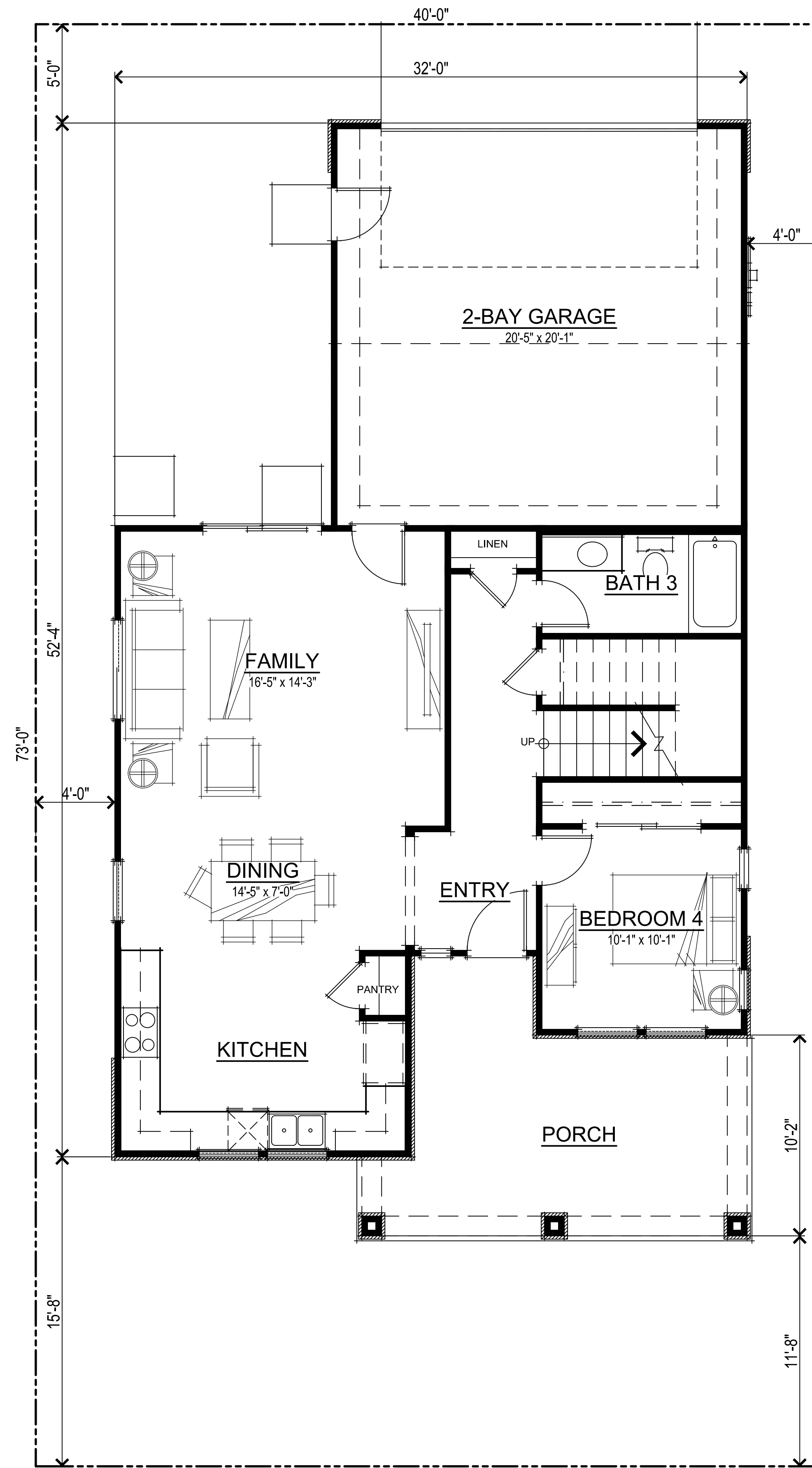
BUNGALOW LEFT ELEVATION



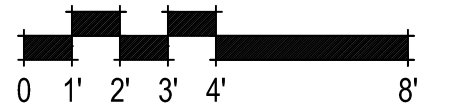
BUNGALOW FRONT ELEVATION



SECOND FLOOR PLAN

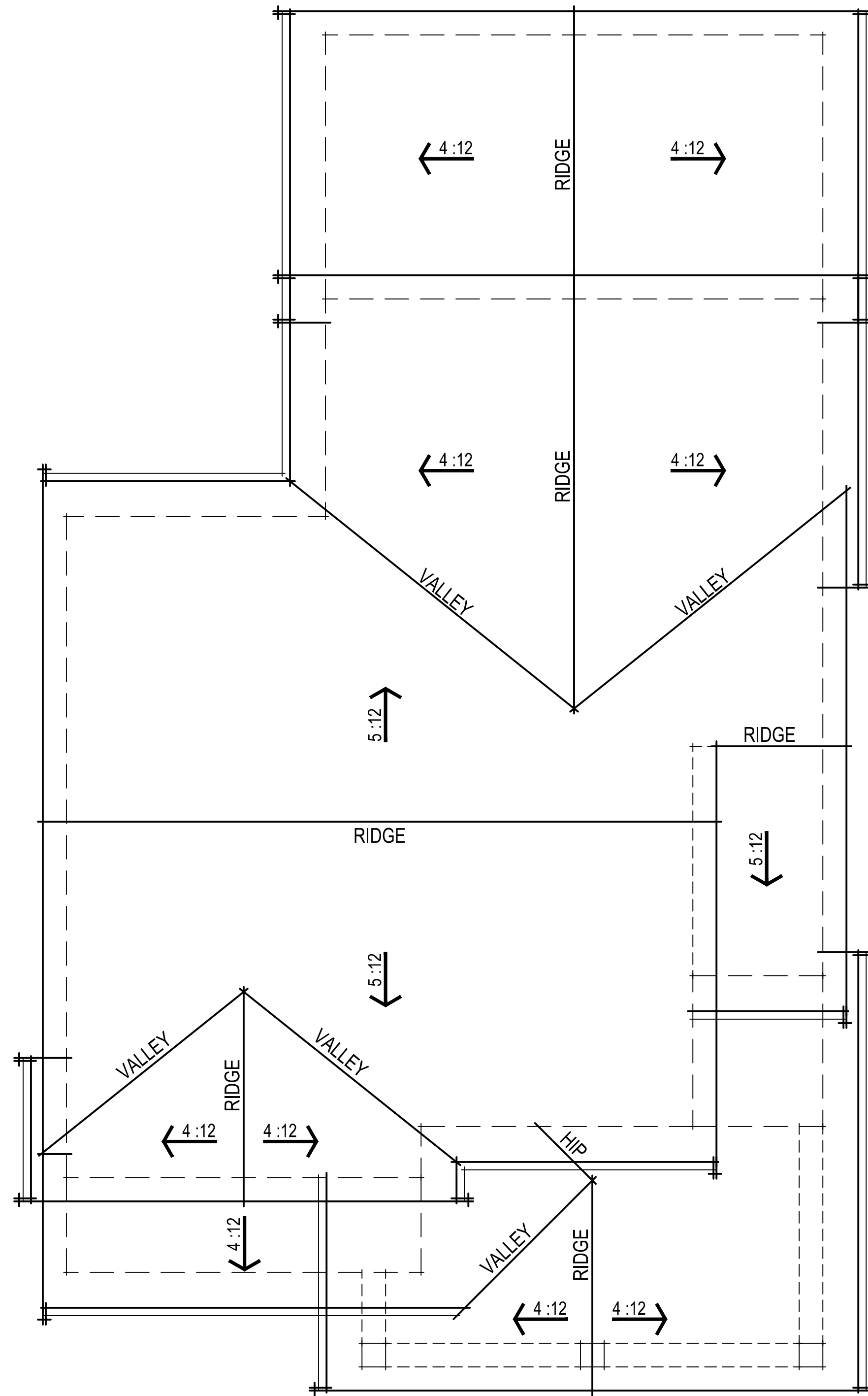


FIRST FLOOR PLAN

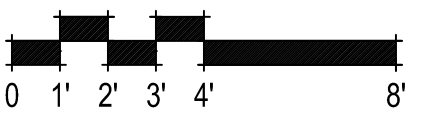


SQUARE FOOTAGES	
FIRST FLOOR	892 SQ. FT.
SECOND FLOOR	956 SQ. FT.
TOTAL LIVING	1848 SQ. FT.
2-BAY GARAGE	429 SQ. FT.

PLAN 1 BUNGALOW FLOOR PLANS
A06



BUNGALOW ROOF PLAN





FARMHOUSE REAR ELEVATION



FARMHOUSE RIGHT ELEVATION

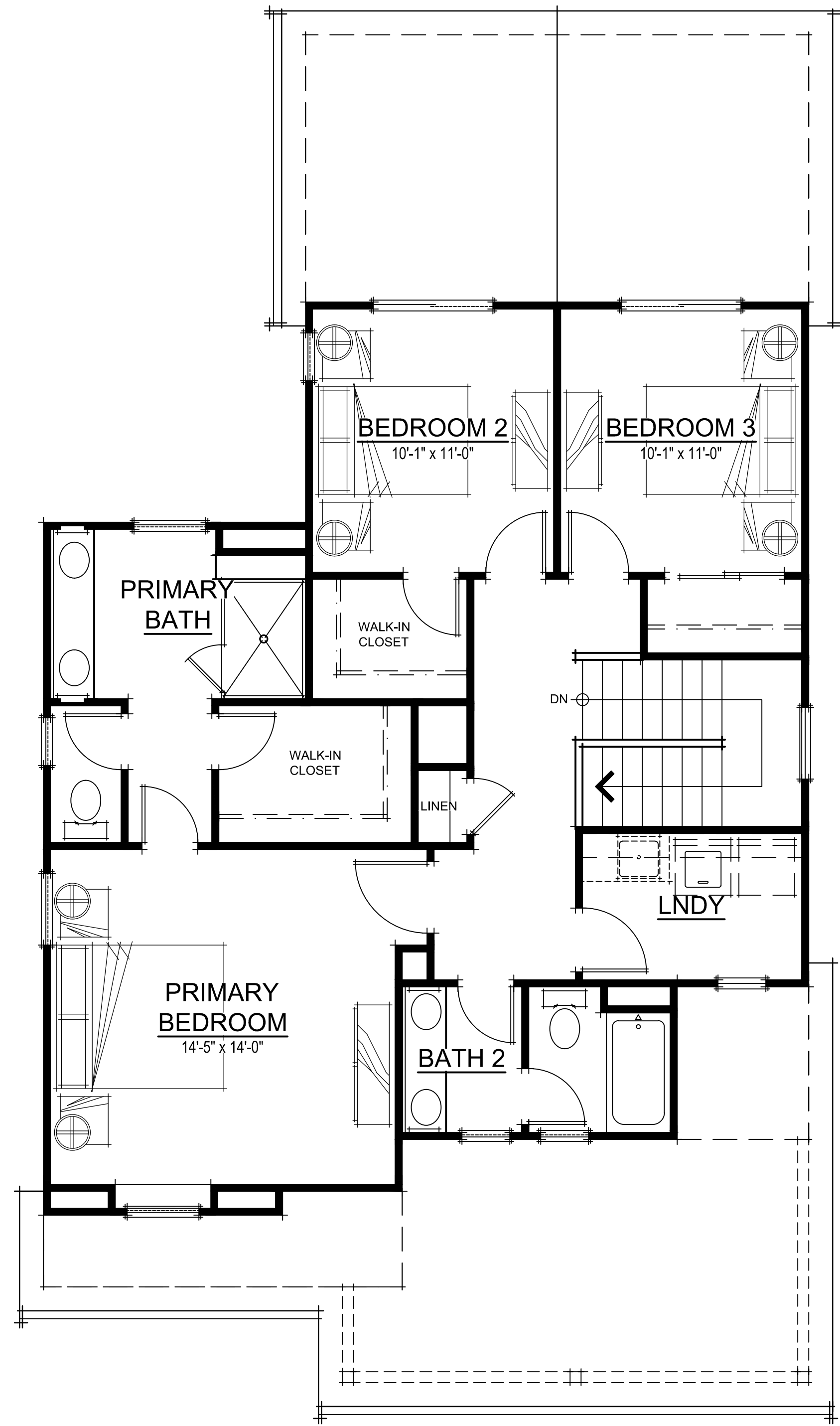


FARMHOUSE LEFT ELEVATION

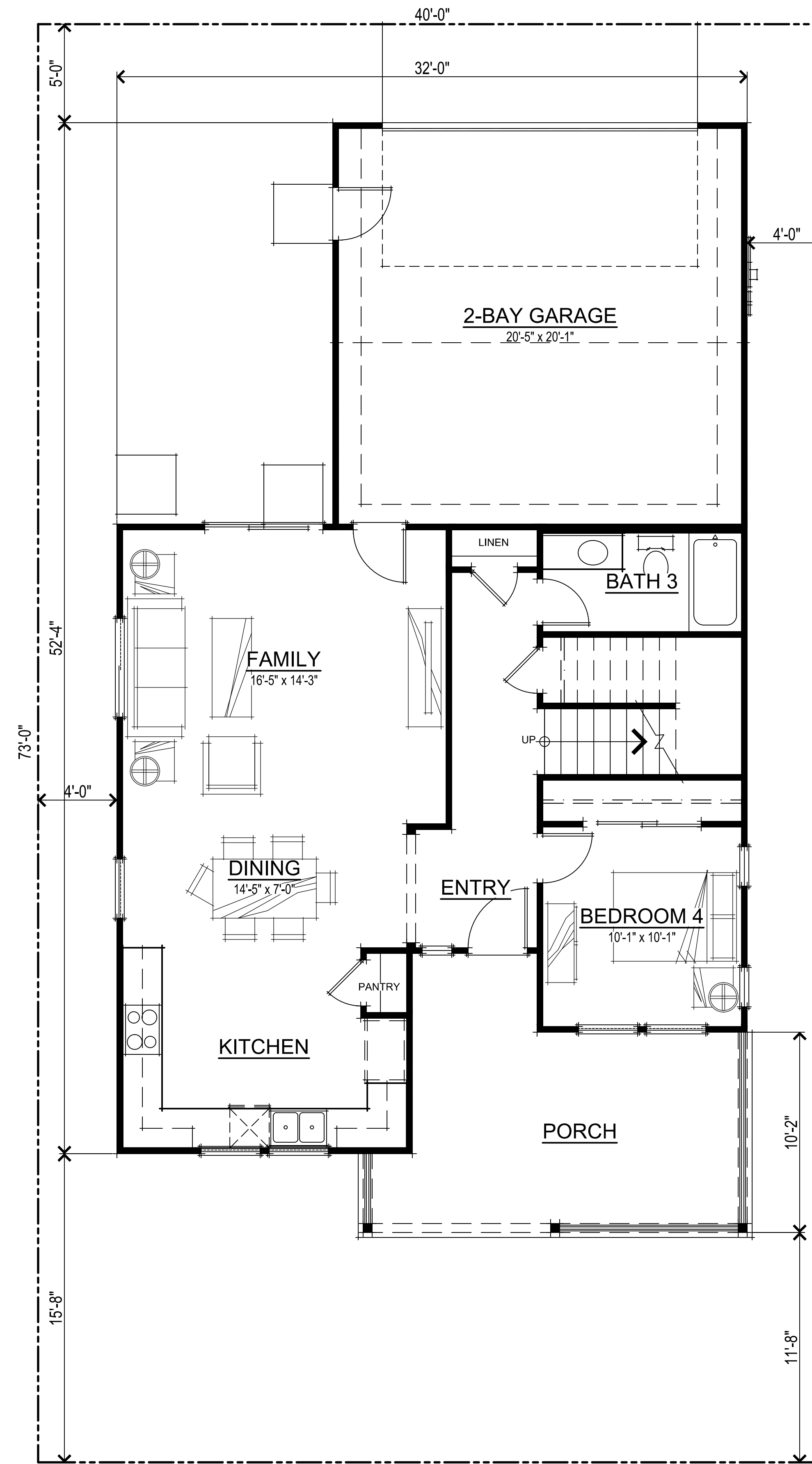


FARMHOUSE FRONT ELEVATION

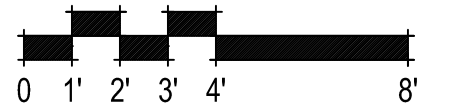




SECOND FLOOR PLAN

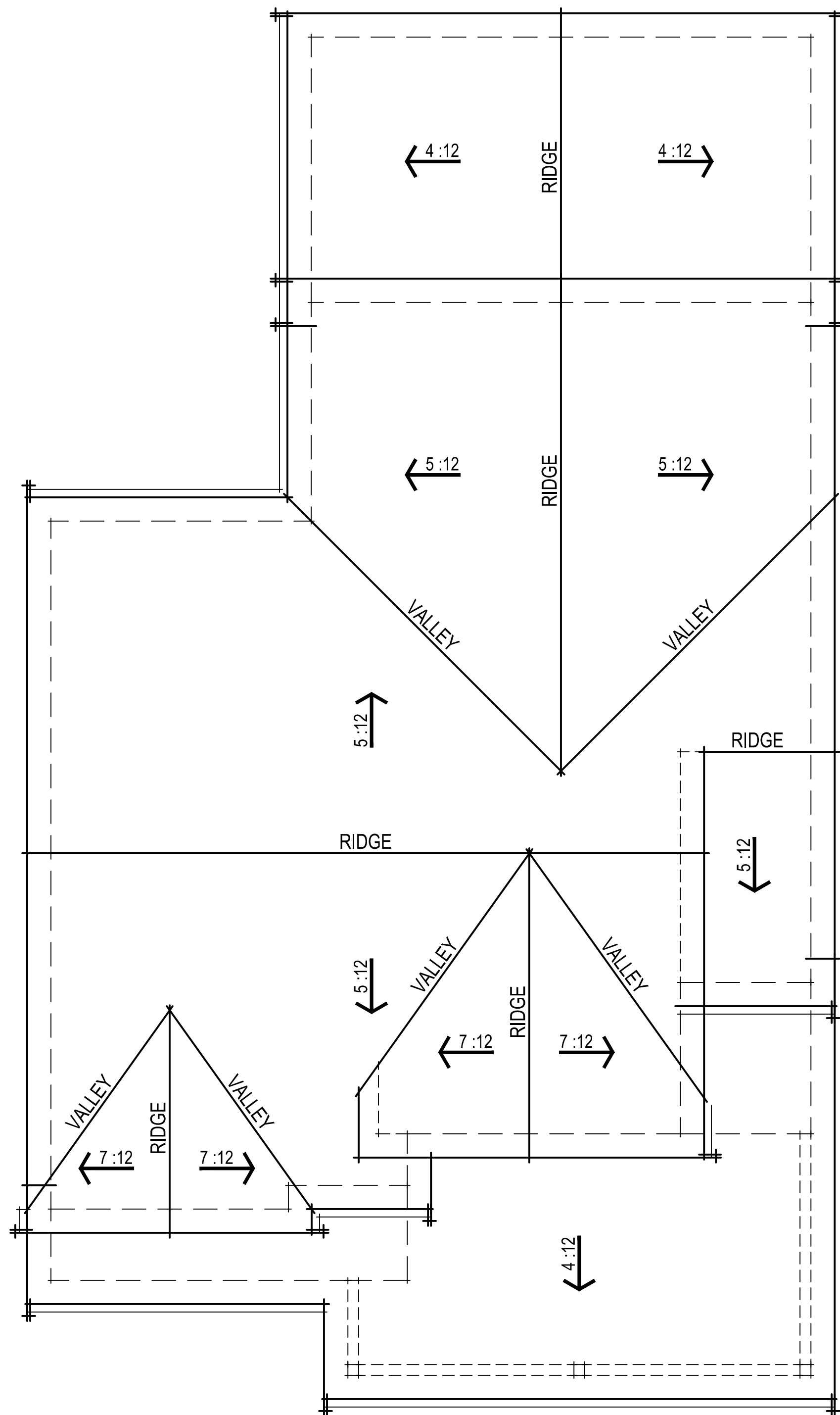


FIRST FLOOR PLAN

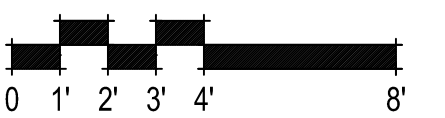


SQUARE FOOTAGES	
FIRST FLOOR	892 SQ. FT.
SECOND FLOOR	956 SQ. FT.
TOTAL LIVING	1848 SQ. FT.
2-BAY GARAGE	429 SQ. FT.

PLAN 1 FARMHOUSE FLOOR PLANS
A09



FARMHOUSE ROOF PLAN



EXTERIOR MATERIALS

SPANISH ELEVATION

- STUCCO WALL FINISH
- STUCCO PORCH
- ARCHED ENTRY
- FOAM WINDOW TRIM
- DECORATIVE SHUTTERS
- CONCRETE S-TILE ROOFING
- DECORATIVE GABLE ACCENT

BUNGALOW ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- STUCCO PORCH COLUMNS w/ STONE VENEER
- DECORATIVE SHUTTERS
- CONCRETE ROOF TILE
- DECORATIVE GABLE ACCENT

FARMHOUSE ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- BOARD AND BATT SIDING
- WOOD WINDOW TRIM
- DECORATIVE SHUTTERS
- ASPHALT COMPOSITION SHINGLE ROOF
- WOOD PORCH POSTS w/ WOOD TRIM



SPANISH



FARMHOUSE



BUNGALOW





SPANISH REAR ELEVATION



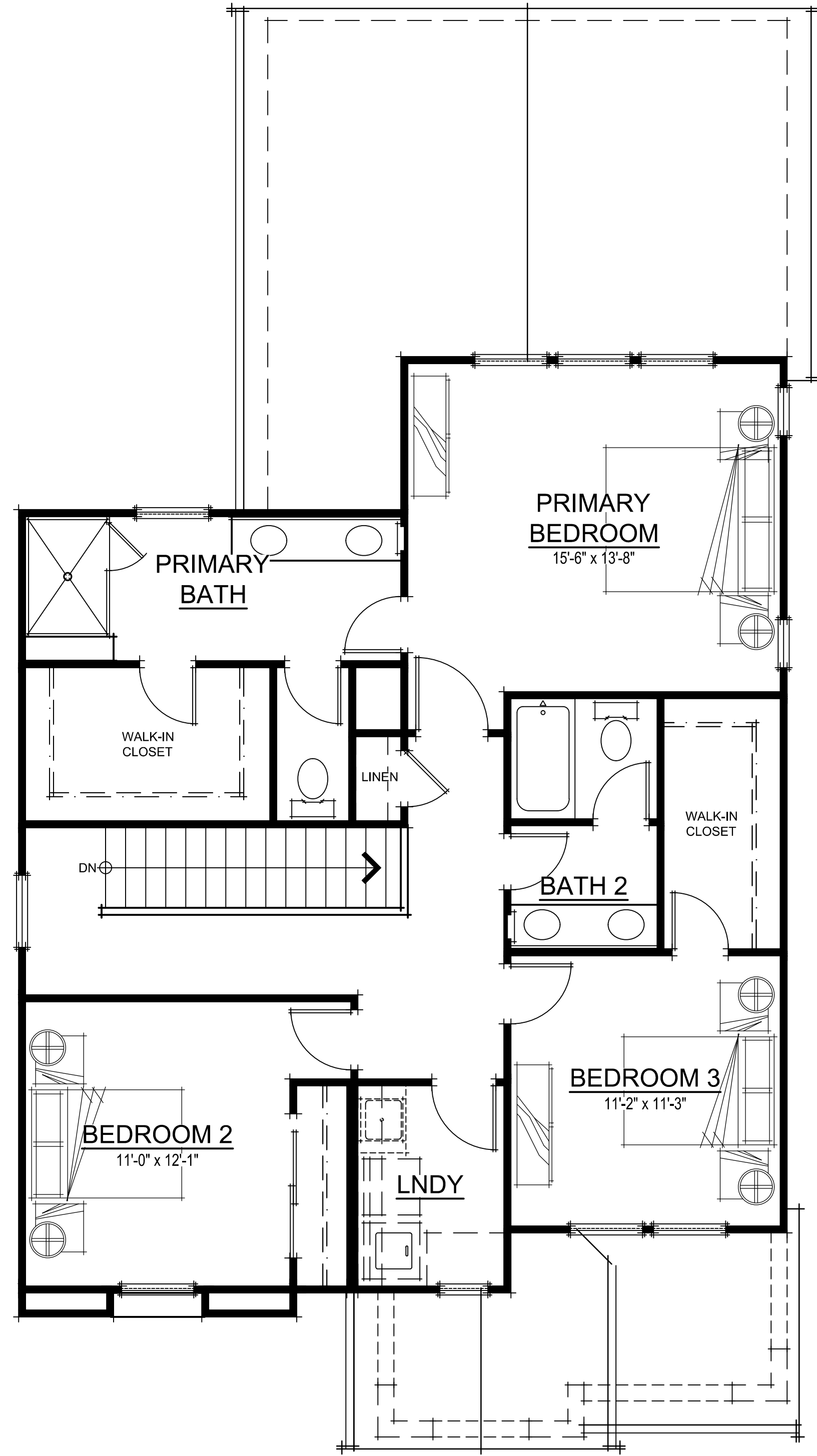
SPANISH RIGHT ELEVATION



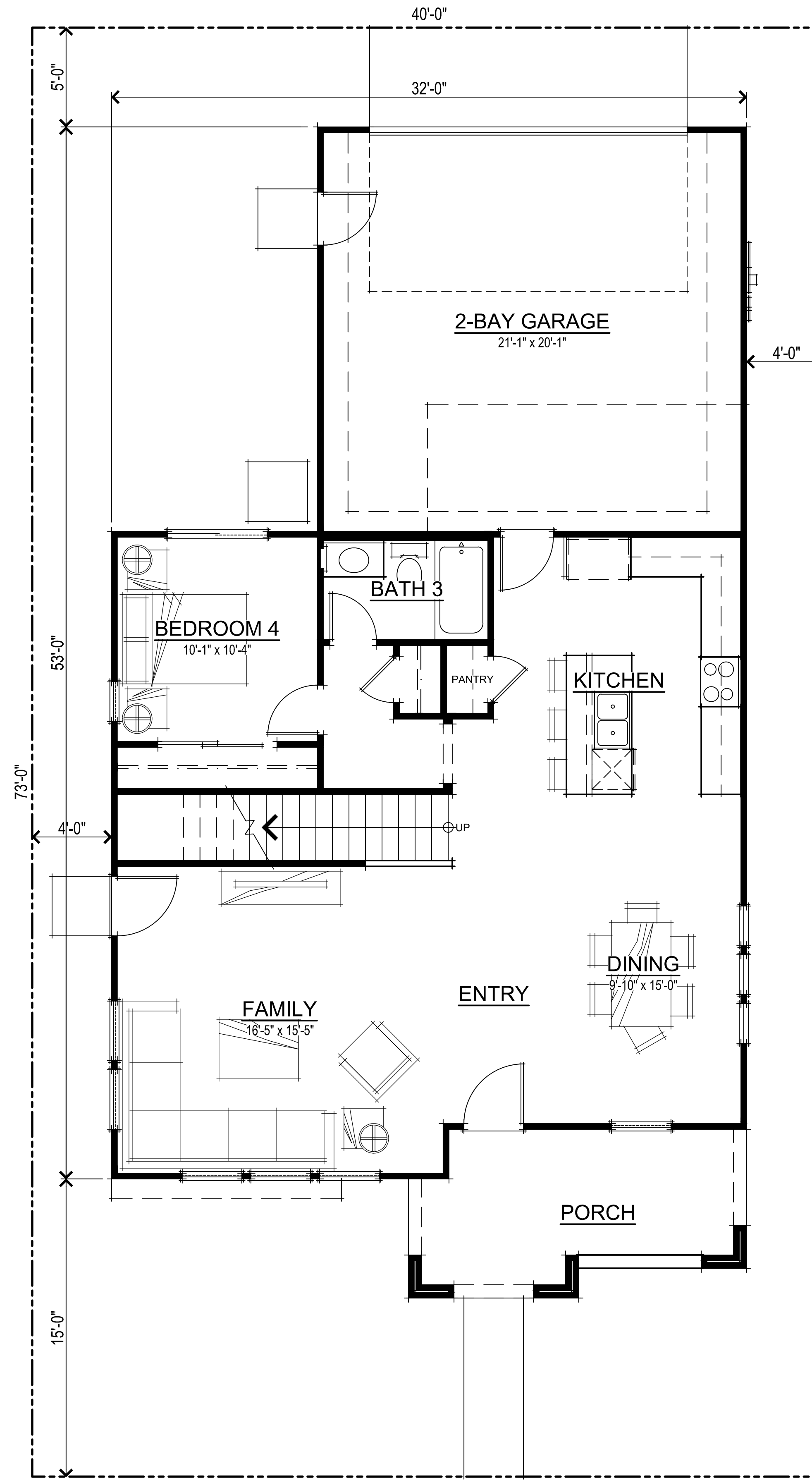
SPANISH LEFT ELEVATION



SPANISH FRONT ELEVATION

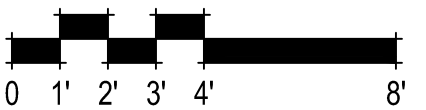


SECOND FLOOR PLAN

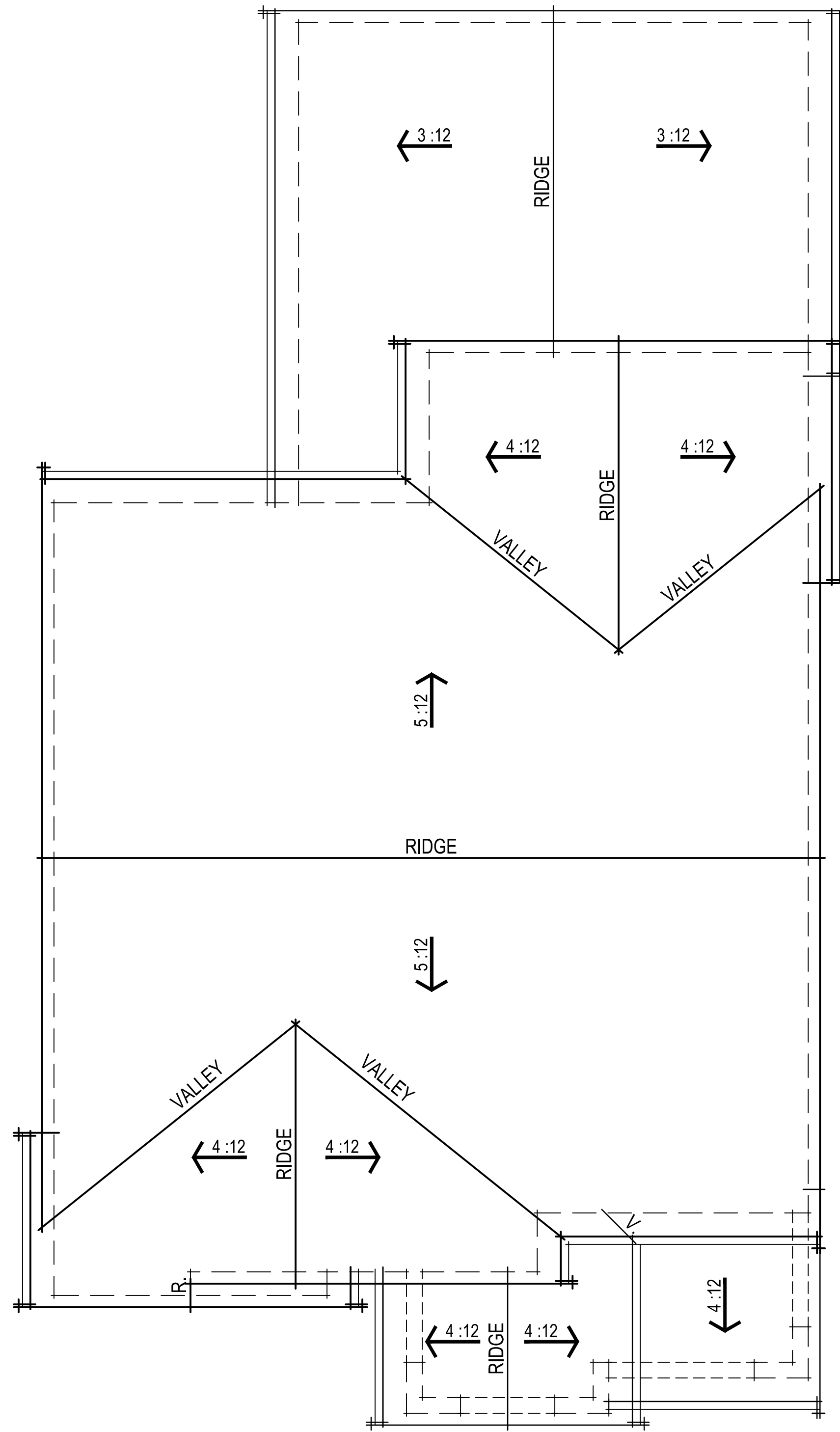


FIRST FLOOR PLAN

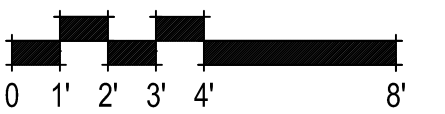
PLAN 2 SQUARE FOOTAGES	
FIRST FLOOR	1006 SQ. FT.
SECOND FLOOR	1077 SQ. FT.
TOTAL LIVING	2083 SQ. FT.
2-BAY GARAGE	441 SQ. FT.



PLAN 2 SPANISH FLOOR PLANS
A13



SPANISH ROOF PLAN





BUNGALOW REAR ELEVATION



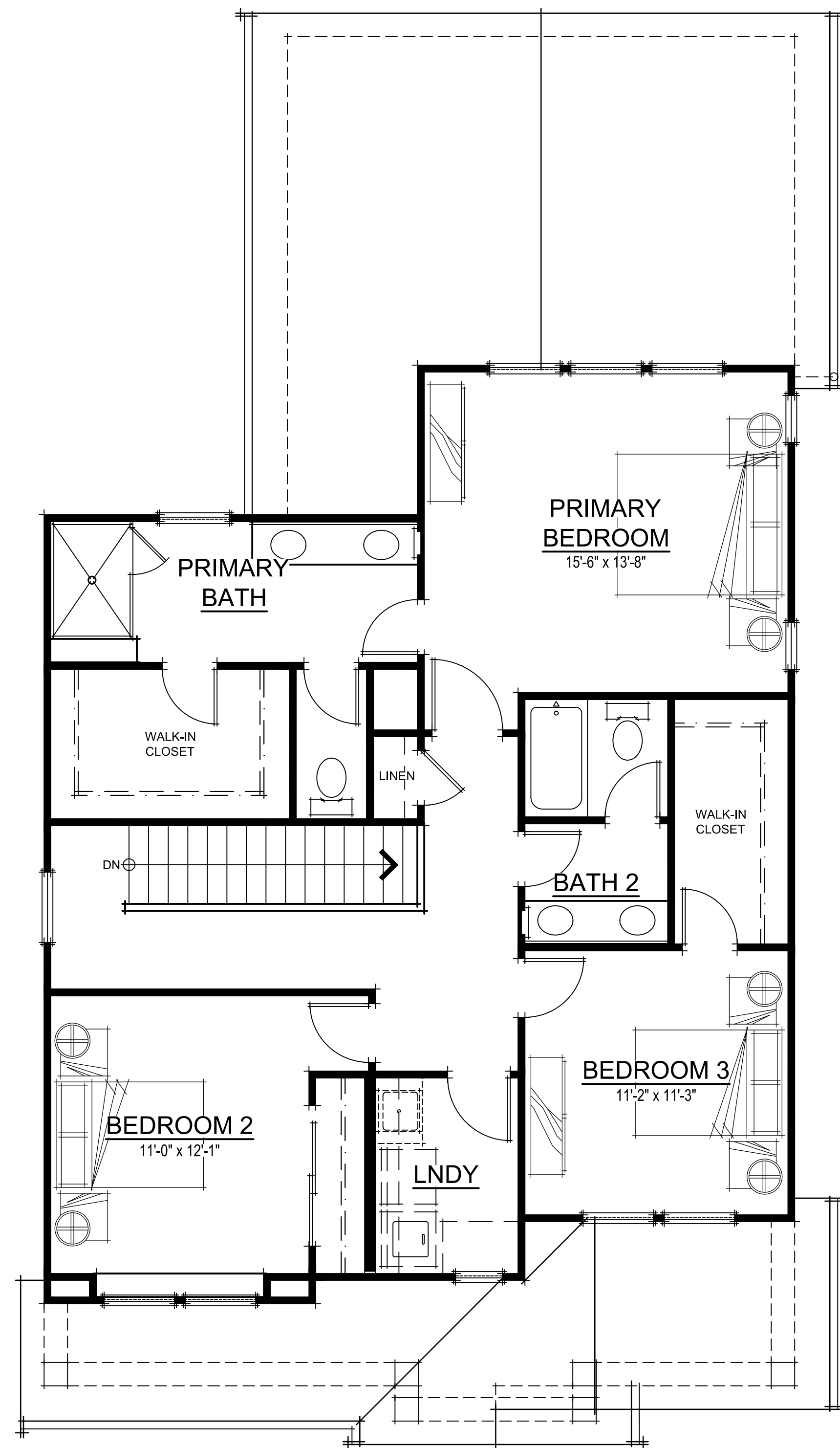
BUNGALOW RIGHT ELEVATION



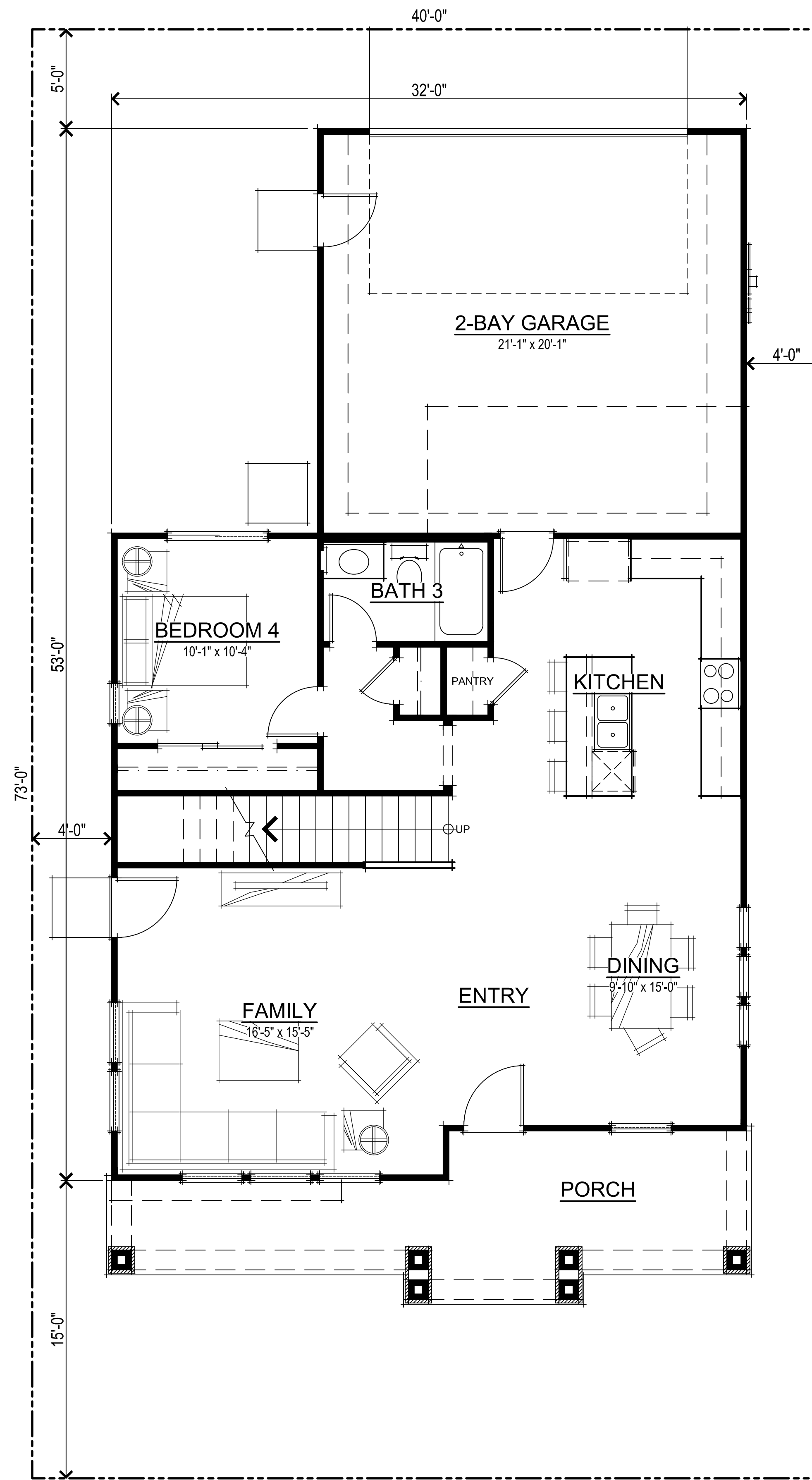
BUNGALOW LEFT ELEVATION



BUNGALOW FRONT ELEVATION

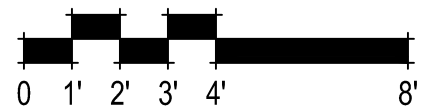


SECOND FLOOR PLAN

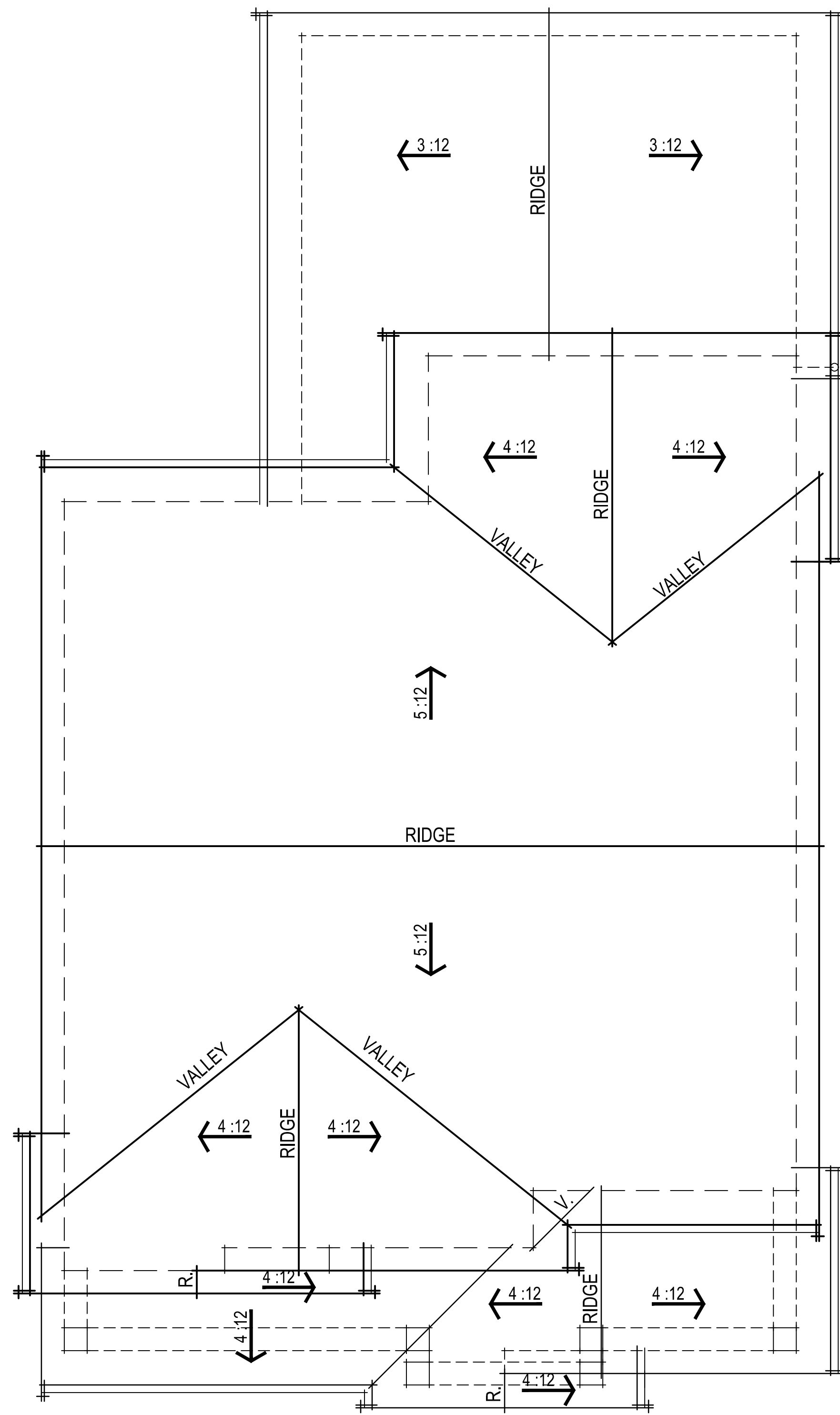


FIRST FLOOR PLAN

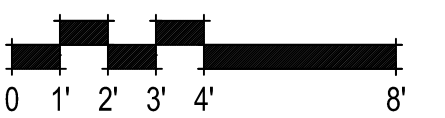
PLAN 2 SQUARE FOOTAGES	
FIRST FLOOR	1006 SQ. FT.
SECOND FLOOR	1077 SQ. FT.
TOTAL LIVING	2083 SQ. FT.
2-BAY GARAGE	441 SQ. FT.



PLAN 2 BUNGALOW FLOOR PLANS
A16



BUNGALOW ROOF PLAN





FARMHOUSE REAR ELEVATION



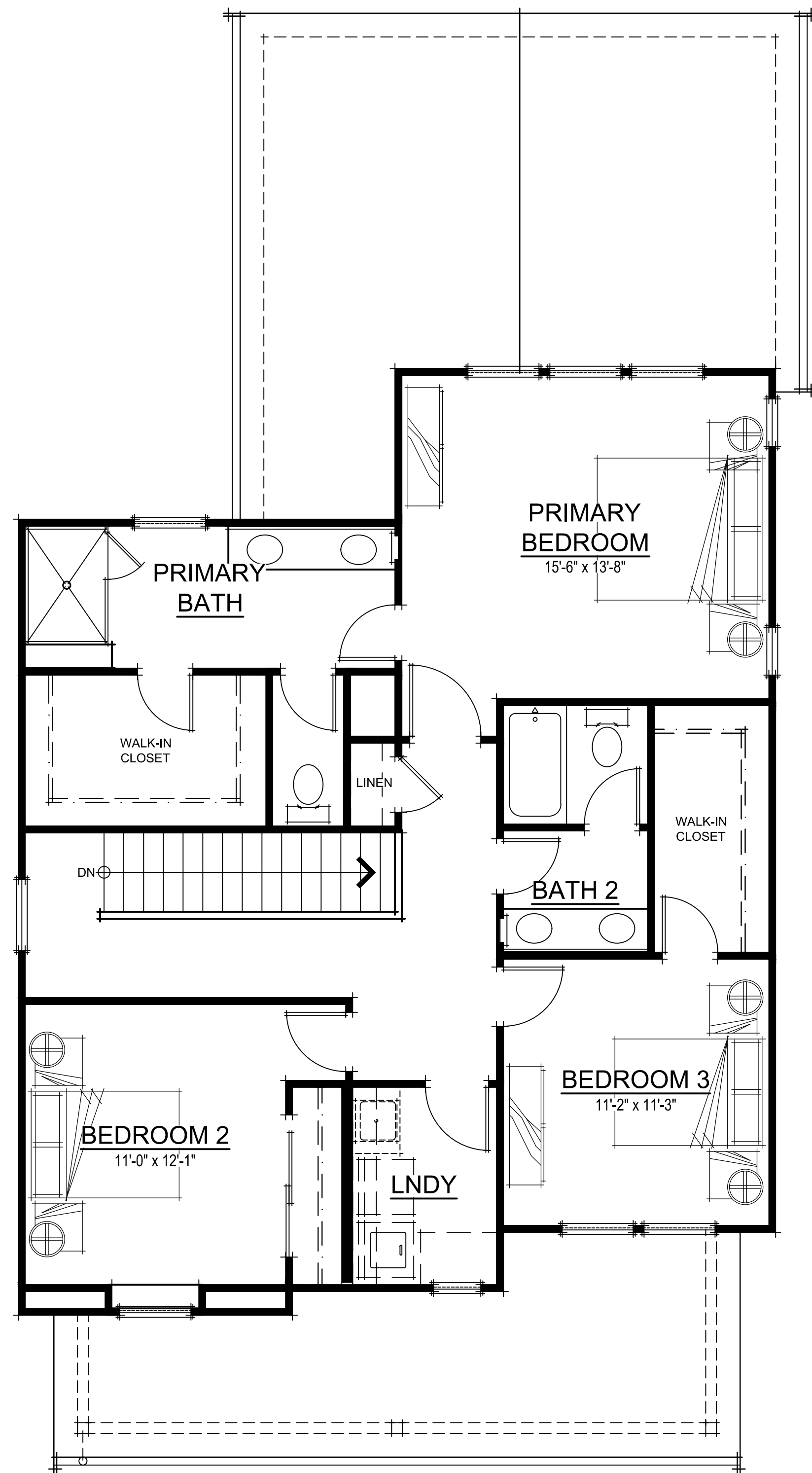
FARMHOUSE RIGHT ELEVATION



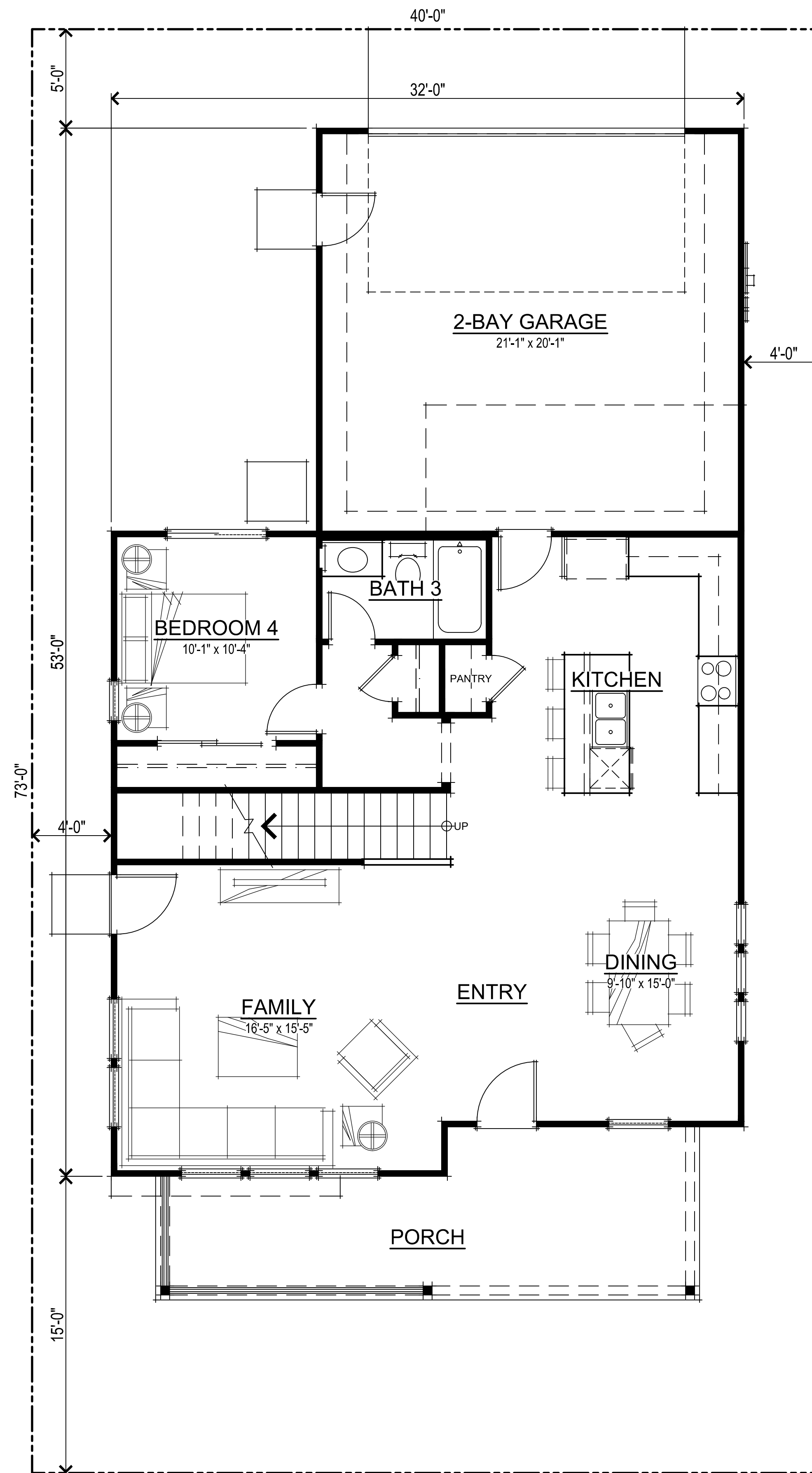
FARMHOUSE LEFT ELEVATION



FARMHOUSE FRONT ELEVATION

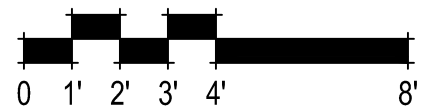


SECOND FLOOR PLAN

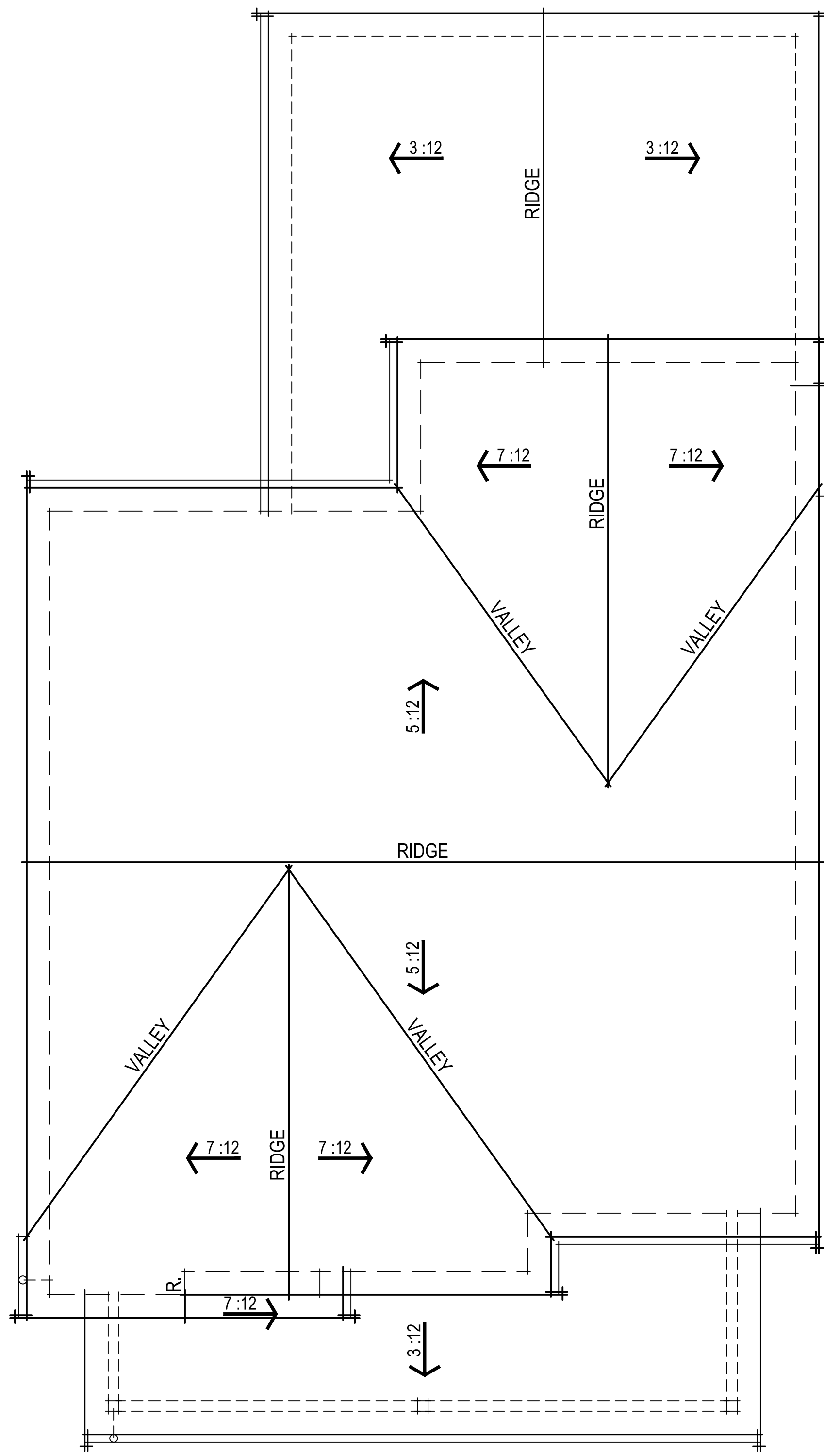


FIRST FLOOR PLAN

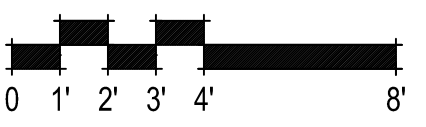
PLAN 2 SQUARE FOOTAGES	
FIRST FLOOR	1006 SQ. FT.
SECOND FLOOR	1077 SQ. FT.
TOTAL LIVING	2083 SQ. FT.
2-BAY GARAGE	441 SQ. FT.



PLAN 2 FARMHOUSE FLOOR PLANS
A19



FARMHOUSE ROOF PLAN



EXTERIOR MATERIALS

SPANISH ELEVATION

- STUCCO WALL FINISH
- STUCCO PORCH
- ARCHED ENTRY
- FOAM WINDOW TRIM
- DECORATIVE SHUTTERS
- CONCRETE S-TILE ROOFING
- DECORATIVE GABLE ACCENT

BUNGALOW ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- STUCCO PORCH COLUMNS w/ STONE VENEER
- DECORATIVE SHUTTERS
- CONCRETE ROOF TILE
- DECORATIVE GABLE ACCENT

FARMHOUSE ELEVATION

- STUCCO WALL FINISH
- STUCCO w/ FOAM WINDOW TRIM
- BOARD AND BATT SIDING
- WOOD WINDOW TRIM
- DECORATIVE SHUTTERS
- ASPHALT COMPOSITION SHINGLE ROOF
- WOOD PORCH POSTS w/ WOOD TRIM



SPANISH



FARMHOUSE



BUNGALOW





SPANISH REAR ELEVATION



SPANISH RIGHT ELEVATION



SPANISH LEFT ELEVATION

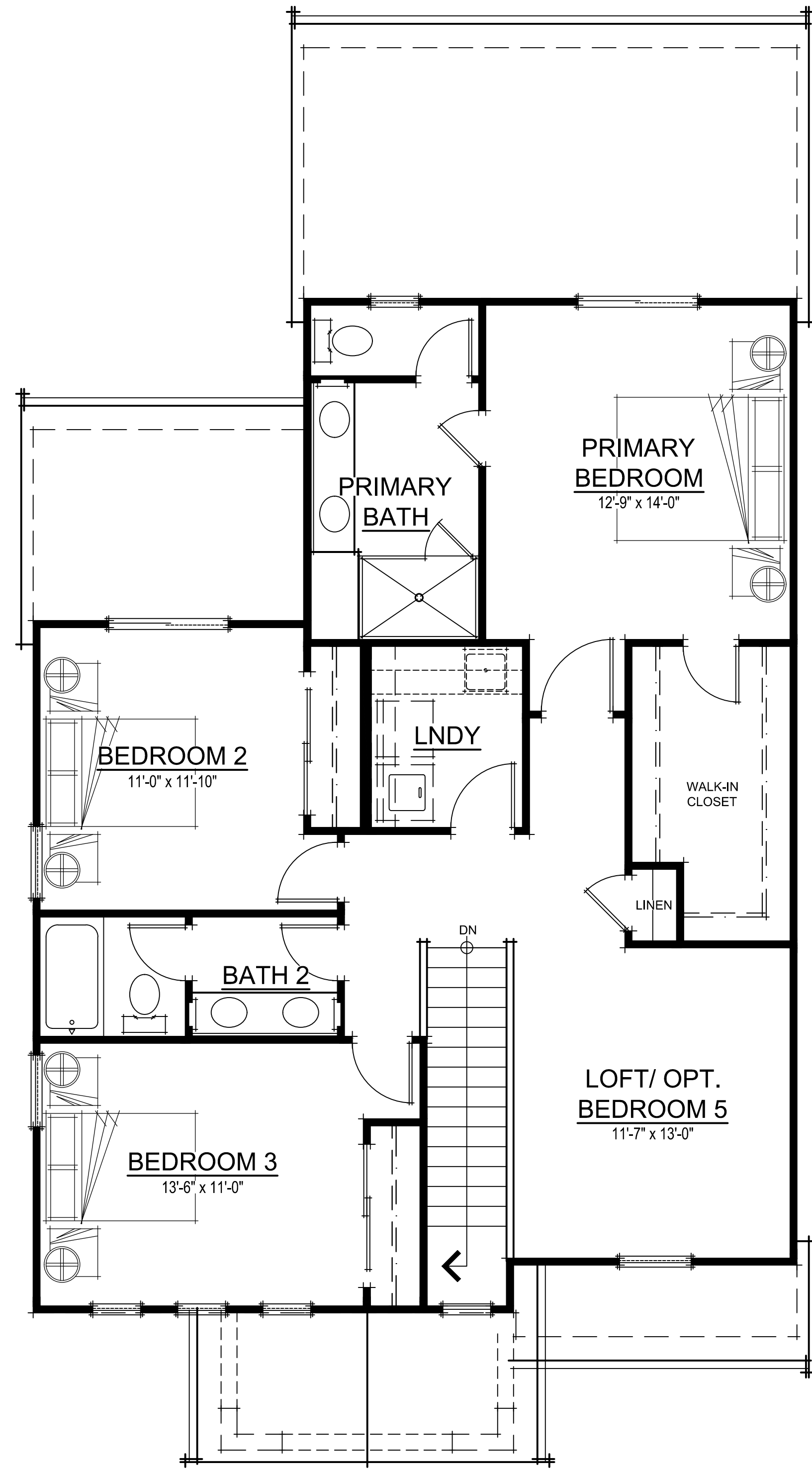


SPANISH FRONT ELEVATION

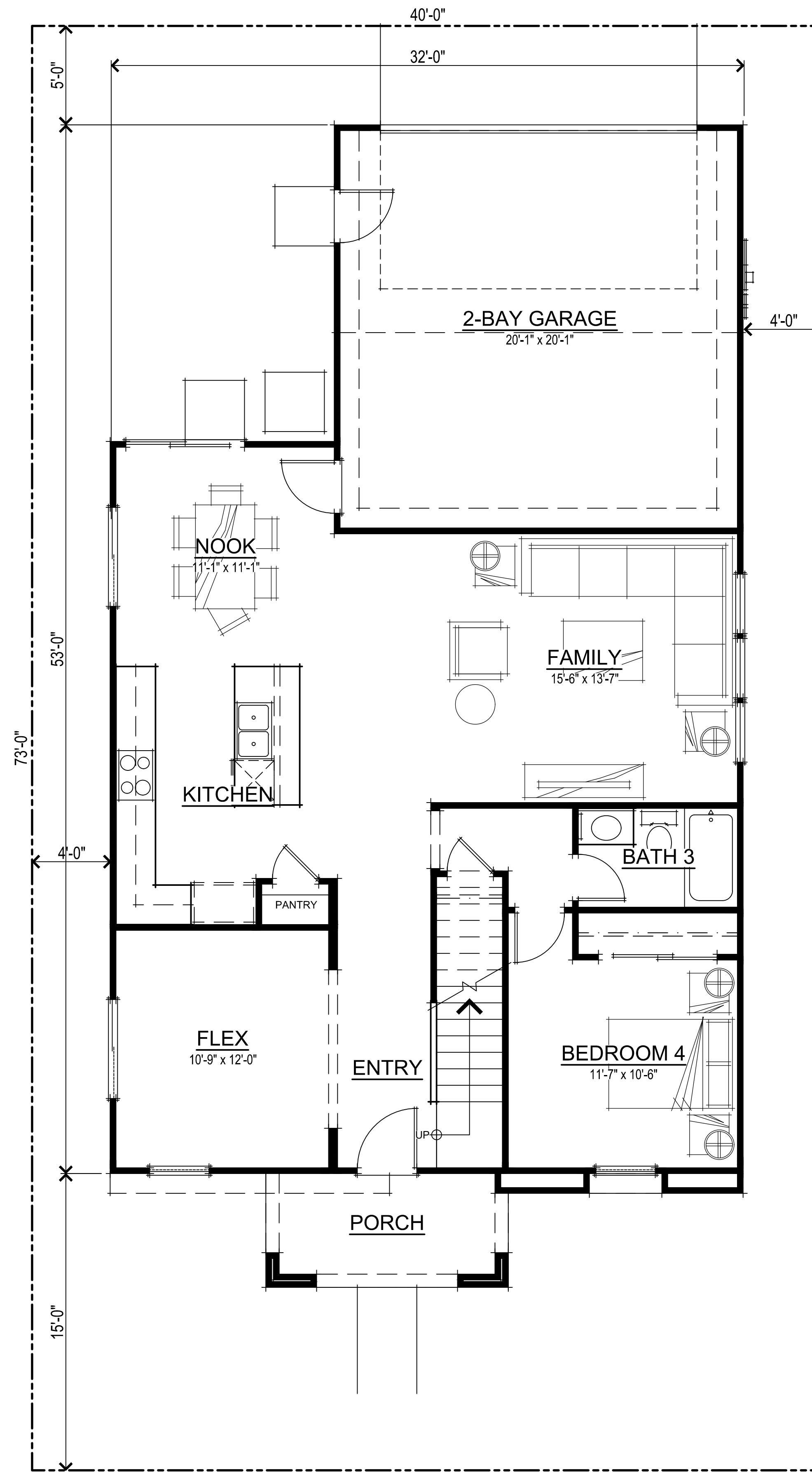
26'-9"

26'-9"



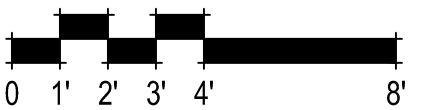


SECOND FLOOR PLAN

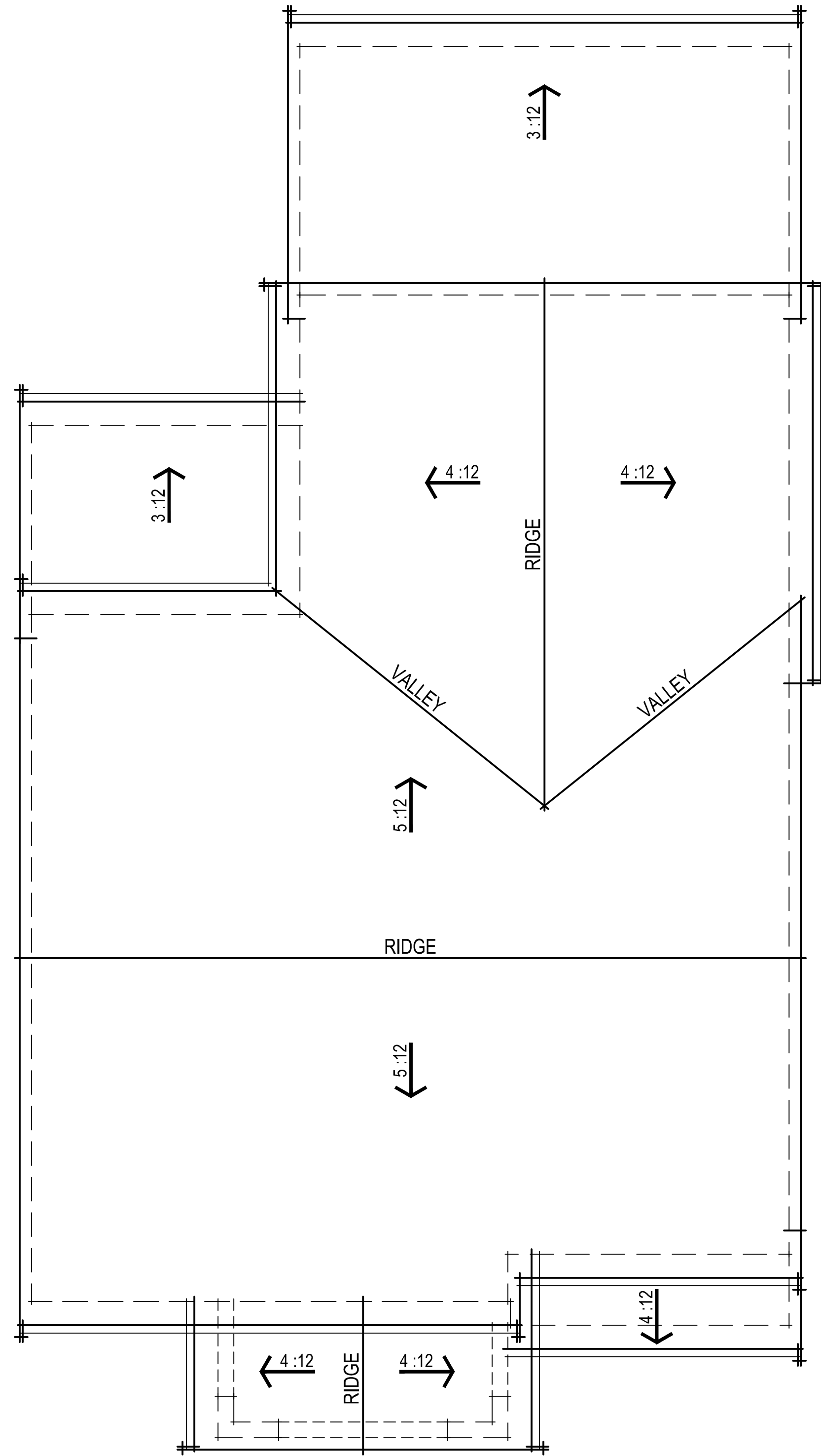


FIRST FLOOR PLAN

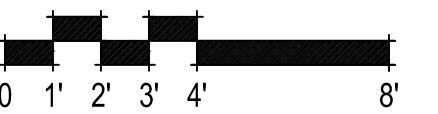
PLAN 3 SQUARE FOOTAGES	
FIRST FLOOR	1095 SQ. FT.
SECOND FLOOR	1141 SQ. FT.
TOTAL LIVING	2236 SQ. FT.
2-BAY GARAGE	420 SQ. FT.



PLAN 3 SPANISH FLOOR PLANS
A23



SPANISH ROOF PLAN





BUNGALOW REAR ELEVATION



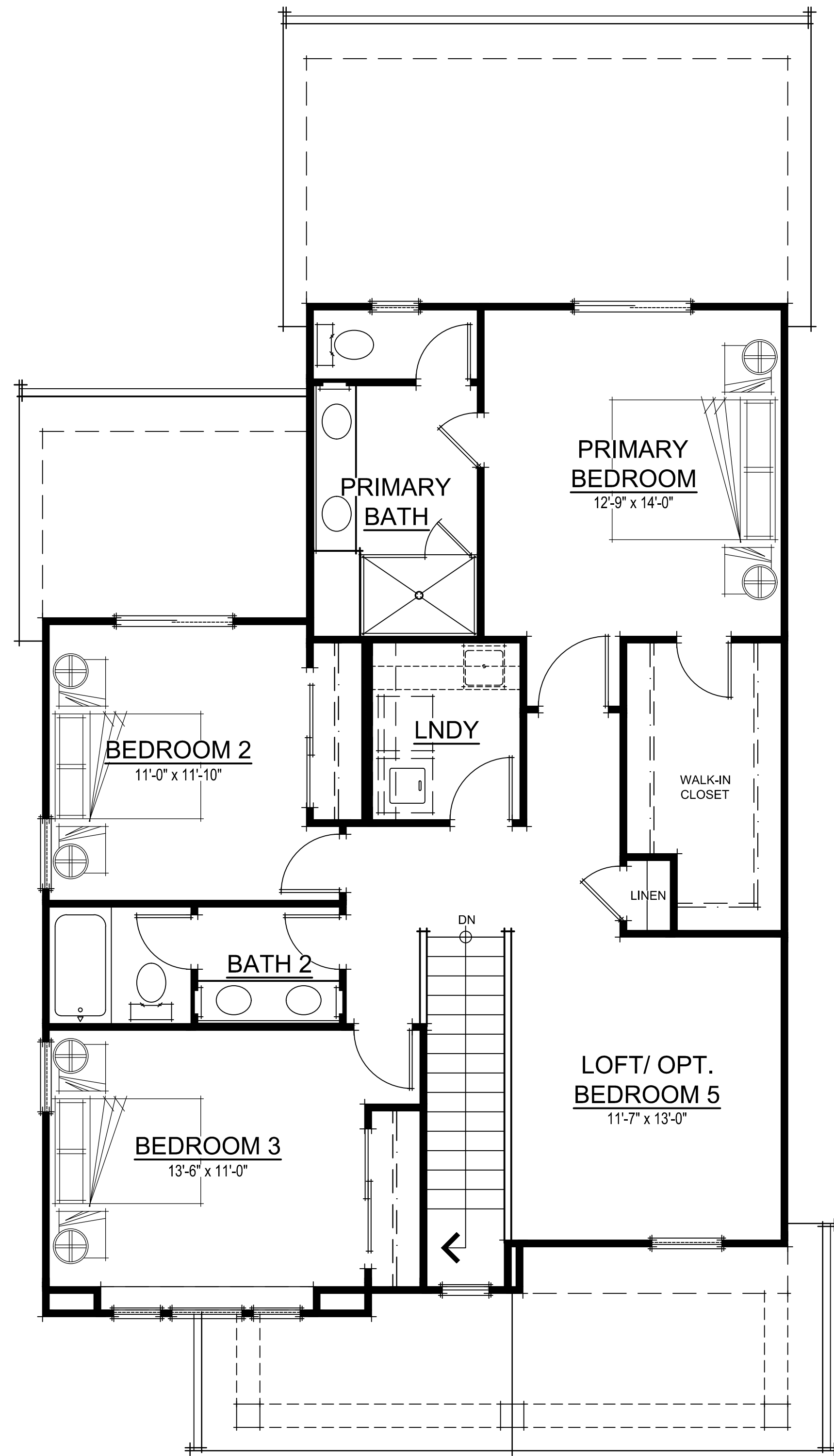
BUNGALOW RIGHT ELEVATION



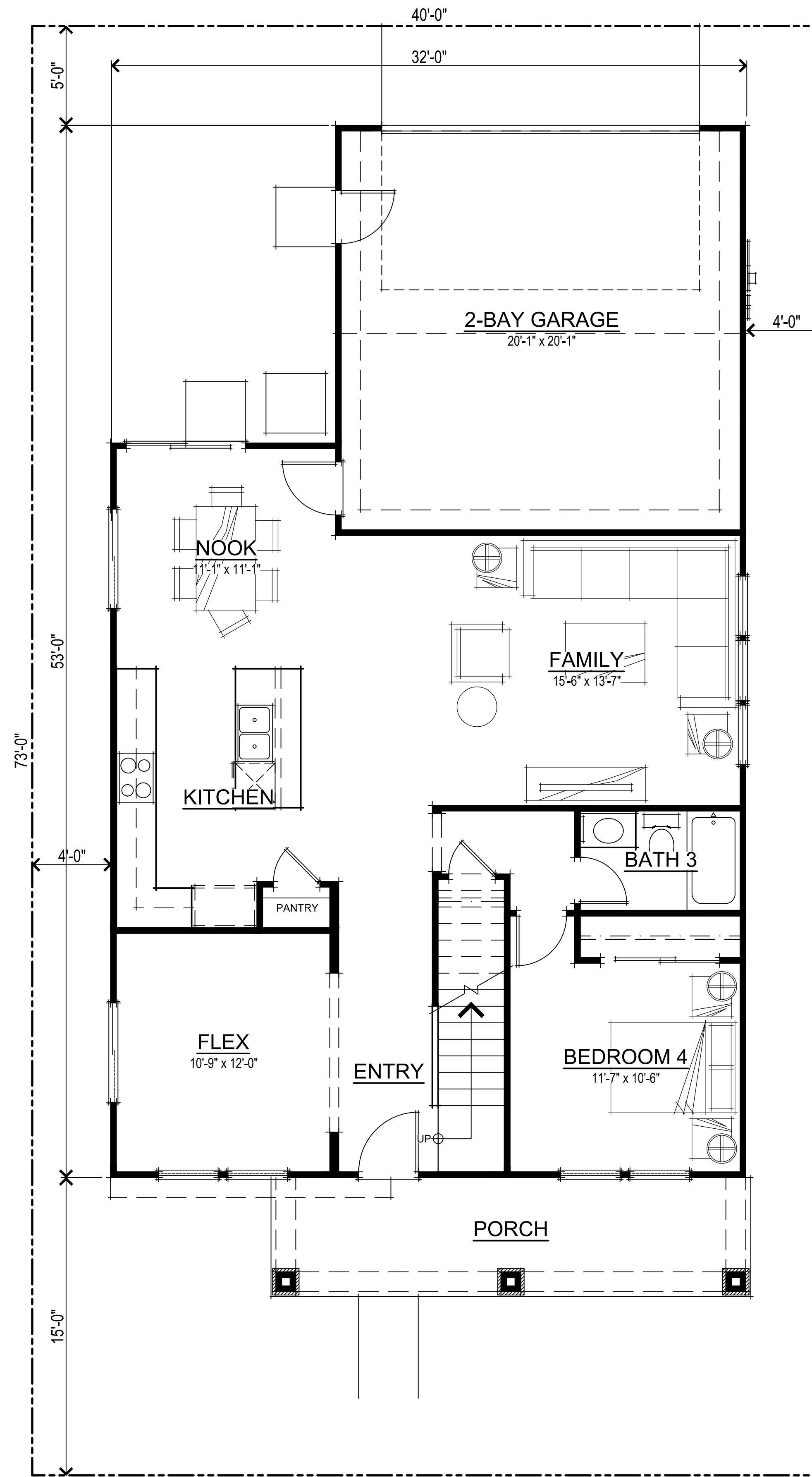
BUNGALOW LEFT ELEVATION



BUNGALOW FRONT ELEVATION

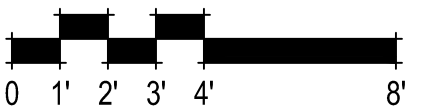


SECOND FLOOR PLAN



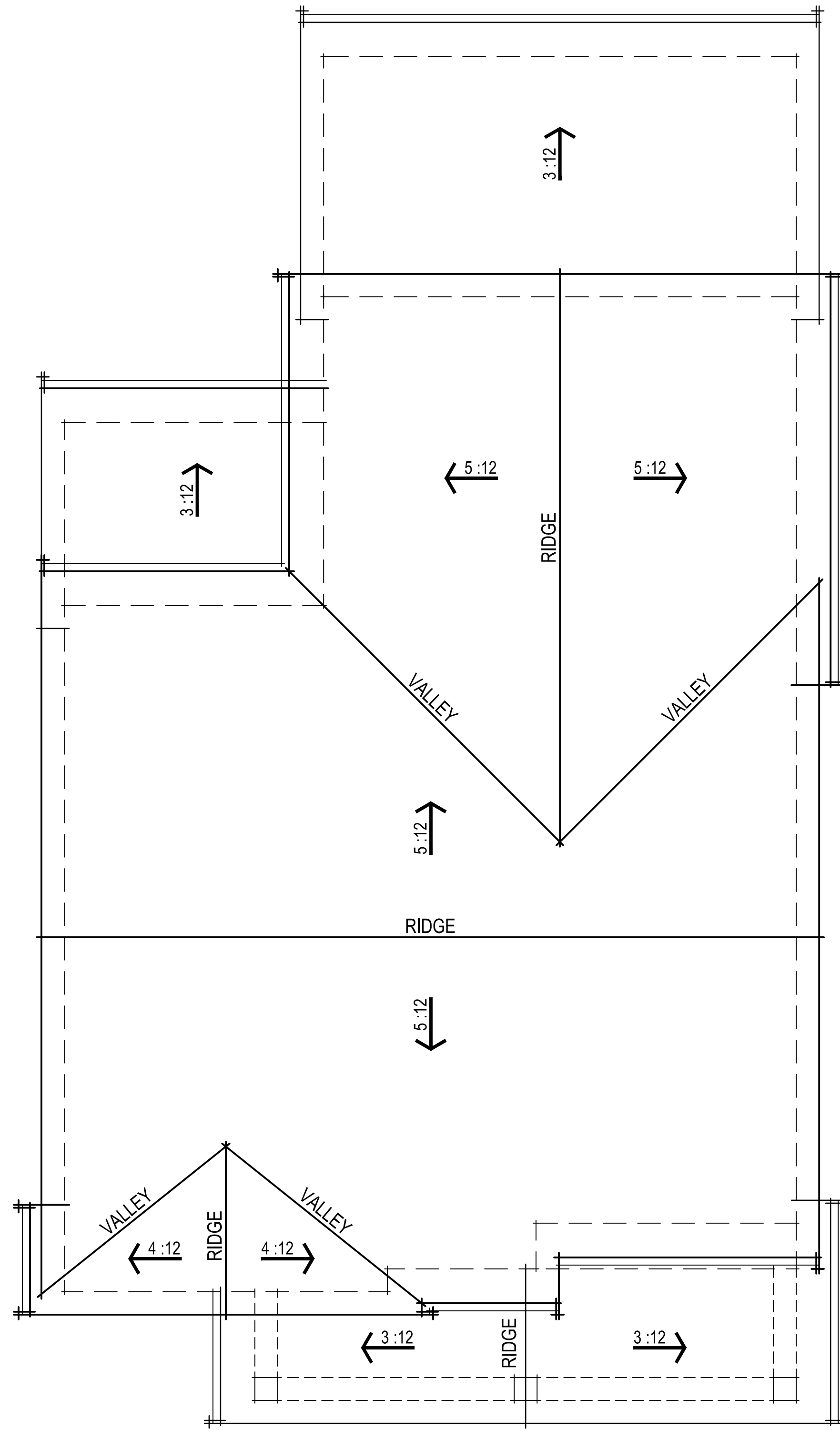
FIRST FLOOR PLAN

PLAN 3 SQUARE FOOTAGES	
FIRST FLOOR	1095 SQ. FT.
SECOND FLOOR	1141 SQ. FT.
TOTAL LIVING	2236 SQ. FT.
2-BAY GARAGE	420 SQ. FT.

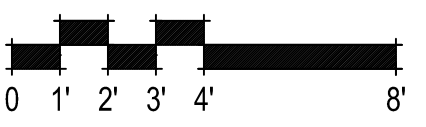


PLAN 3 BUNGALOW FLOOR PLANS
A26





BUNGALOW ROOF PLAN





FARMHOUSE REAR ELEVATION



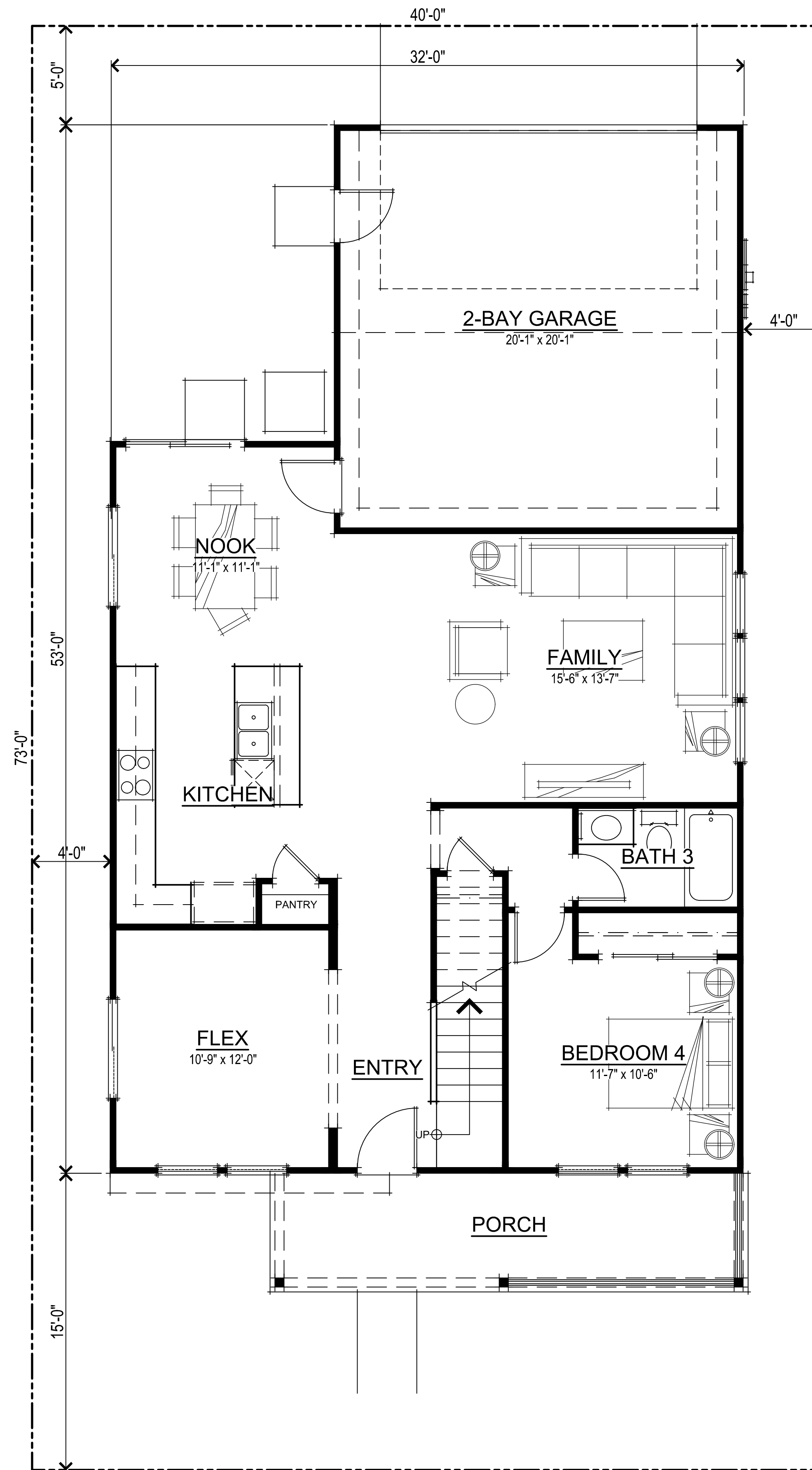
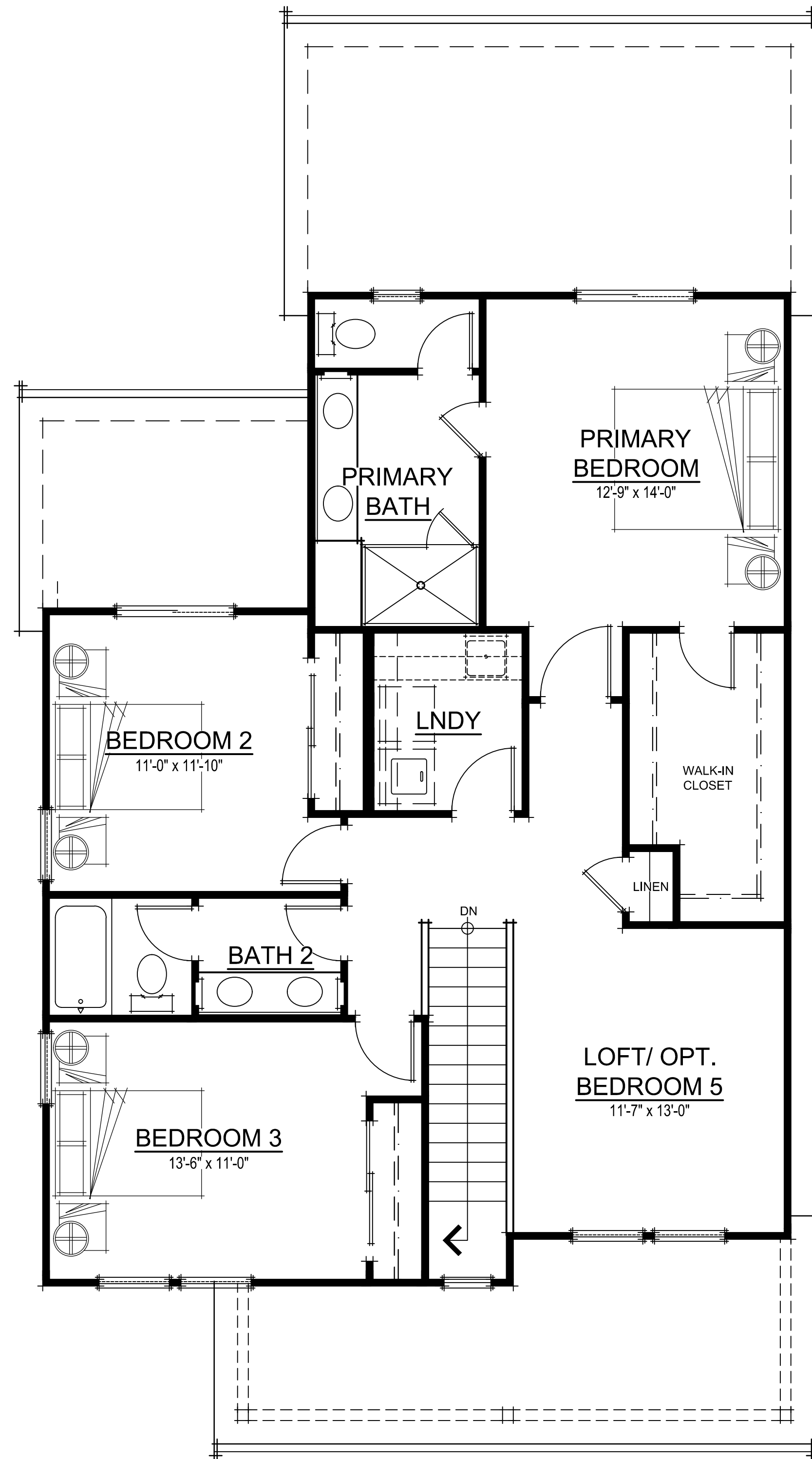
FARMHOUSE RIGHT ELEVATION



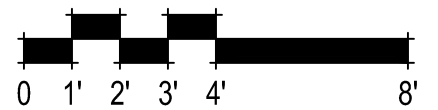
FARMHOUSE LEFT ELEVATION

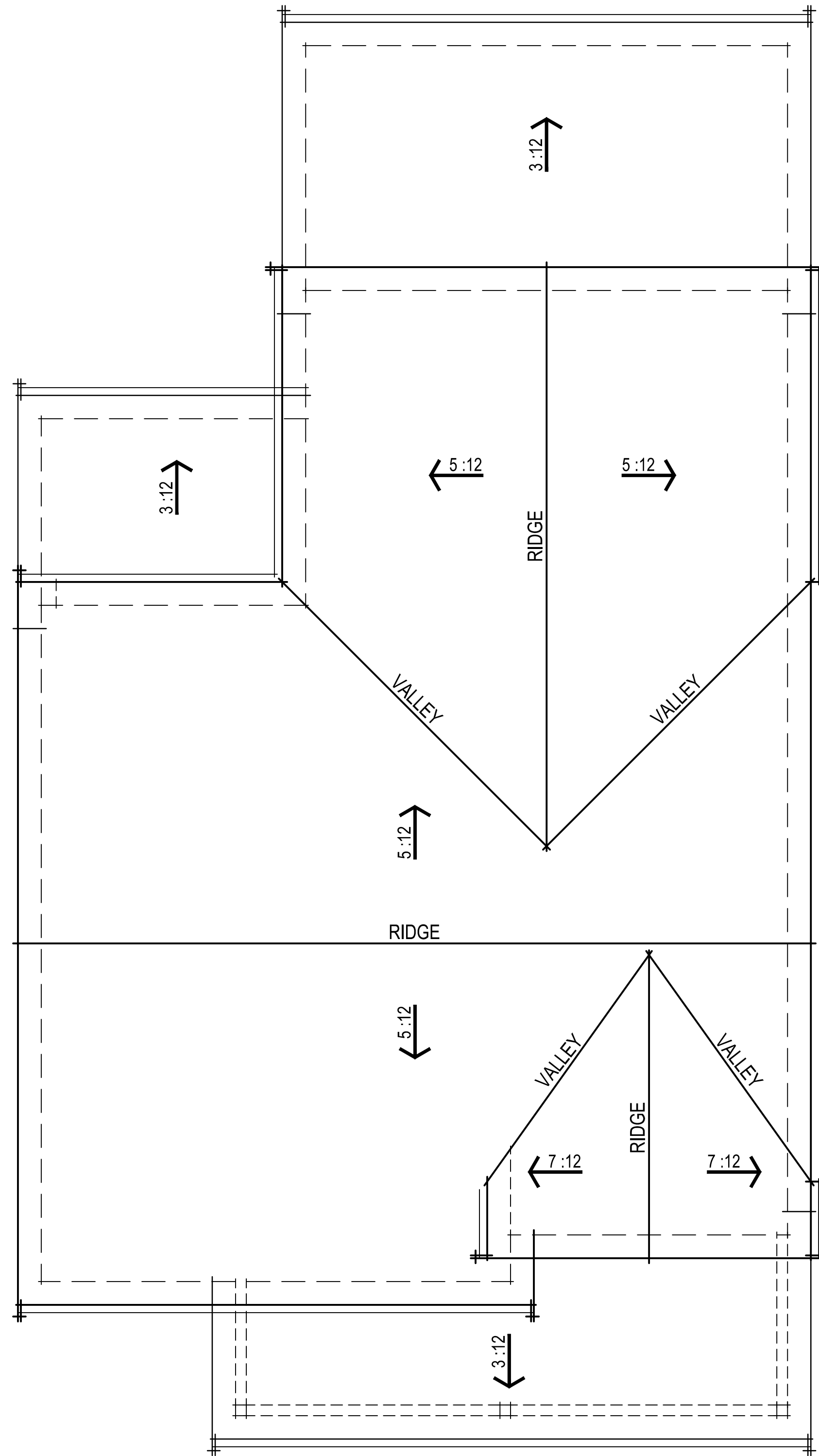


FARMHOUSE FRONT ELEVATION

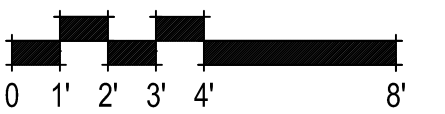


PLAN 3 SQUARE FOOTAGES	
FIRST FLOOR	1095 SQ. FT.
SECOND FLOOR	1141 SQ. FT.
TOTAL LIVING	2236 SQ. FT.
2-BAY GARAGE	420 SQ. FT.





FARMHOUSE ROOF PLAN

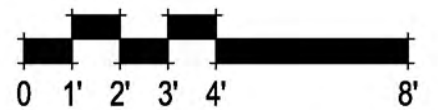




BUNGALOW LEFT ELEVATION



SPANISH LEFT ELEVATION



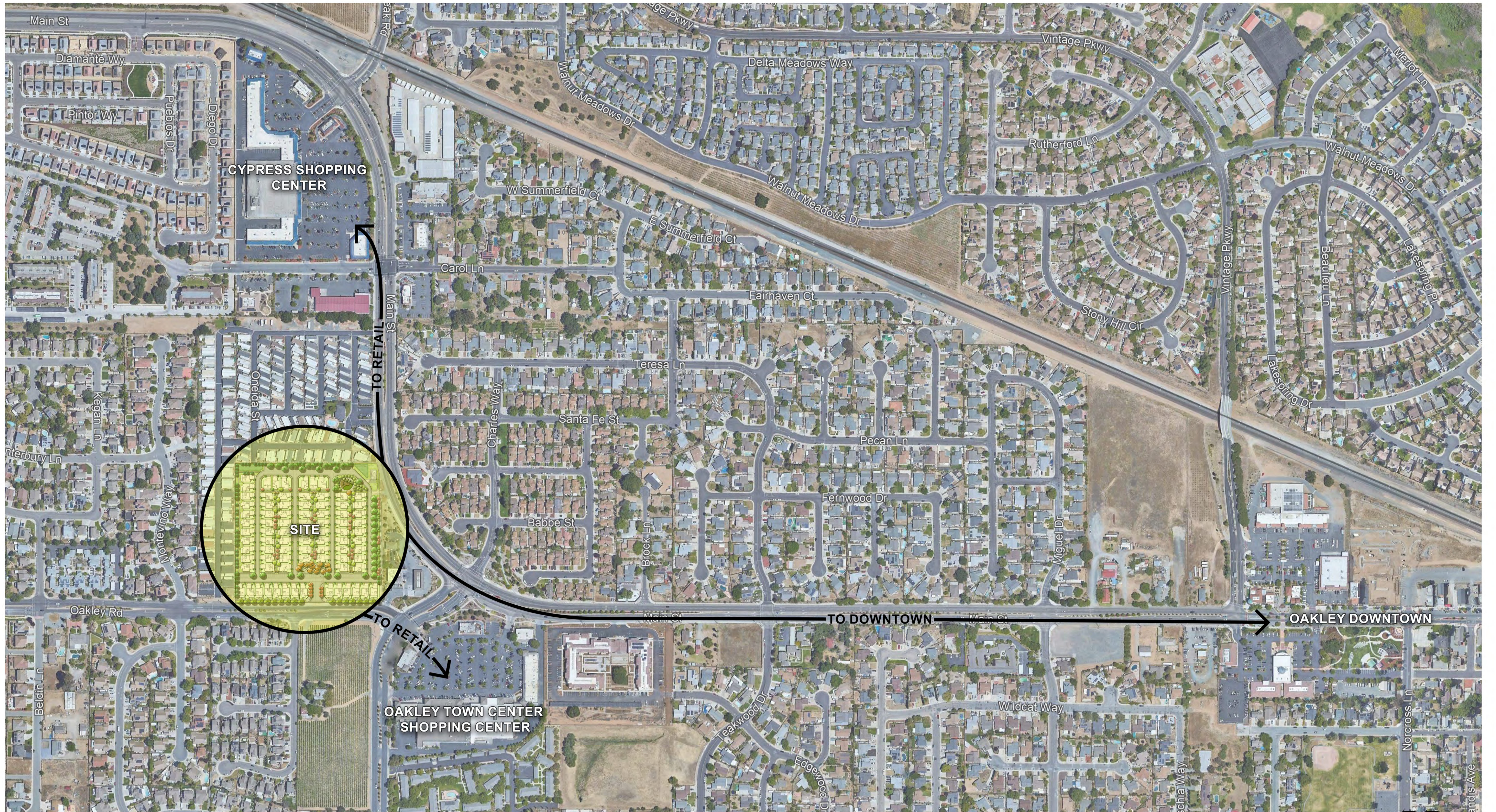


FARMHOUSE LEFT ELEVATION

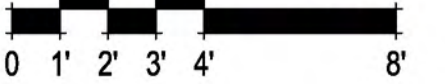


SPANISH LEFT ELEVATION





399.203 The Village at 2092 Oakley Road
 Oakley, CA
 February 28, 2024



SITE ACCESS EXHIBIT
 A33

COLOR SCHEME 1



Boral Roofing
Barcelona Charcoal Brown Blend



Stucco & Garage Door
SW 7551 Greek Villa (254-C1)



Trim & Fascia
SW 7026 Griffin (241-C6)



Entry Door & Sutters
SW 7020 Black Fox (244-C7)

COLOR SCHEME 2



Boral Roofing
Barcelona California Mission Blend



Stucco & Garage Door
SW 7506 Loggia (248-C2)



Trim & Fascia
SW 7040 Snakehouse (241-C6)



Entry Door & Sutters
SW 9182 Rojo Marron (277-C2)

COLOR SCHEME 3



Boral Roofing
Barcelona Cliffside Blend



Stucco & Garage Door
SW 7008 Alabaster (255-C2)



Trim & Fascia
SW 6080 Utterly Beige (198-C3)



Entry Door & Sutters
SW 2819 Downing Slate (311)

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.



Typical Exterior Lighting

COLOR SCHEME 4



Boral Roofing
Saxony Appalachian Blend



Stucco & Garage Door
SW 7024 Functional Gray (241-C3)



Siding
SW 7025 Backdrop (241-C5)



Trim & Fascia
SW 7634 Pediment (255-C5)

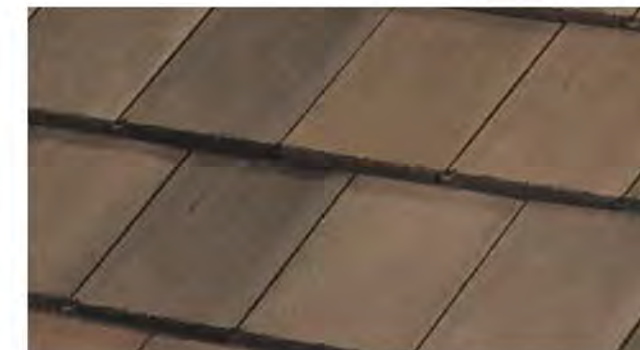


Entry Door & Sutters
SW 6988 Bohemian Black (252-C6)



Cultured Stone by Boral
Umber Creek Alpine Ledgestone

COLOR SCHEME 5



Boral Roofing
Saxony Charcoal Blend



Stucco & Garage Door
SW 7029 Agreeable Gray (243-C1)



Siding
SW 7530 Barcelona Beige (258-C4)



Trim & Fascia
SW 7053 Adaptive Shade (246-C5)

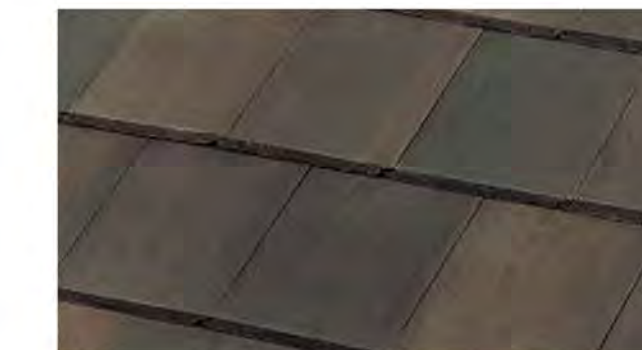


Entry Door & Sutters
SW 7048 Urbane Bronze (245-C7)



Cultured Stone by Boral
Chardonnay Alpine Ledgestone

COLOR SCHEME 6



Boral Roofing
Saxony Saddleback Blend



Stucco & Garage Door
SW 7052 Gray Area (246-C3)



Siding
SW 6202 Cast Iron (216-C7)



Trim & Fascia
SW 9166 Drift of Mist (238-C2)



Entry Door & Sutters
SW 2801 Rockwood Dark Red (309)



Cultured Stone by Boral
Chardonnay Alpine Ledgestone

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.



Typical Exterior Lighting

COLOR SCHEME 7



Certainteed Roofing
Landmark Moire Black



Stucco & Garage Door
SW 7570 Egret White (255-C4)



Siding
SW 7074 Softwave (235-C5)



Trim & Fascia
SW 7005 Pure White (255-C1)



Entry Door & Sutters
SW 7076 Cyberspace (235-C7)

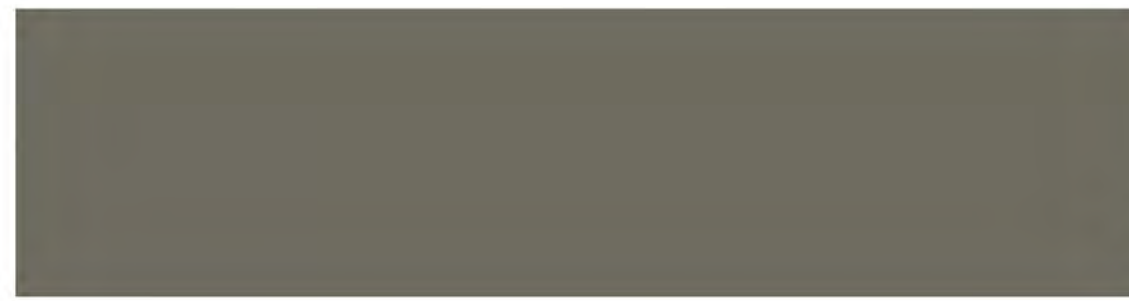
COLOR SCHEME 8



Certainteed Roofing
Landmark Georgetown Gray



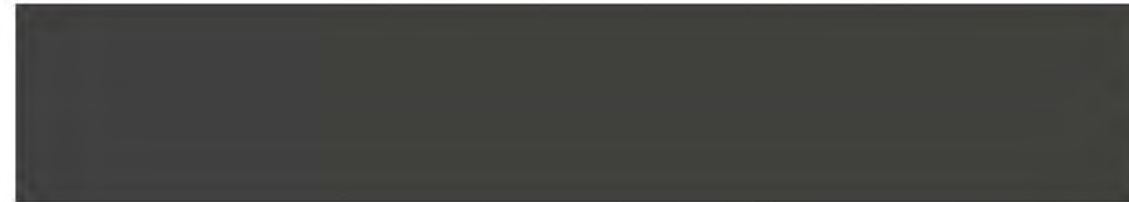
Stucco & Garage Door
SW 7641 Colonade Gray (283-C2)



Siding
SW 6201 Thunderous (216-C6)



Trim & Fascia
SW 7009 Pearly White (254-C2)



Entry Door & Sutters
SW 7069 Iron Ore (251-C7)

COLOR SCHEME 9



Certainteed Roofing
Landmark Weathered Wood



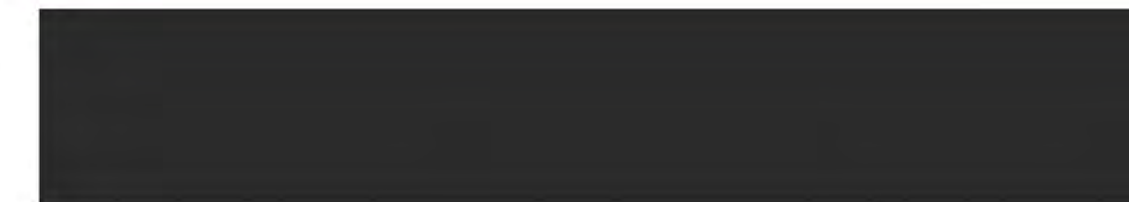
Stucco & Garage Door
SW 9166 Drift of Mist (238-C2)



Siding
SW 7566 Westhighland White (255-C3)



Trim & Fascia
SW 7566 Westhighland White (255-C3)



Entry Door & Sutters
SW 6258 Tricorn Black (251-C1)

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.



Typical Exterior Lighting