

BRIDGEHEAD INDUSTRIAL

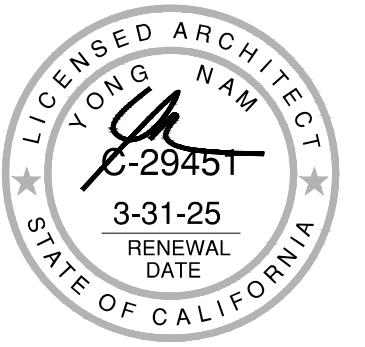
OAKLEY, CA



MAIN STREET
OAKLEY, CALIFORNIA



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94610
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Developer:



1280 Civic Drive, Suite 204
Walnut Creek, CA 94596
Tel: 626-521-9990

Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

Civil : KIER & WRIGHT
Structural :
Mechanical :
Plumbing :
Electrical :
Landscape : YAMASAKI
Fire Protection :
Soils Engineer : CORNERSTONE

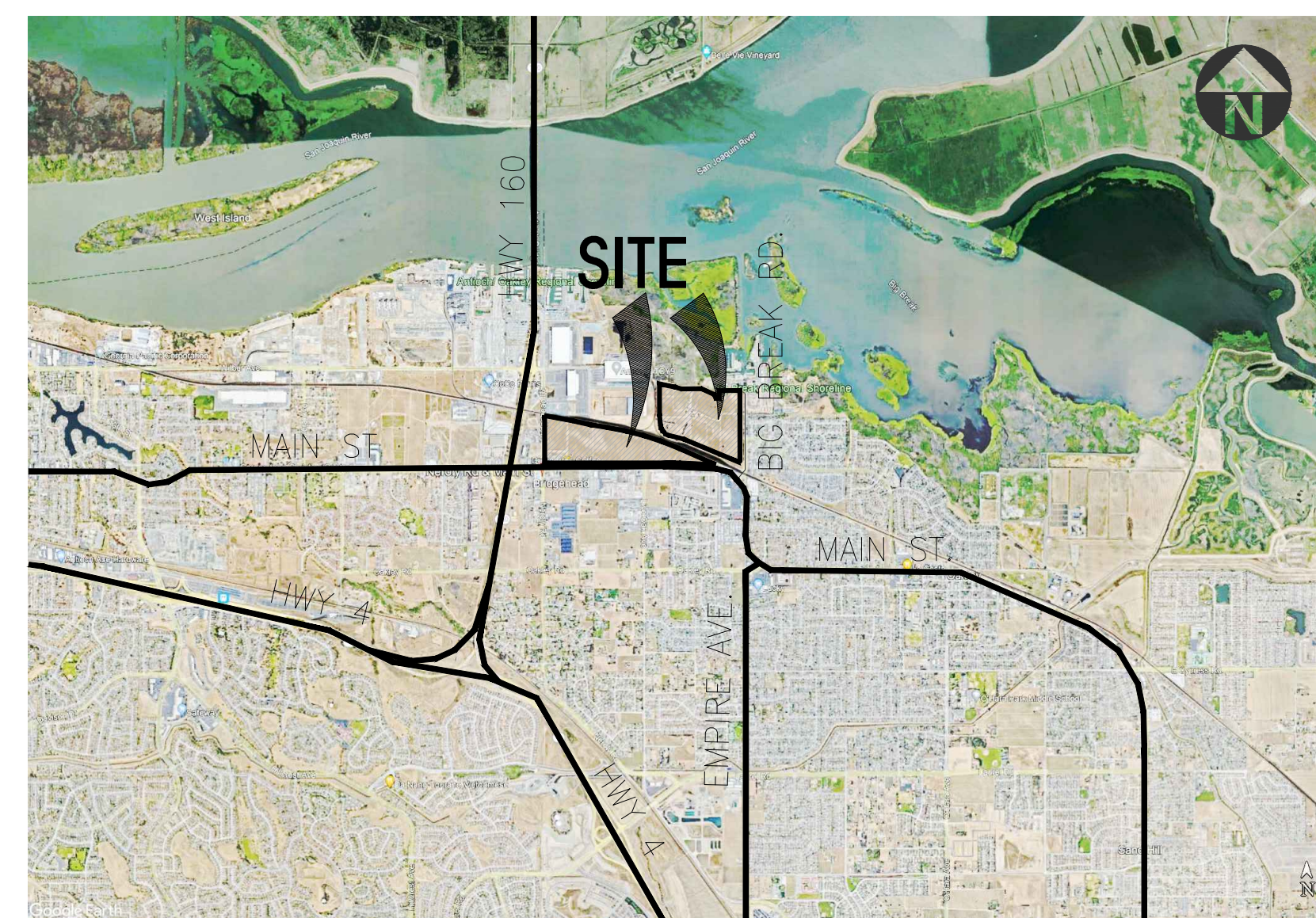
COVER SHEET

Title:

Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

0-DAB-A0.1



VICINITY MAP

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CONTACT: ADAM TERRELL

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ARCHITECT:

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CONTACT: ZIKAR SARYEDDEAN

LANDSCAPE:

YAMASAKI
1223 HIGH STREET
AUBURN, CA 95603
PHONE: 530-885-0040
CONTACT: JEFF AMBROSIA

PROJECT REPRESENTATIVES

ARCH

- 0-DAB-A0.1 COVER SHEET
- 0-DAB-A1.0 OVERALL SITE PLAN
- 1-DAB-A1.1 OVERALL SITE PLAN
- 1-DAB-A1.2 ENLARGED SITE PLAN
- 1-DAB-A2.1 OVERALL FLOOR PLAN
- 1-DAB-A3.1 ELEVATIONS
- 1-DAB-A3.2 ELEVATIONS
- 4-DAB-A1.1 OVERALL SITE PLAN
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- 4-DAB-A2.1 OVERALL FLOOR PLAN
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- 6-DAB-A1.1 OVERALL SITE PLAN
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- 6-DAB-A2.1 OVERALL FLOOR PLAN
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- 7-DAB-A1.1 OVERALL SITE PLAN
- 7-DAB-A1.2 ENLARGED SITE PLAN
- 7-DAB-A2.1 OVERALL FLOOR PLAN
- 7-DAB-A3.1 ELEVATIONS
- 7-DAB-A3.2 ELEVATIONS
- DAB-AD.1 DETAILS

- COVER SHEET
- OVERALL SITE PLAN
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- OVERALL FLOOR PLAN
- ELEVATIONS
- ELEVATIONS
- DETAILS

LANDSCAPE

- L1.1 PLANTING PLAN A
- L1.2 PLANTING PLAN B
- L1.3 PLANTING PLAN C
- L1.4 PLANTING PLAN D
- L1.5 PLANTING PLAN E
- L1.6 PLANTING PLAN F
- L1.7 PLAN SCHEDULE, NOTES AND CALCULATIONS

City of Oakley
Planning Division

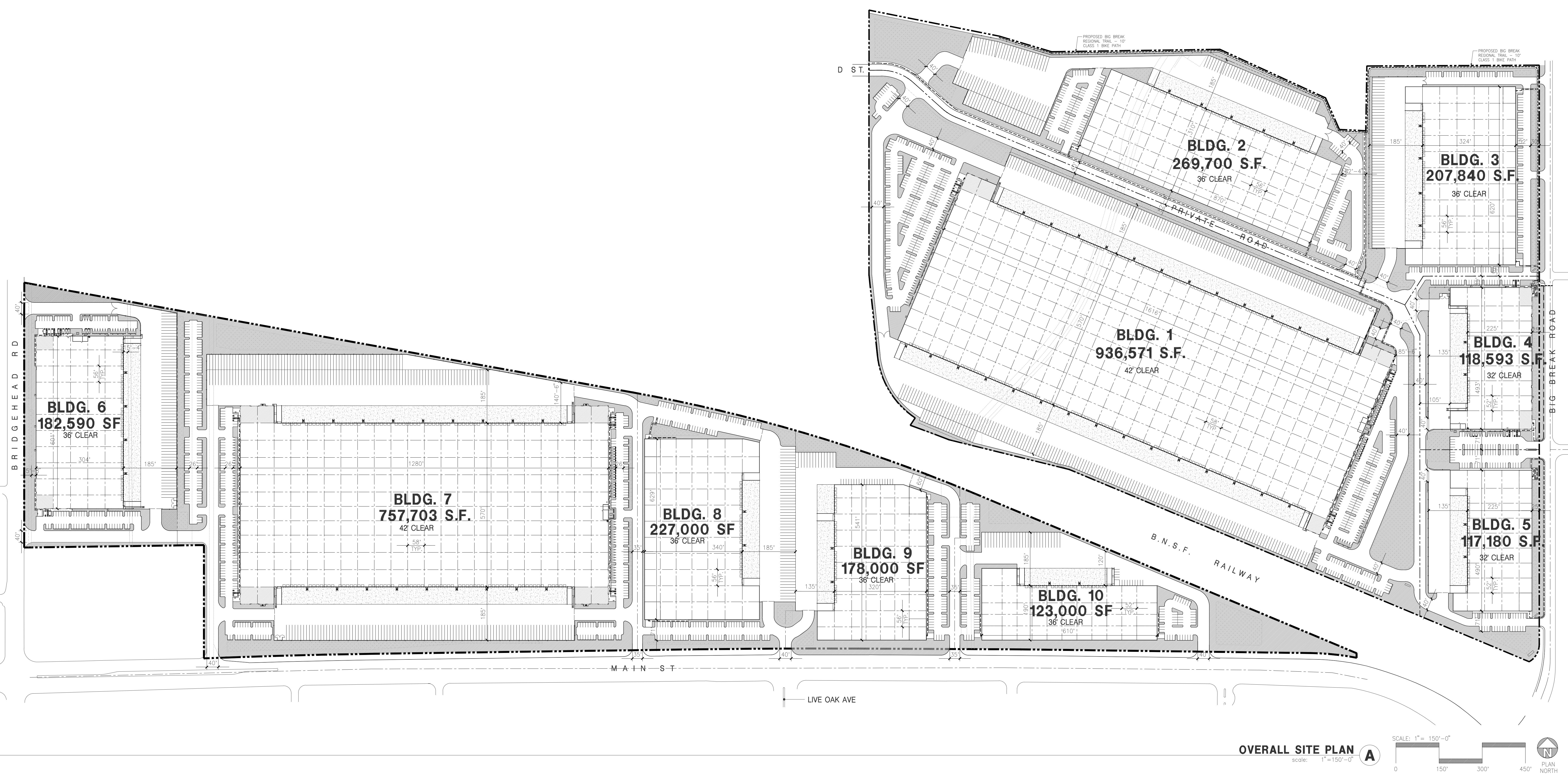
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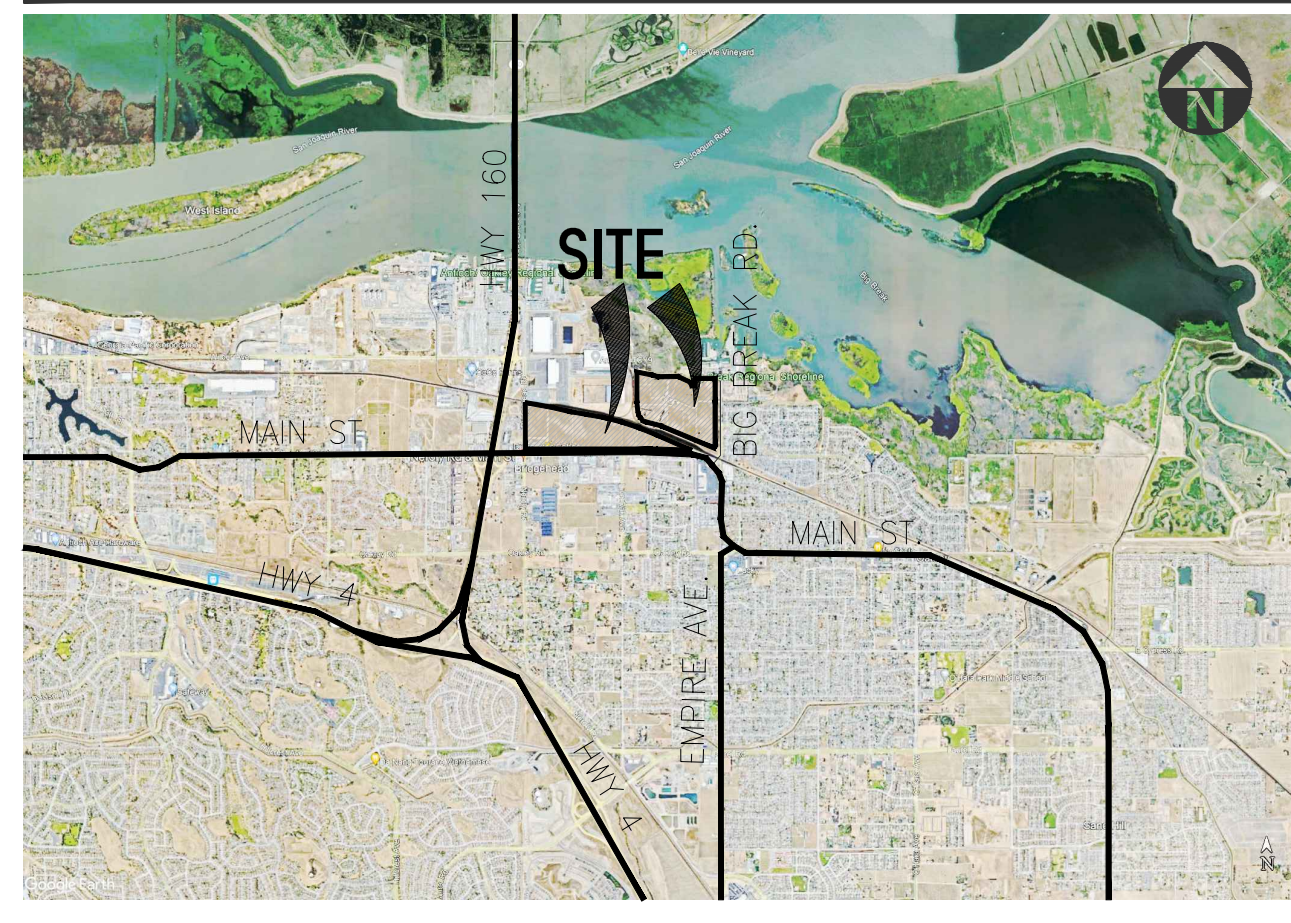
CIVIL

- C1.0 COVER SHEET
- C2.0 TOPOGRAPHIC SURVEY
- C3.0 PRELIMINARY SITE PLAN
- C4.0 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.1 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.2 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.3 PRELIMINARY GRADING AND DRAINAGE PLAN
- C4.4 TYPICAL SECTIONS
- C5.0 PRELIMINARY UTILITY PLAN
- C5.1 PRELIMINARY UTILITY PLAN
- C5.2 PRELIMINARY UTILITY PLAN
- C5.3 PRELIMINARY UTILITY PLAN
- C6.0 PRELIMINARY STORM WATER QUALITY CONTROL PLAN

SHEET INDEX



AERIAL MAP



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JB2 PARTNERS LLC
PHONE: 404-210-3003
CONTACT: ADAM TERRELL

APPLICANT'S REPRESENTATIVE
HPA, INC.
600 GRAND AVE, STE 302
OAKLAND, CA 94610
TEL: 925-413-6896
ATTN: TERESA GOODWIN

ADDRESS OF THE PROPERTY
BIG BREAK ROAD
OAKLEY, CA 94561

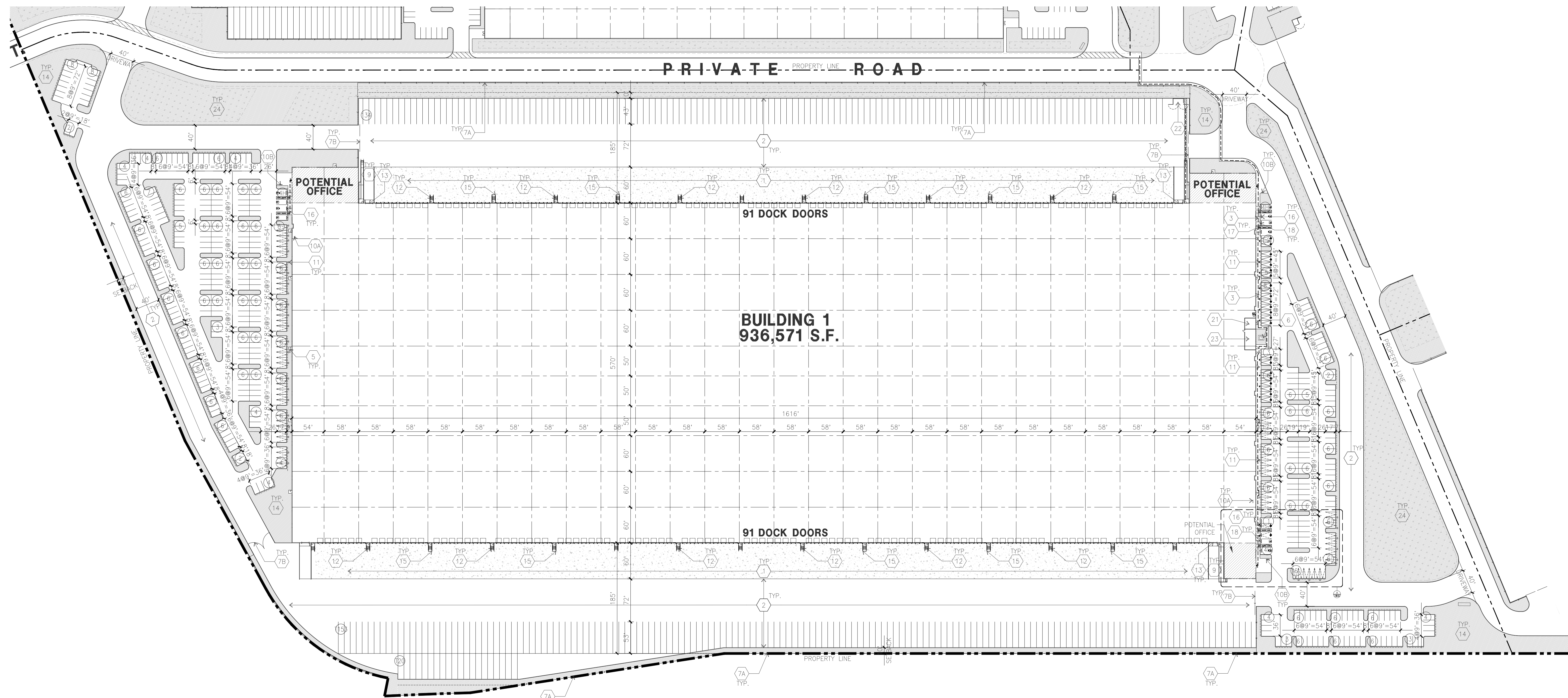
LEGAL DESCRIPTION
SEE CIVIL PLANS

SITE LEGEND

- STANDARD PARKING STALL 9'X19'
- ACCESSIBLE PARKING STALL 9'X19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE PARKING STALL 12'X19'+5' W/ ACCESSIBLE AISLE
- STANDARD ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 9'X19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'X19'+5' W/ ACCESSIBLE AISLE
- STANDARD EVCS SIZE, 9'X19'
- EV CAPABLE SPACE WITHOUT EVSE SIZE 9'X19'
- LANDSCAPED AREA
- AC. PAVING - SEE "C" DRAWINGS FOR THICKNESS
- CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
- LANDSCAPE FINGER PER LOCAL JURISDICTION STANDARD
- PROPERTY LINE
- ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE
- EV CHARGER
- EV CHARGER FOR FUTURE

TABULATION

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	BLDG. 8	BLDG. 9	BLDG. 10	TOTAL
SITE AREA											
In s.f.	2,055,707	773,413	454,705	255,018	275,037	462,326	1,626,219	467,170	377,763	396,206	7,143,564 sf
In acres	47.19	17.76	10.44	5.85	6.31	10.61	37.33	10.72	8.67	9.10	163.99 ac
BUILDING AREA											
Office	20,000	8,000	6,000	5,000	5,000	5,000	10,000	4,000	4,000	5,000	72,000 sf
Warehouse	916,571	261,700	201,840	113,593	112,180	177,590	747,703	223,000	174,000	118,000	3,046,177 sf
TOTAL	936,571	269,700	207,840	118,593	117,180	182,590	757,703	227,000	178,000	123,000	3,118,177 sf
FLOOR AREA RATIO											
Maximum Allowed	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67	0.67
Actual	0.456	0.349	0.457	0.465	0.426	0.395	0.486	0.471	0.310	0.437	0.437
SITE COVERAGE											
Maximum Allowed	50%	50%	50%	50%	50%	50%	50%	50%	50%	50%	50%
Actual	45.6%	34.9%	45.7%	46.5%	42.6%	39.5%	46.6%	48.6%	47.1%	31.0%	43.7%
AUTO PARKING REQUIRED (PROPOSED PARKING RATIO)											
Office: 1/250 s.f.	80	32	24	20	20	20	40	16	16	20	288 stalls
Whse: 1/2,500 s.f.	367	105	81	45	45	71	299	89	70	47	1,219 stalls
TOTAL	447	137	105	65	65	91	339	105	86	67	1,507 stalls
AUTO PARKING PROVIDED											
Standard (9' x 19')	486	157	118	72	78	110	392	133	101	120	1767 stalls
TRAILER PARKING PROVIDED											
Trailer (10' x 53')	313	132	59	0	0	64	266	54	13	27	928 stalls
ZONING ORDINANCE											
Zoning - P-1: Light Industrial											
PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT											
Height - 60'											
LANDSCAPE REQUIREMENT											
Percentage - to be verified											
SETBACKS											
Building											
Front - 10'											
Side - 10'											
Rear - 0, adj to R zone - 20'											
Landscape											
Front - 15'											
Side - 10'											
Rear - 10'											



OVERALL SITE PLAN
 scale: 1" = 80'-0" **A**
 SCALE: 1" = 80'-0"
 0 80' 160' 240' TRUE NORTH

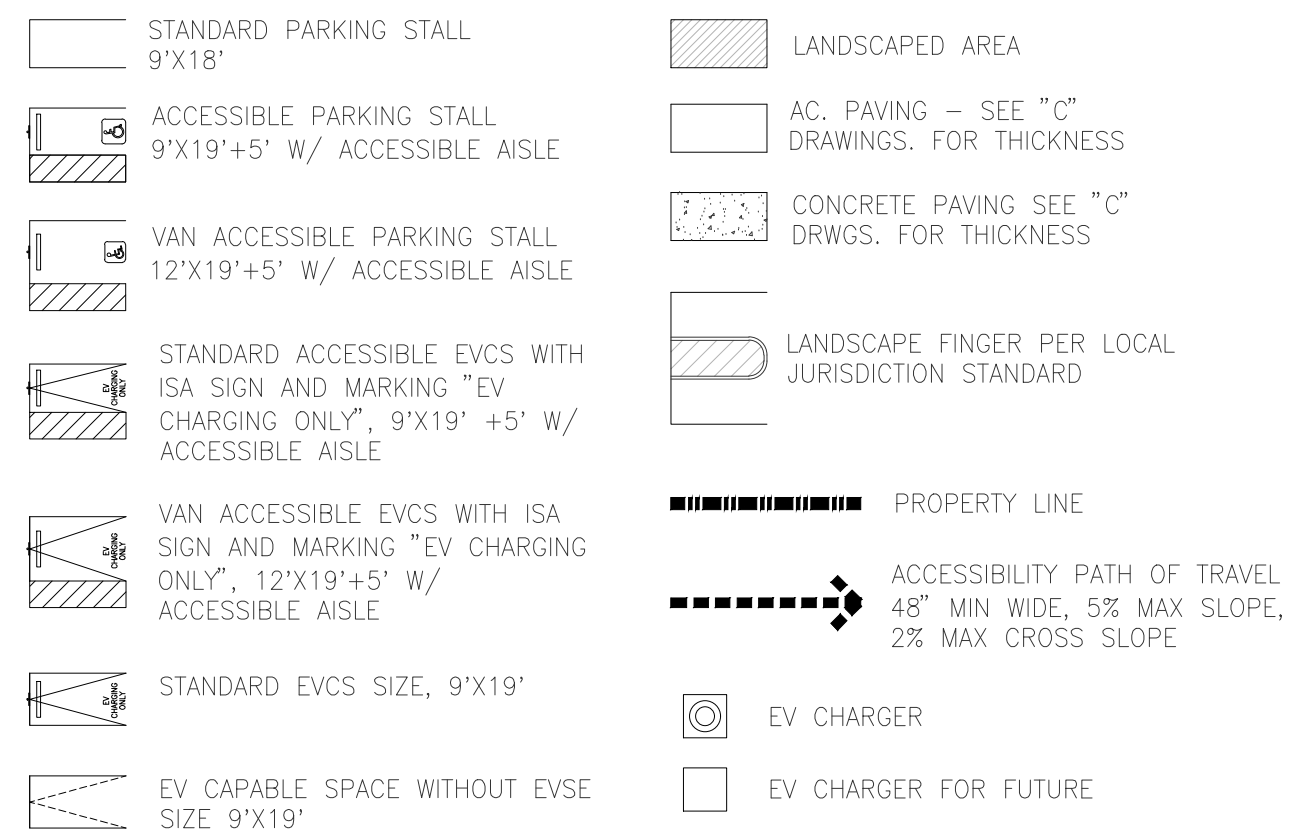
SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY CORNERSTONE, PROJECT #1387-1-1, DATE 10/10/2022
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
- PROVIDE STANDARD STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
- ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE
- PROVIDE BOLLARDS AROUND THE HYDRANTS AND RISERS FOR PROTECTION.
- ONLY LIGHT LOAD CONCRETE TRUCKS (8 CUBIC YARDS MAX.) ARE ALLOWED ON THE WAREHOUSE SLABS.
- CONCRETE POUR STRIP AT DOCK DOORS TO BE FREE AND CLEAR OF ALL UNDERGROUND PIPING, CONDUITS, ETC. TO ALLOW FOR FUTURE RECESSED DOCK LEVELERS (MINIMUM 10" WIDE). CONDUIT TO BE PLACED IN THE POUR STRIP WITH THE LOADING DOCKS SHALL BE A MINIMUM OF 42" BELOW FINISH FLOOR.

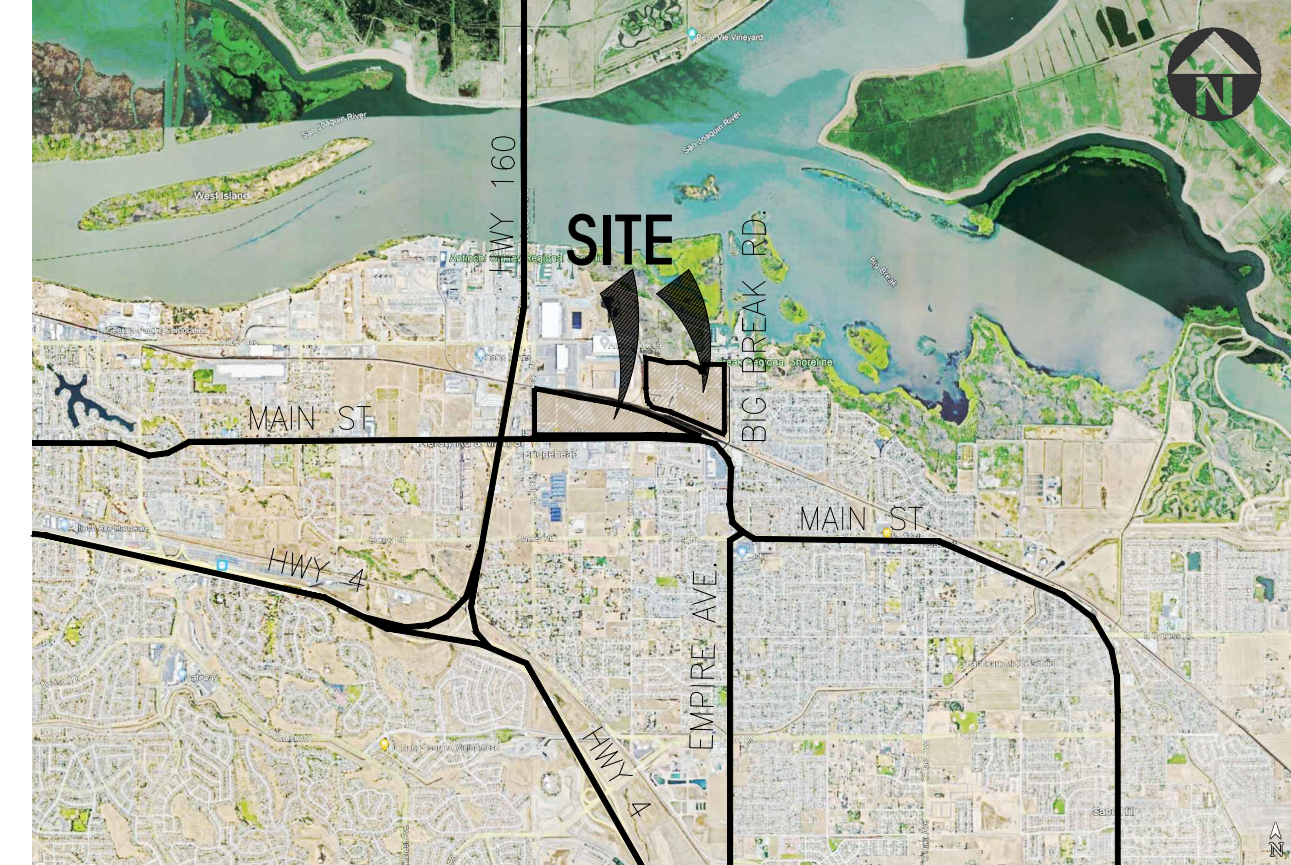
SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT, SEE "C" DRAWINGS.
- ASPHALT CONCRETE (AC) PAVING
- ACCESSIBLE PATH OF TRAVEL
- DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 8' HIGH CHAIN LINK FENCE
- 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- CONCRETE RAMP WITH CONCRETE GUARD WALL.
- LONG TERM BIKE RACK. SEE 16/DAB-AD.1
- SHORT TERM BIKE RACK. SEE DETAIL 16/DAB-AD.1
- ELECTRIC VEHICLE CHARGER.
- EXTERIOR CONCRETE STAIR.
- 12' x 16' DRIVE-IN DOOR
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- PRE-CAST CONC. WHEEL STOP.
- TRUNCATED DOMES.
- ACCESSIBLE PARKING STALL SIGN.
- HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- ACCESSIBLE ENTRY SIGN.
- PUMP ROOM.
- TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- ELECTRICAL ROOM.
- STORM TREATMENT, SEE "C" DRAWINGS
- EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS
- EASEMENT TO BE VACATED

SITE LEGEND



AERIAL MAP



TABULATION

SITE AREA		BLDG. 1	
In s.f.	2,055,707	sf	
In acres	47.2	ac	
BUILDING AREA			
Office	20,000	sf	
Warehouse	916,571	sf	
TOTAL	936,571	sf	
FLOOR AREA RATIO			
Maximum Allowed	0.67		
Actual	0.46		
SITE COVERAGE			
Maximum Allowed	50.0%		
Actual	45.6%		
AUTO PARKING REQUIRED (PROPOSED PARKING RATIO)			
Office: 1/250 s.f.	80	stalls	
Whse: 1/2,500 s.f.	367	stalls	
TOTAL	447	stalls	
AUTO PARKING PROVIDED			
Standard (8' x 19')	366	stalls	
Accessible Standard	12	stalls	
Accessible Van	10	stalls	
EV Capable	98	stalls	
- EV Capable without EVSE	73	stalls	
- EV Capable with EVSE	23	stalls	
- EV accessible Standard	1	stalls	
- EV Van accessible	1	stalls	
TOTAL	486	stalls	
TRAILER PARKING PROVIDED			
Trailer (10' x 53')	313	stalls	
BICYCLE PARKING REQUIRED			
Long term: 5% of required auto parking	23		
Short term: 5% of required auto parking	23		
BICYCLE PARKING PROVIDED			
Long term:	24		
Short term:	24		
ZONING ORDINANCE			
Zoning - P-1: Light Industrial			
PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT			
Height - 60'			
LANDSCAPE REQUIREMENT			
Percentage - 10%			
SETBACKS			
Building	Landscaped		
Front - 10'	Front - 15'		
Side - 10'	Side - 10'		
Rear - 0, adj to R zone - 20'	Rear - 10'		



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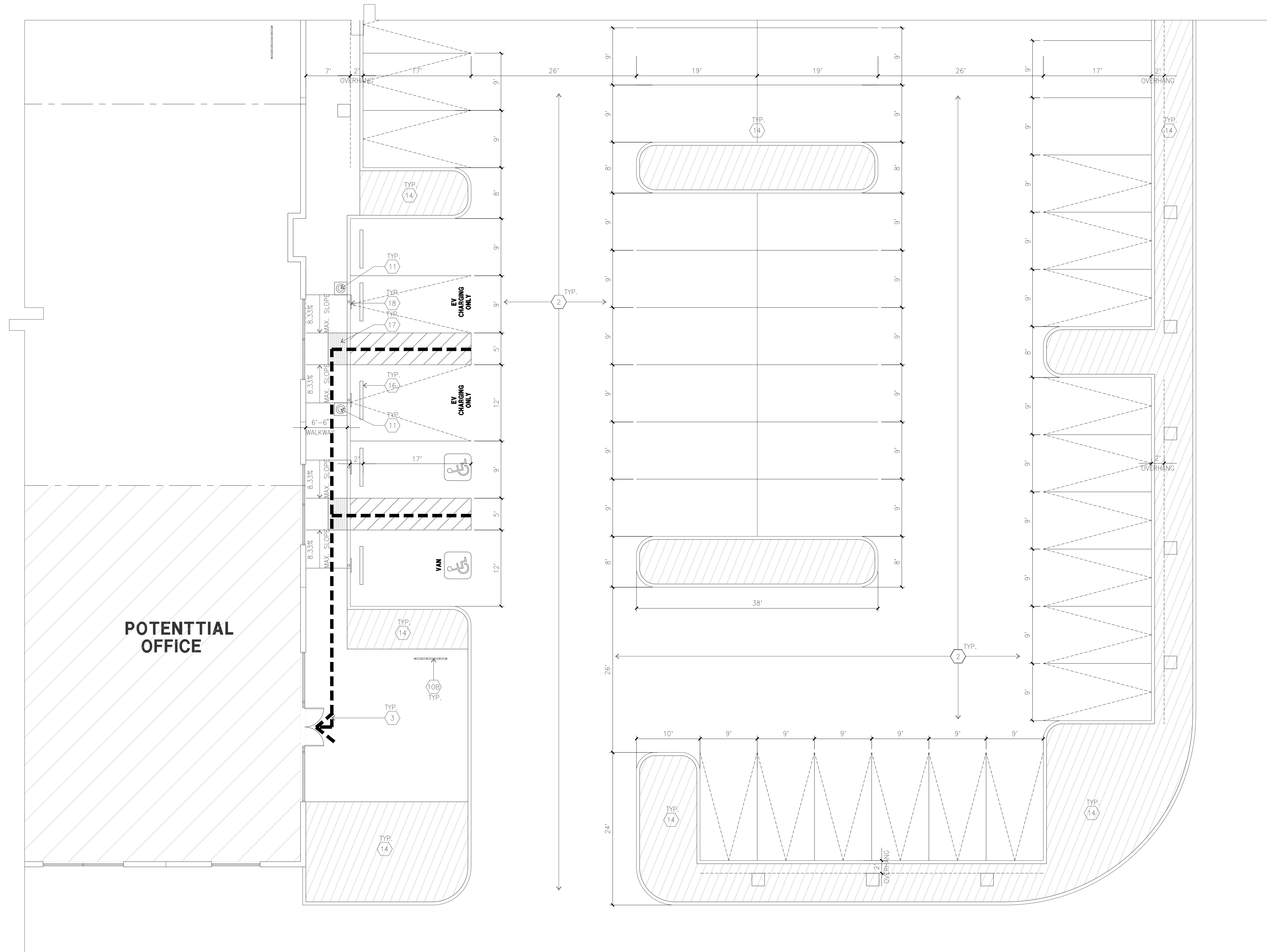
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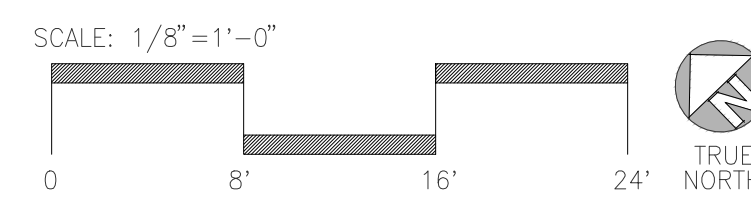
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 Civil: KIER & WRIGHT
 Structural:
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 Plumbing:
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 Landscape: YAMASAKI
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Title: **OVERALL SITE PLAN**
 Project Number: 22626
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1-DAB-A1.1



ENLARGE SITE PLAN
scale: 1/8" = 1'-0"



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5 5'-6" X 9'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 7A 8' HIGH CHAIN LINK FENCE
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- 18 ACCESSIBLE PARKING STALL SIGN.
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- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- 23 ELECTRICAL ROOM.
- 24 STORM TREATMENT. SEE "C" DRAWINGS
- 25 EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS
- 26 EASEMENT TO BE VACATED

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- 11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
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SITE LEGEND

- | | |
|--|---|
| STANDARD PARKING STALL 9'X18' | LANDSCAPED AREA |
| ACCESSIBLE PARKING STALL 9'X19'+5' W/ ACCESSIBLE AISLE | AC PAVING - SEE "C" DRAWINGS. FOR THICK |
| VAN ACCESSIBLE PARKING STALL 12'X19'+5' W/ ACCESSIBLE AISLE | CONCRETE PAVING SI DRINGS. FOR THICKNE |
| STANDARD ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 9'X19'+5' W/ ACCESSIBLE AISLE | LANDSCAPE FINGER F JURISDICTION STANDA |
| VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'X19'+5' W/ ACCESSIBLE AISLE | PROPERTY LI |
| STANDARD EVCS SIZE, 9'X19' | ACCESSIBILITY 48" MIN WIDI 2% MAX CRC |
| EV CAPABLE SPACE WITHOUT EVSE SIZE 9'X19' | EV CHARGER |
| | EV CHARGER FOR FUTU |



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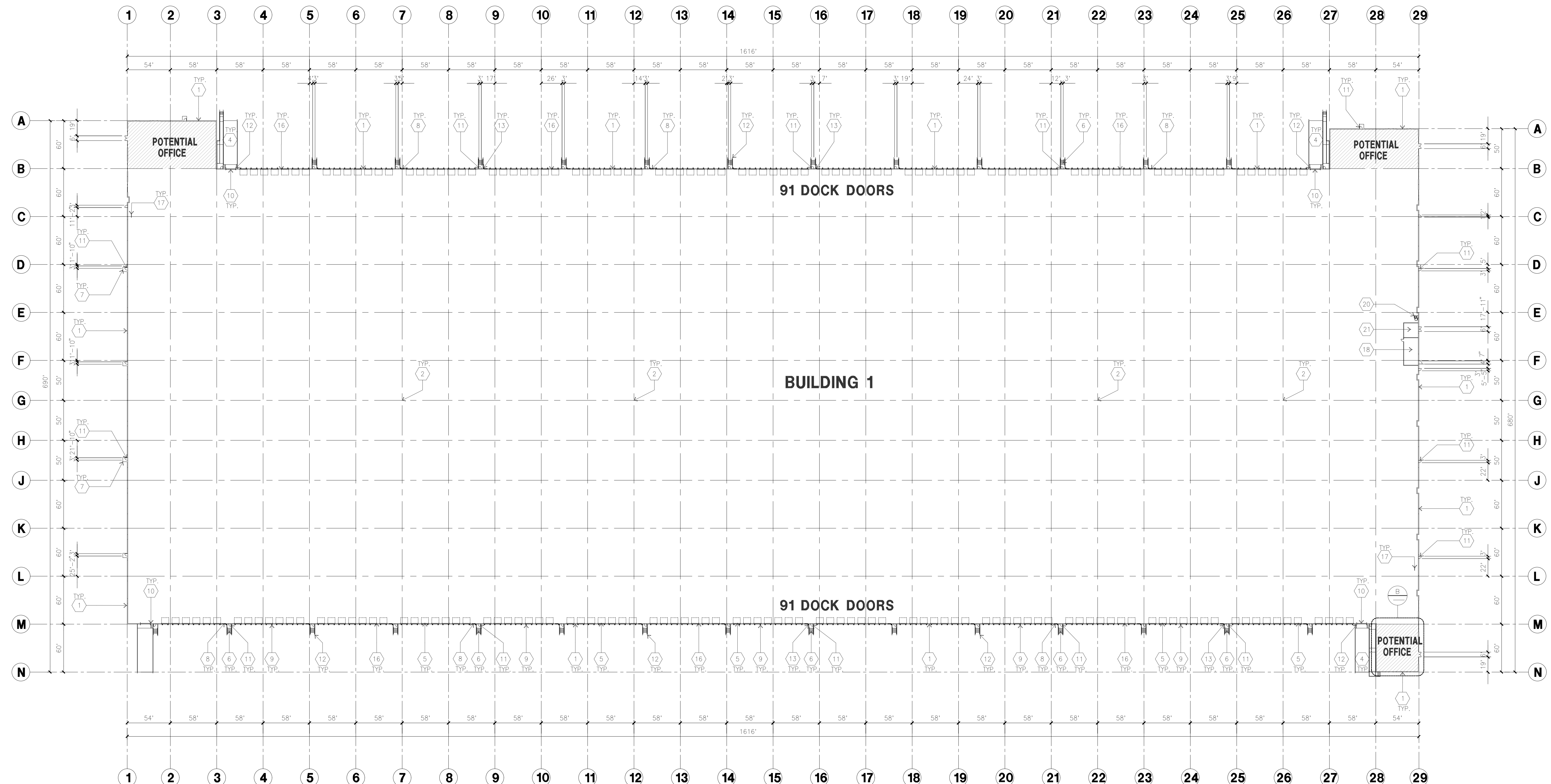
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Revision:

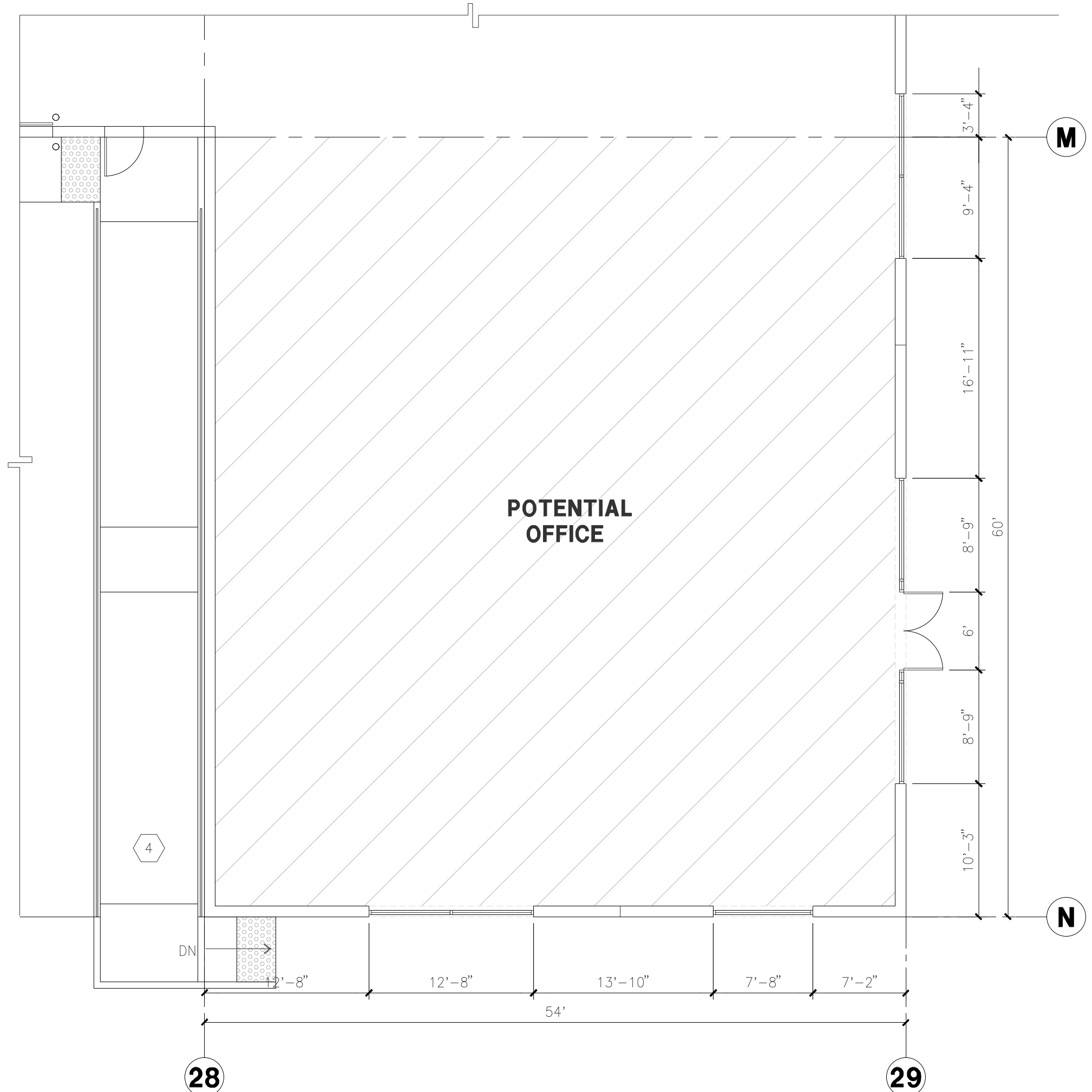
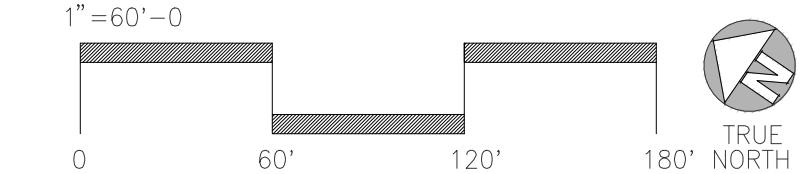
1st planning submittal 12/04/2023

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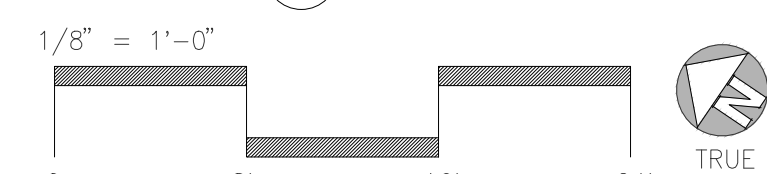
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OVERALL FLOOR PLAN A



ENLARGED FLOOR PLAN B



KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 8' X 10' DOCK DOOR SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6) EXTERIOR METAL STAIR.
- (7) 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- (8) 4'X8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 12' X 14' DRIVE THRU SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST. 6" DIA. U.N.O. 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) NOT USED
- (15) NOT USED
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
- (19) METAL CANOPY ABOVE.
- (20) ROOF ACCESS LADDER.
- (21) FIRE PUMP ROOM.

GENERAL NOTES - FLOOR PLAN

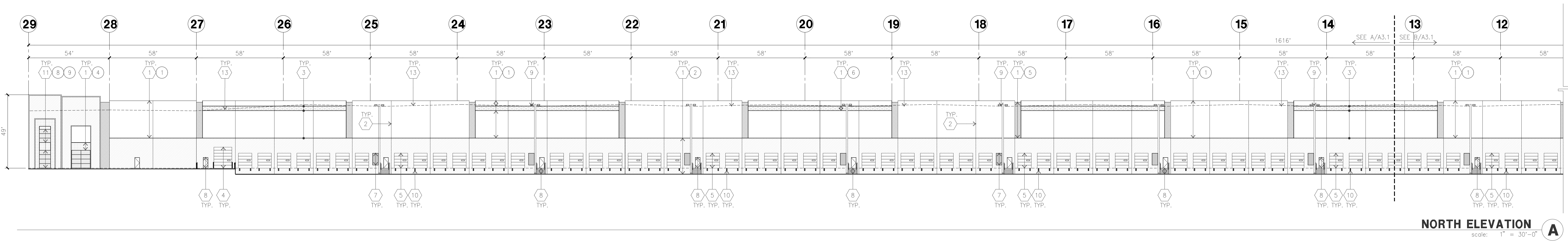
1. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6.
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

FLOOR SLAB AND POUR STRIPS REQ.

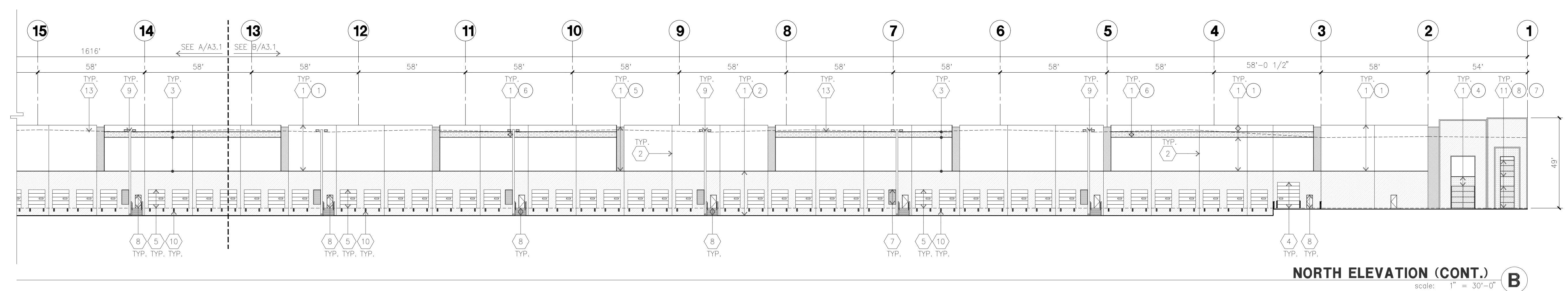
- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 90%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-98
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HAND TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F50 FLDS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER
 13. SHURESALLAPOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB.
 15. 10' POUR STRIP AT TRUCK DOOR, 4FT. MAX. ELSEWHERE.
 16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. FOG BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. MM-80 AT SPEED BAY ONLY. PRICE AS ADDITIONAL ALTERNATE.

PAINT NOTES

- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZZE 'WHIT' ON INTERIOR WALLS.
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GRIDDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10" A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.



NORTH ELEVATION
scale: 1" = 30'-0" **A**



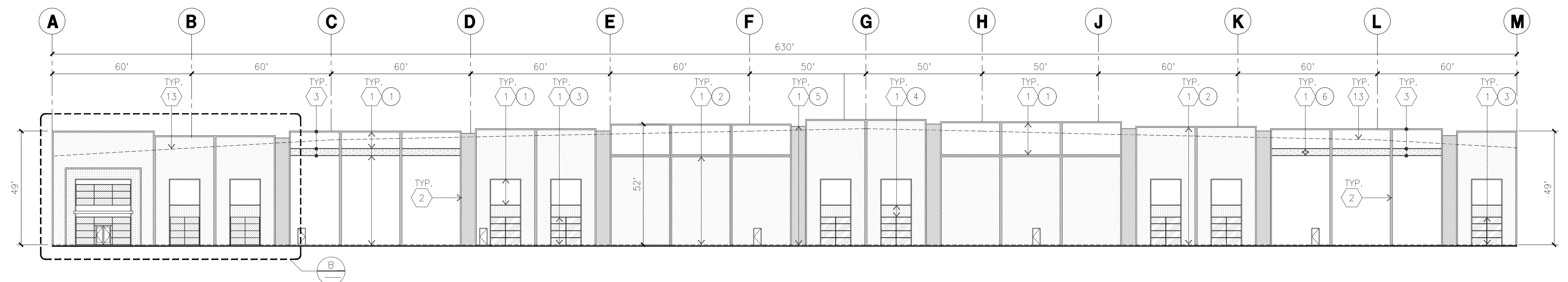
NORTH ELEVATION (CONT.)
scale: 1" = 30'-0" **B**

KEYNOTES - ELEVATIONS

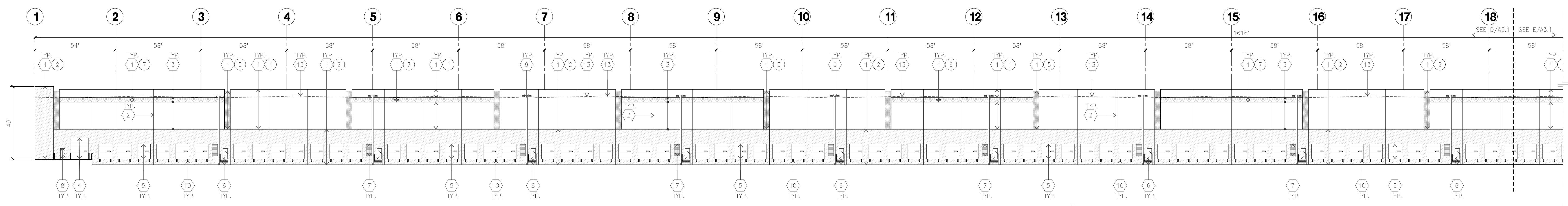
- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE C DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY.
- 13 ROOF LINE BEYOND.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEALS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMP TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.



WEST ELEVATION
scale: 1" = 30'-0" **C**



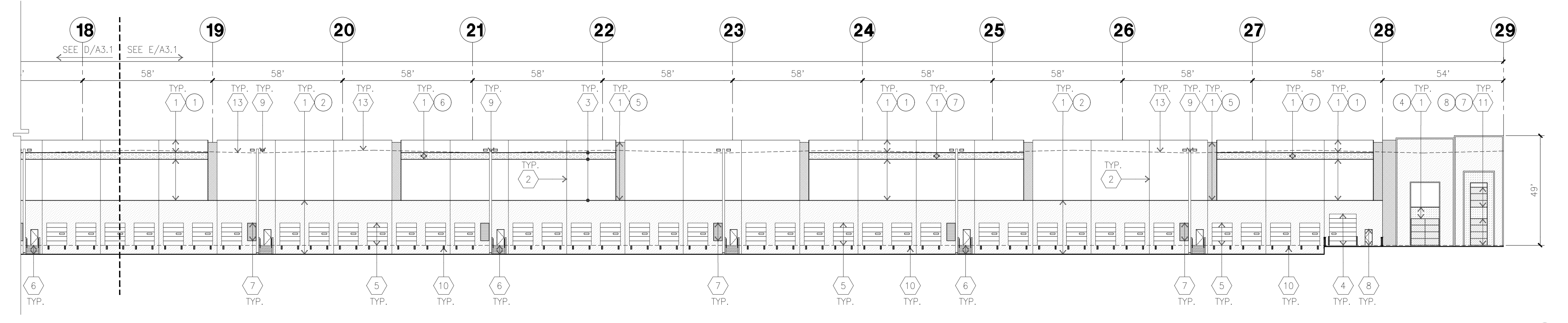
SOUTH ELEVATION
scale: 1" = 30'-0" **D**

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7064 PASSIVE
- 3 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7065 ARGOS
- 4 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7066 GRAY MATTERS
- 5 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW19163 TIN LIZZIE
- 6 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW6524 COMMODORE
- 7 GLAZING COLOR : BLUE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 9 CANOPY MATERIAL : SHERWIN WILLIAMS SW7005 PURE WHITE
- 10 DOOR COLORS : MATCH BUILDING COLOR
- 11 CANOPY MATERIAL : METALLIC PAINT COOL TONE PRIMER

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV : INSULATED VISION GLASS
 - 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 - 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES U. 0.27. SHGC. 0.23. UVT 24%
 - MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
 - 1/4" VISTACOL PACIFICA WITH GRACO-COAT-300 WARM GRAY INSTALLED ON CONCRETE.
 - MULLIONS : ANODIZED CLEAR.



SOUTH ELEVATION (CONT.)
scale: 1" = 30'-0" **E**



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Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

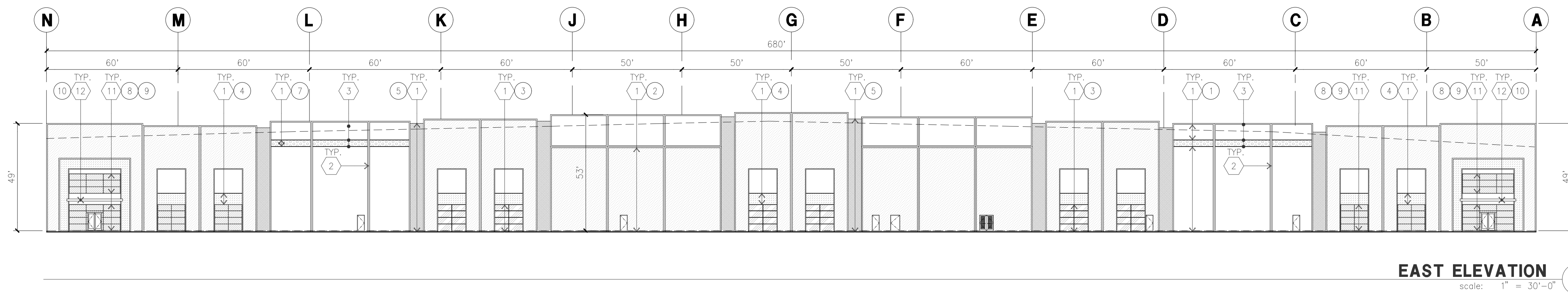
- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical :
- Landscape : YAMASAKI
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: ELEVATIONS

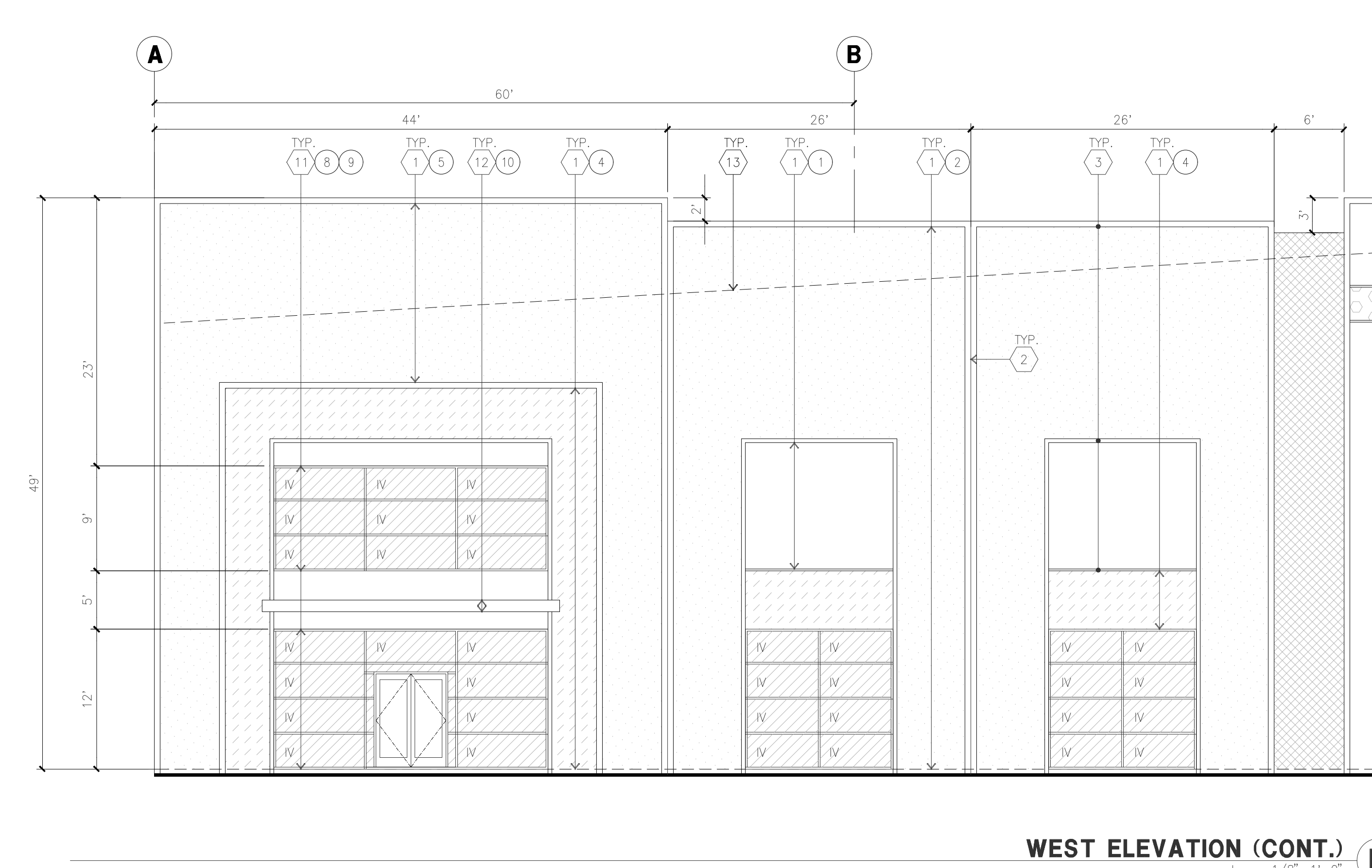
Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

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EAST ELEVATION
scale: 1/8" = 1'-0"



WEST ELEVATION (CONT.)
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE I.C. DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 4" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
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- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
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- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY
- 13 ROOF LINE BEYOND

GENERAL NOTES - ELEVATIONS

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- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED EXPOSURE TO WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7064 PASSIVE
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- 4 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7066 GRAY MATTERS
- 5 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW9163 TIN LIZZIE
- 6 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW6524 COMMODORE
- 7 GLAZING COLOR : BLUE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 9 CANOPY MATERIAL : SHERWIN WILLIAMS SW7005 PURE WHITE
- 10 DOOR COLORS : MATCH BUILDING COLOR
- 11 CANOPY MATERIAL : METALLIC PAINT COOL TONE PRIMER

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27, SHGC: 0.21, VLT: 20%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
 - SG : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH OPAC-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.
- MULLIONS : ANODIZED CLEAR.



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Project:
BRIDGEHEAD INDUSTRIAL

Oakley, CA

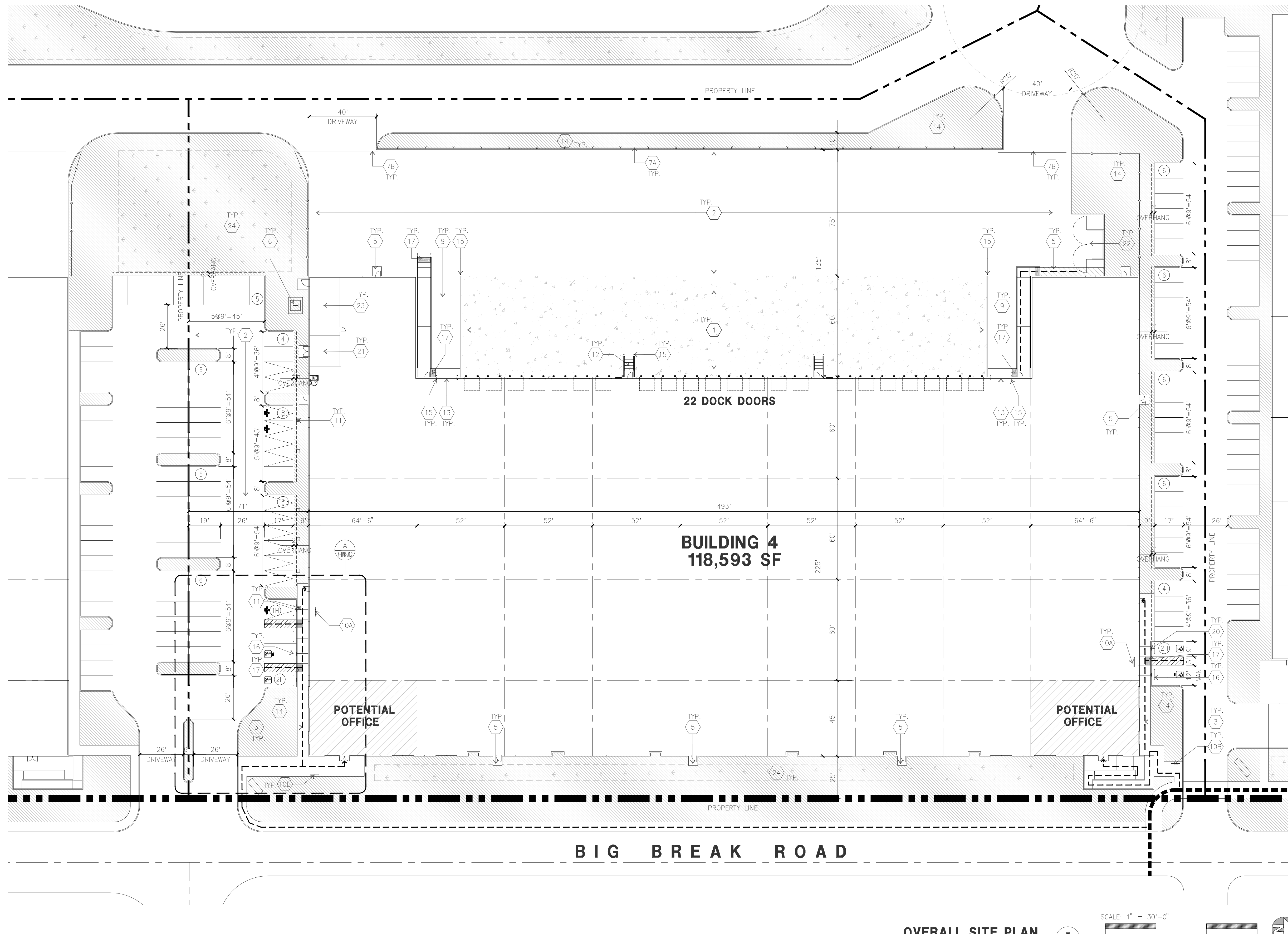
Consultants:
Civil : KIER & WRIGHT
Structural :
Mechanical :
Plumbing :
Electrical :
Landscape : YAMASAKI
Fire Protection :
Soils Engineer : CORNERSTONE

Title: ELEVATIONS

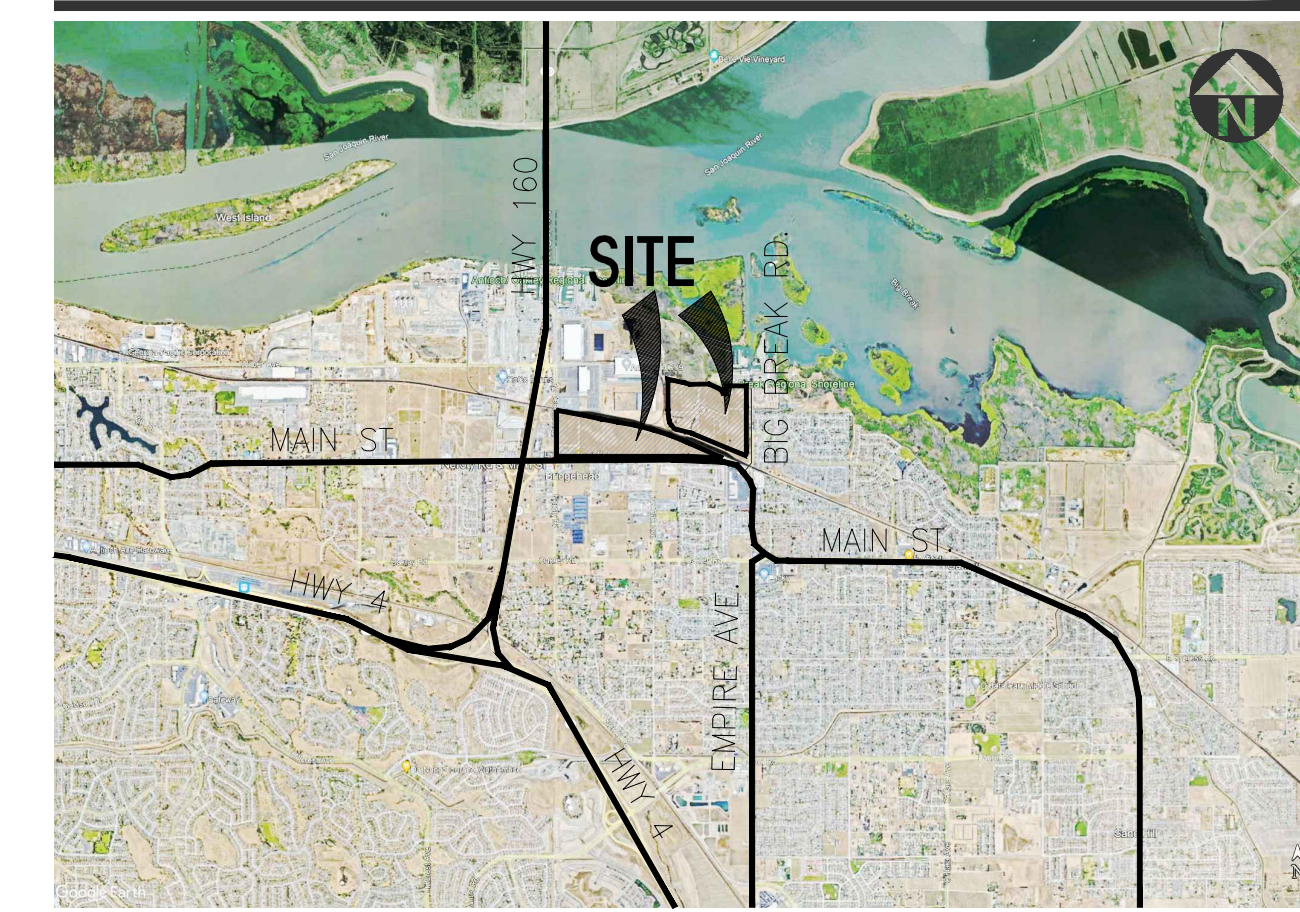
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AERIAL MAP



TABULATION

		BLDG. 4	
SITE AREA			
In s.f.	255,018	sf	
In acres	5.9	ac	
BUILDING AREA			
Office	5,000	sf	
Warehouse	113,593	sf	
TOTAL	118,593	sf	
FLOOR AREA RATIO			
Maximum Allowed	0.67		
Actual	0.47		
SITE COVERAGE			
Maximum Allowed	50.0%		
Actual	46.5%		
AUTO PARKING REQUIRED (PROPOSED PARKING RATIO)			
Office: 1/250 s.f.	20	stalls	
Whse: 1/2,500 s.f.	45	stalls	
TOTAL	65	stalls	
AUTO PARKING PROVIDED			
Standard (9' x 19')	52	stalls	
Accessible Standard	2	stalls	
Accessible Van	2	stalls	
EV Capable	13	stalls	
- EV Capable without EVSE	10	stalls	
- EV Capable with EVSE	2	stalls	
- EV Van accessible	1	stalls	
TOTAL	72	stalls	
TRAILER PARKING PROVIDED			
Trailer (10' x 53')	0	stalls	
BICYCLE PARKING REQUIRED			
Long term: 5% of required auto parking	4		
Short term: 5% of required auto parking	4		
BICYCLE PARKING PROVIDED			
Long term:	4		
Short term:	4		
ZONING ORDINANCE			
Zoning - P-1: Light Industrial			
PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT			
Height - 60'			
LANDSCAPE REQUIREMENT			
Percentage - 10%			
SETBACKS			
Building	Landscape		
Front - 10'	Front - 15'		
Side - 10'	Side - 10'		
Rear - 0, adj to R zone - 20'	Rear - 10'		

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY CORNERSTONE, PROJECT #1387-1-1, DATE 10/10/2022
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
- PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM-BROOM FINISH
- U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
- ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE
- PROVIDE BOLLARDS AROUND THE HYDRANTS AND RISERS FOR PROTECTION.
- ONLY LIGHT LOAD CONCRETE TRUCKS (8 CUBIC YARDS MAX.) ARE ALLOWED ON THE WAREHOUSE SLABS.
- CONCRETE POUR STRIP AT DOCK DOORS TO BE FREE AND CLEAR OF ALL UNDERGROUND PIPING, CONDUITS, ETC. TO ALLOW FOR FUTURE RECESSED DOCK LEVELERS (MINIMUM 10" WIDE). CONDUIT TO BE PLACED IN THE POUR STRIP WITH THE LOADING DOCKS SHALL BE A MINIMUM OF 42" BELOW FINISH FLOOR.

SITE PLAN KEYNOTES

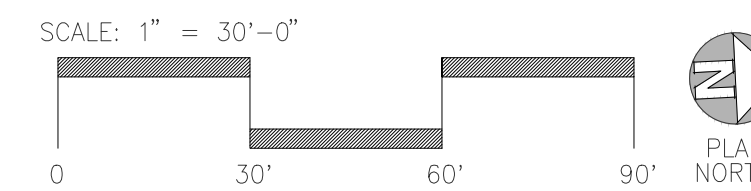
- HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
- ASPHALT CONCRETE (AC) PAVING
- ACCESSIBLE PATH OF TRAVEL
- DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" / 12" MAX.
- APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 8' HIGH CHAIN LINK FENCE
- 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- CONCRETE RAMP WITH CONCRETE GUARD WALL.
- LONG TERM BIKE RACK. SEE 16/DAB-AD.1
- SHORT TERM BIKE RACK. SEE DETAIL 16/DAB-AD.1
- ELECTRIC VEHICLE CHARGER.
- EXTERIOR CONCRETE STAIR.
- 12' x 16' DRIVE-IN DOOR
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- PRE-CAST CONC. WHEEL STOP.
- TRUNCATED DOMES.
- ACCESSIBLE PARKING STALL SIGN.
- HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- ACCESSIBLE ENTRY SIGN.
- PUMP ROOM.
- TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- ELECTRICAL ROOM.
- STORM TREATMENT. SEE "C" DRAWINGS
- EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS

SITE LEGEND

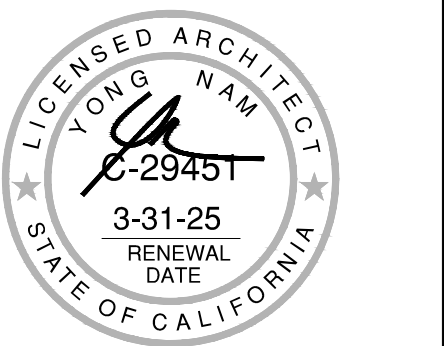
- STANDARD PARKING STALL 9'X18'
- ACCESSIBLE PARKING STALL 9'X19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE PARKING STALL 12'X19'+5' W/ ACCESSIBLE AISLE
- STANDARD ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 9'X19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'X19'+5' W/ ACCESSIBLE AISLE
- STANDARD EVCS SIZE, 9'X19'
- EV CAPABLE SPACE WITHOUT EVSE SIZE 9'X19'
- LANDSCAPED AREA
- AC. PAVING - SEE "C" DRAWINGS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DRAWINGS. FOR THICKNESS
- LANDSCAPE FINGER PER LOCAL JURISDICTION STANDARD
- PROPERTY LINE
- ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE
- EV CHARGER
- EV CHARGER FOR FUTURE

OVERALL SITE PLAN

scale: 1" = 30'-0"



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Developer:

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Tel: 626-521-9990

Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

Civil : KIER & WRIGHT
Structural :
Mechanical :
Plumbing :
Electrical :
Landscape : YAMASAKI
Fire Protection :
Soils Engineer : CORNERSTONE

Title: **OVERALL SITE PLAN**

Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

4-DAB-A1.1

Developer:



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Consultants:

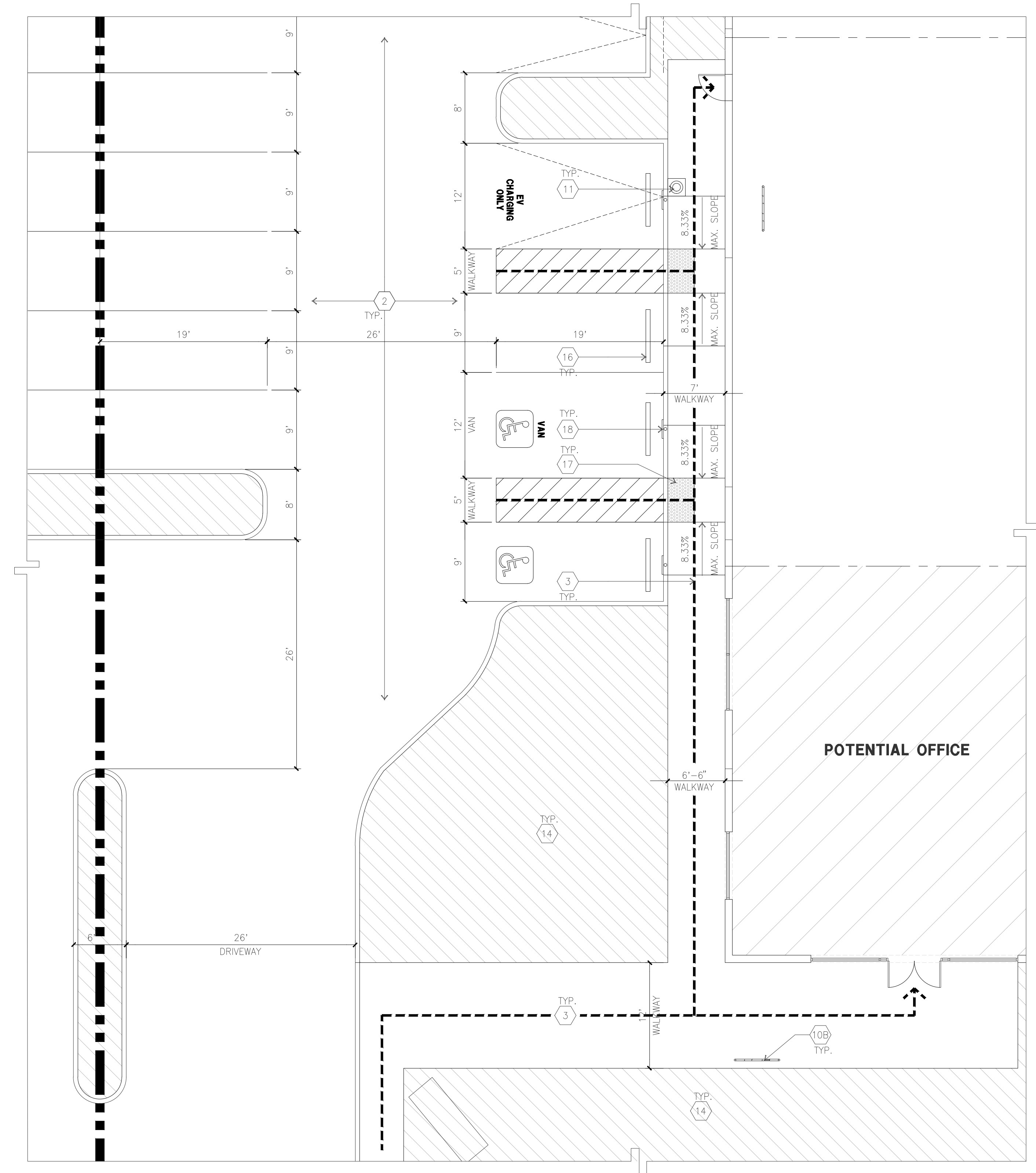
- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical :
- Landscape : YAMASAKI
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: ENLARGED SITE PLAN

Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

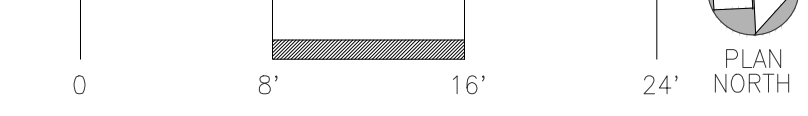
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ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN GENERAL NOTES

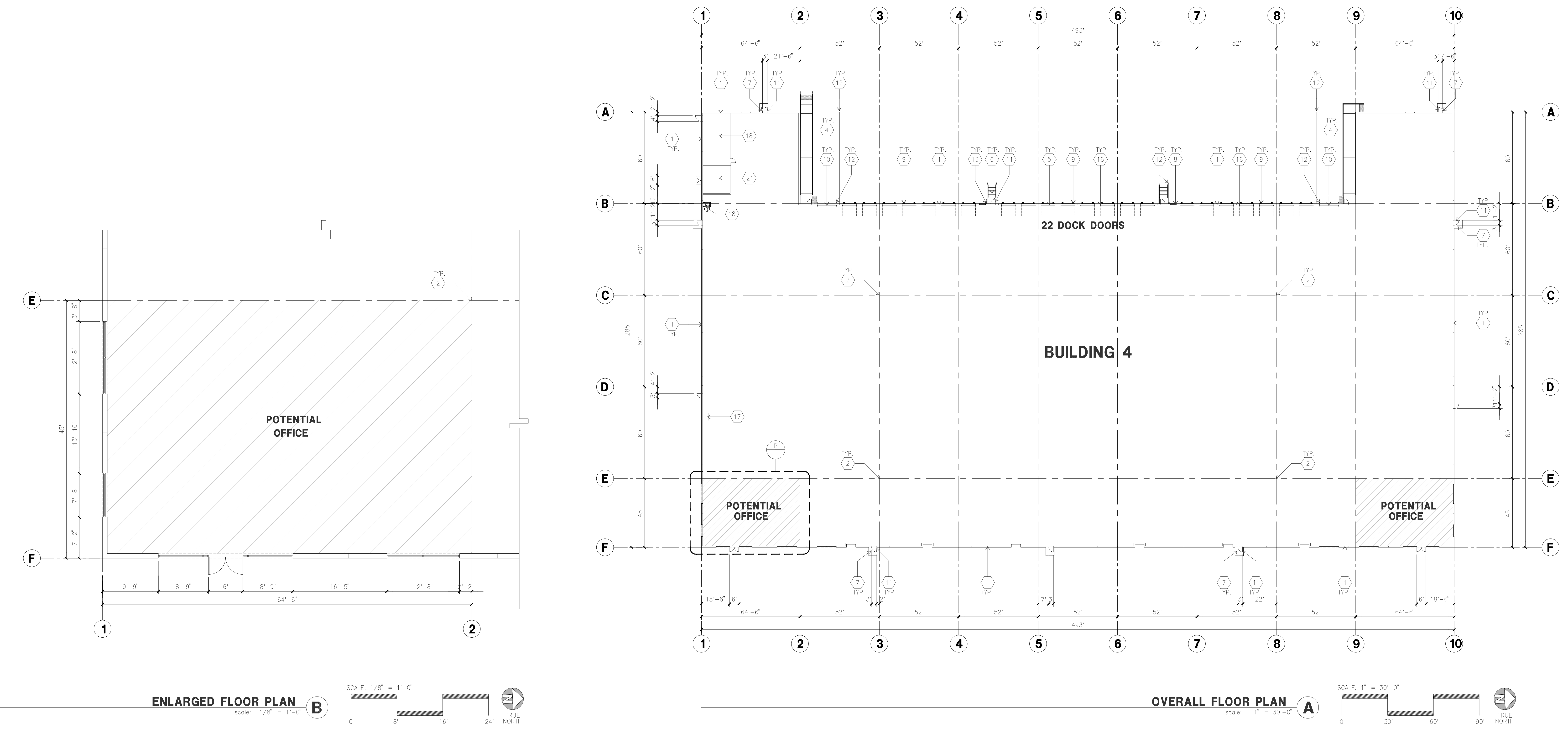
1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY CORNERSTONE, PROJECT #1387-1-1, DATE 10/10/2022
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE
17. PROVIDE BOLLARDS AROUND THE HYDRANTS AND RISERS FOR PROTECTION.
18. ONLY LIGHT LOAD CONCRETE TRUCKS (8 CUBIC YARDS MAX.) ARE ALLOWED ON THE WAREHOUSE SLABS.
19. CONCRETE POUR STRIP AT DOCK DOORS TO BE FREE AND CLEAR OF ALL UNDERGROUND PIPING, CONDUITS, ETC. TO ALLOW FOR FUTURE RECESSED DOCK LEVELERS (MINIMUM 10" WIDE). CONDUIT TO BE PLACED IN THE POUR STRIP WITH THE LOADING DOCKS SHALL BE A MINIMUM OF 42" BELOW FINISH FLOOR.

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5 5'-6"XS-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 7A 8' HIGH CHAIN LINK FENCE
- 7B 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT .
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 10A LONG TERM BIKE RACK. SEE 16/DAB-AD.1
- 10B SHORT TERM BIKE RACK. SEE DETAIL 16/DAB-AD.1
- 11 ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR CONCRETE STAIR.
- 13 12' x 16" DRIVE-IN DOOR
- 14 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- 23 ELECTRICAL ROOM.
- 24 STORM TREATMENT. SEE "C" DRAWINGS
- 25 EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS
- 26 EASEMENT TO BE VACATED

SITE LEGEND

- STANDARD PARKING STALL 9'X18'
- ACCESSIBLE PARKING STALL 9'X19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE PARKING STALL 12'X19'+5' W/ ACCESSIBLE AISLE
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- CONCRETE PAVING SEE "C" DRNGS. FOR THICKNESS
- LANDSCAPE FINGER PER LOCAL JURISDICTION STANDARD
- PROPERTY LINE
- ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE
- EV CHARGER
- EV CHARGER FOR FUTURE



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"

OVERALL FLOOR PLAN
scale: 1" = 30'-0"

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 8' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 8' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 NOT USED
- 15 NOT USED
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.
- 20 ROOF ACCESS LADDER.
- 21 FIRE PUMP ROOM.

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES; CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FFSO FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISUOSITY ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPDOLPH" SEALER
 13. SHURESALLAPDOLPH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN MARKS ON FLOOR SLAB. NO RED CAULK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 15. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 16. ALL FLOOR SLAB HALL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT RECOMMENDATION.
 18. MM-80 AT SPEED BAY ONLY. PRICE AS ADDITIONAL ALTERNATE.

PAINT NOTES

- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZEE "WHITE" ON INTERIOR WALLS.
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DATUM TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/4" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR, U.N.D.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS.
- 9 PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 10 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 11 DOCK BUMPER.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 13 METAL TUBE STEEL CANOPY.
- 14 ROOF LINE BEYOND

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO WITHSTAND REQUIRED WIND SPEEDS, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. RAILINGS TO MATCH BUILDING COLOR.
- N. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

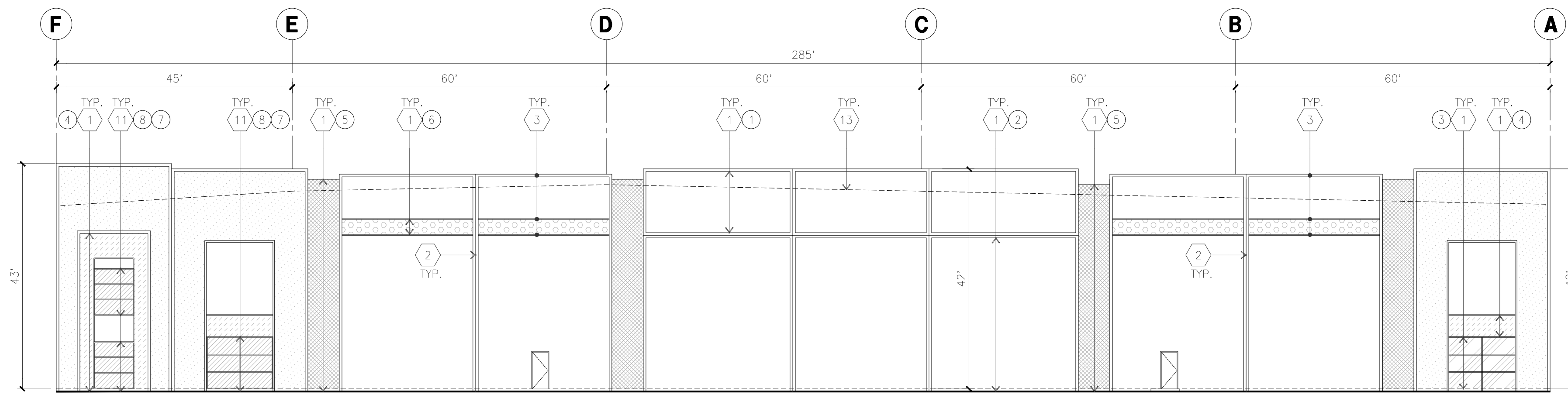
- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7064 PASSIVE
- 3 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7065 AROOS
- 4 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7066 GRAY MATTERS
- 5 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW9163 TIN LIZZIE
- 6 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW6524 COMMODORE
- 7 GLAZING COLOR : BLUE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 9 CANOPY MATERIAL : SHERWIN WILLIAMS SW7005 PURE WHITE
- 10 DOOR COLORS : MATCH BUILDING COLOR
- 11 CANOPY MATERIAL : METALLIC PAINT COOL TONE PRIMER

GLAZING LEGEND

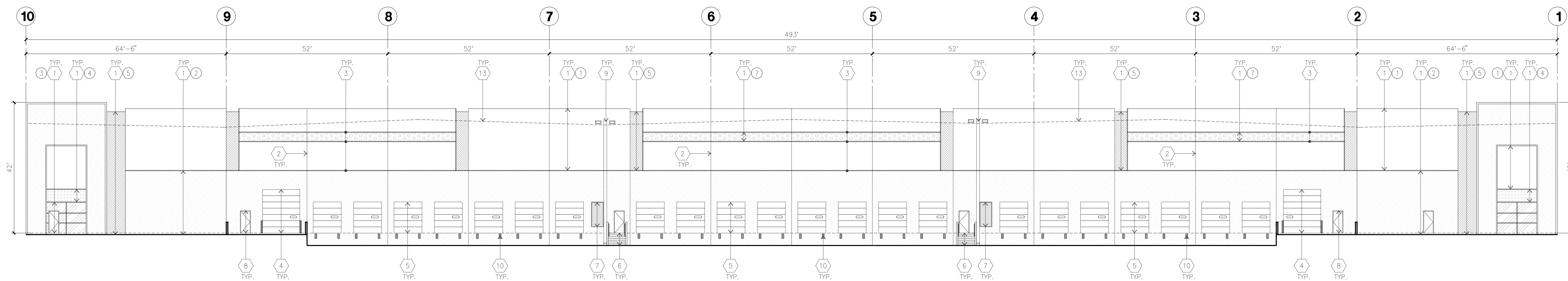
NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
- IV : INSULATED VISION GLASS
 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
 U: 0.27 SHGC: 0.21 VET 26%
 MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
 1/4" VISTACOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
 INSTALLED ON CONCRETE.

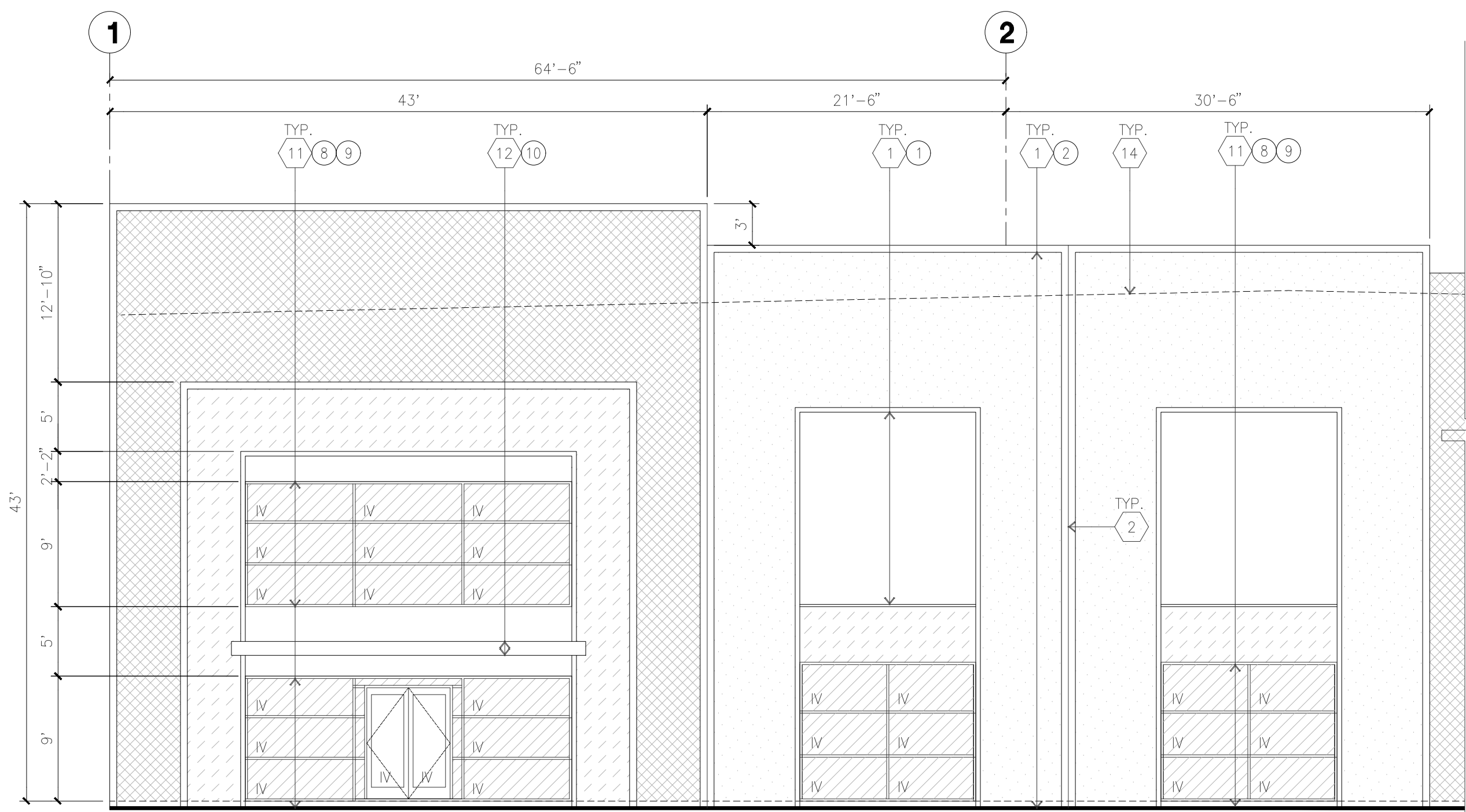
MULLIONS : ANODIZED CLEAR.



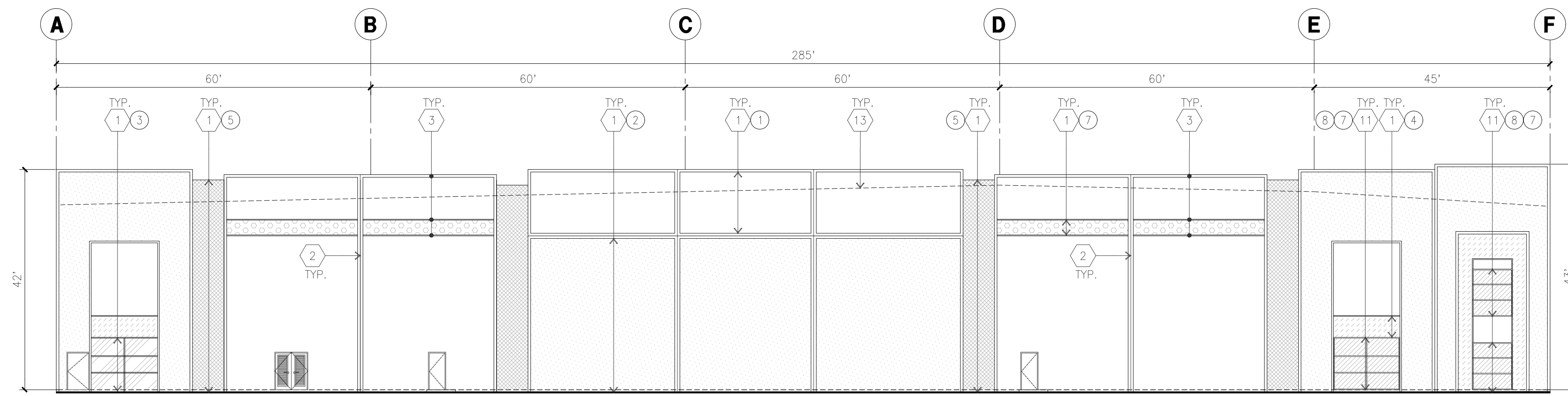
NORTH ELEVATION
 scale: 1/16" = 1'-0" A



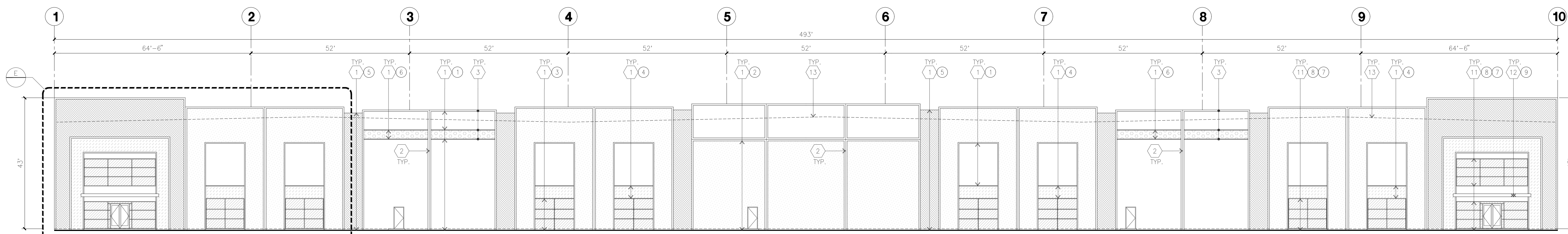
WEST ELEVATION
 scale: 1/16" = 1'-0" B



ENLARGED EAST ELEVATION
 scale: 1/8" = 1'-0" E



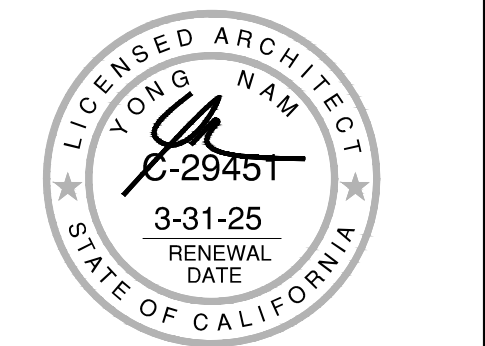
SOUTH ELEVATION
 scale: 1/16" = 1'-0" C



EAST ELEVATION
 scale: 1/16" = 1'-0" D



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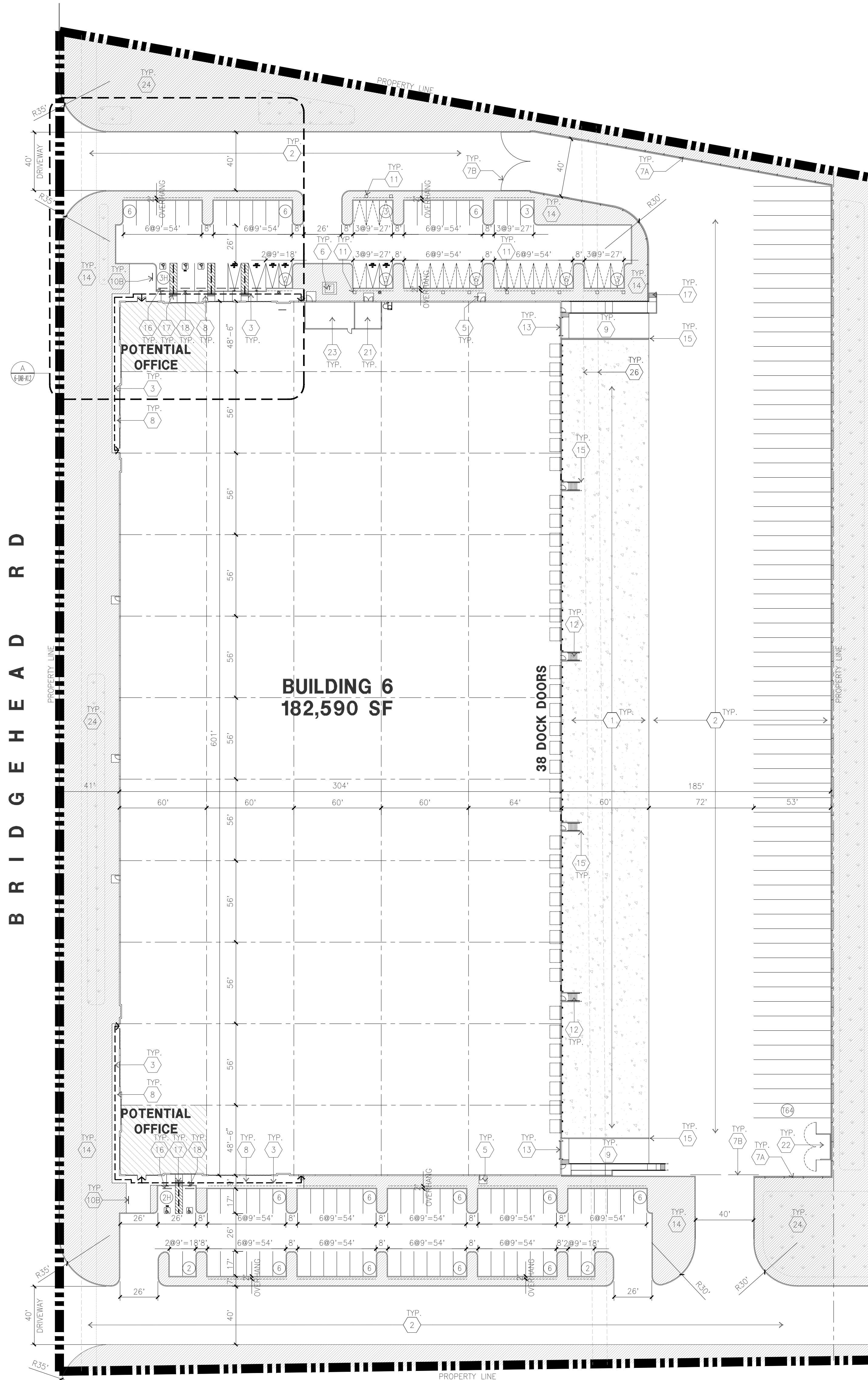
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Project:
BRIDGEHEAD INDUSTRIAL
 Oakley, CA

Consultants:
 Civil : KIER & WRIGHT
 Structural :
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 Landscape : YAMASAKI
 Fire Protection :
 Soils Engineer : CORNERSTONE

Title: ELEVATIONS
 Project Number: 22626
 Drawn by: KZ
 Date: 12/04/2023
 Revision:
 1st planning submittal 12/04/2023

Sheet:
4-DAB-A3.1



OVERALL SITE PLAN
 scale: 1" = 40'-0"
 SCALE: 1" = 40'-0"
 TRUE NORTH

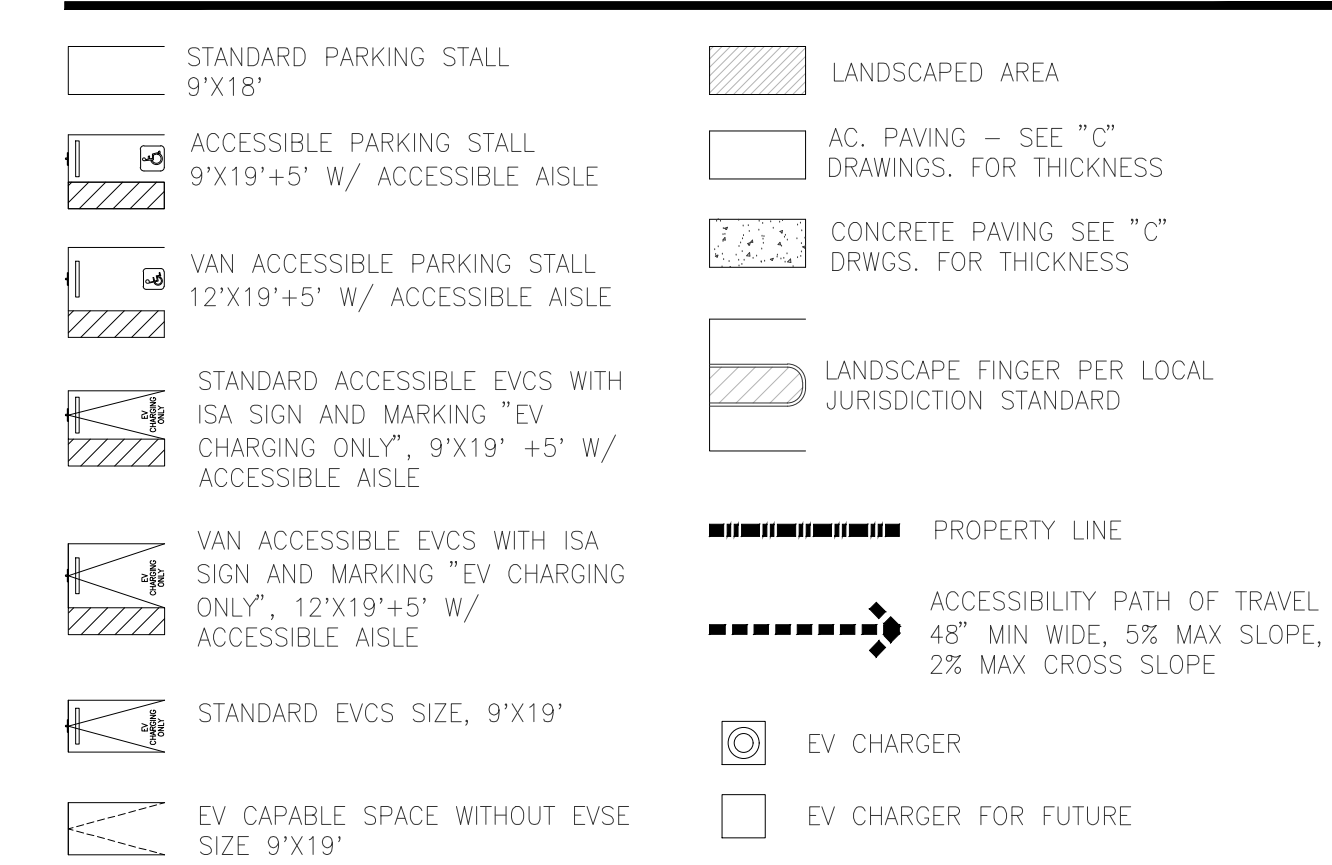
SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT, SEE "C" DRAWINGS.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
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- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- 23 ELECTRICAL ROOM.
- 24 STORM TREATMENT. SEE "C" DRAWINGS
- 25 EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS
- 26 EASEMENT TO BE VACATED

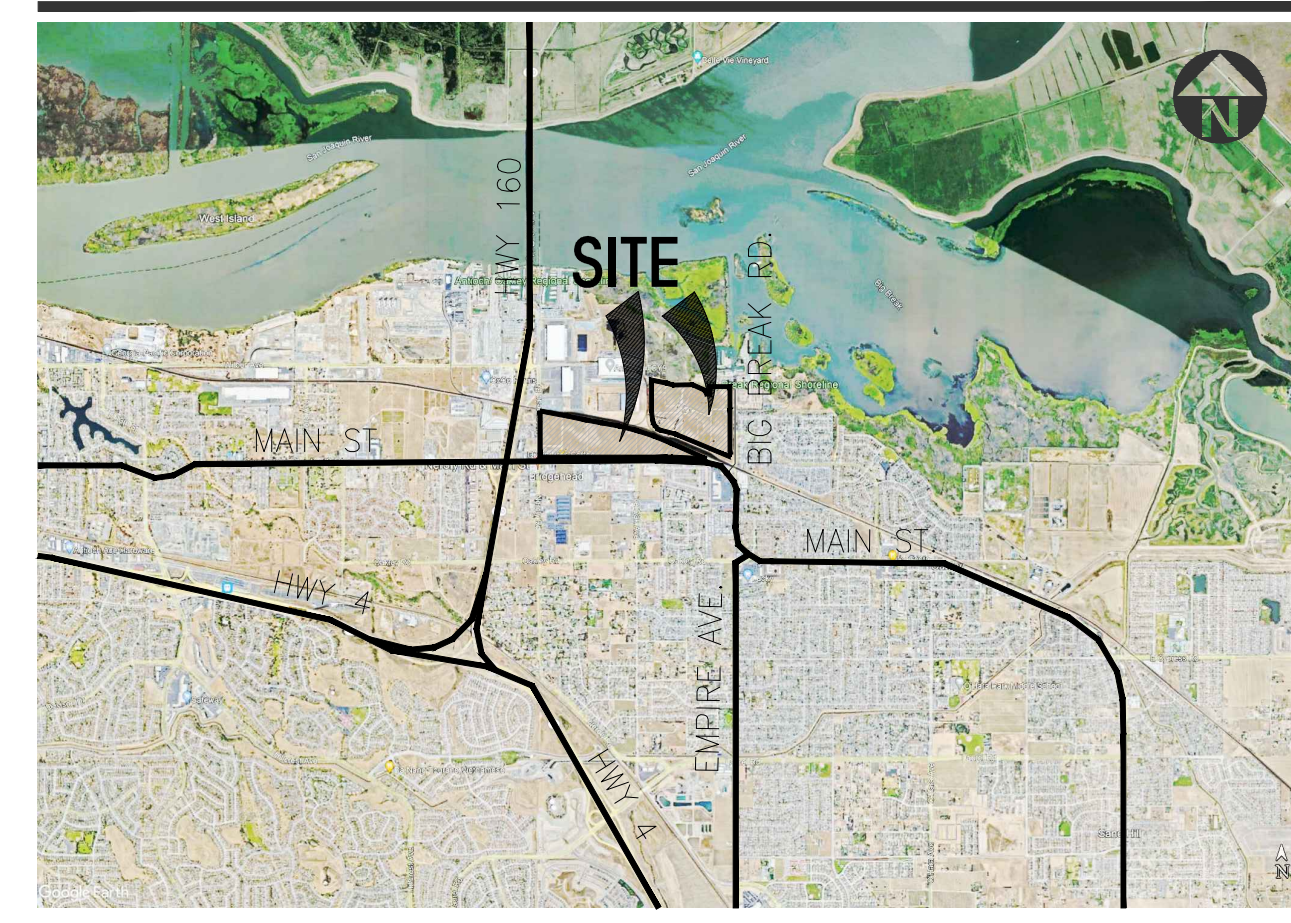
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY CORNERSTONE, PROJECT #1387-1-2, DATE 9/29/2023
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE
17. PROVIDE BOLLARDS AROUND THE HYDRANTS AND RISERS FOR PROTECTION.
18. ONLY LIGHT LOAD CONCRETE TRUCKS (8 CUBIC YARDS MAX.) ARE ALLOWED ON THE WAREHOUSE SLABS.
19. CONCRETE POUR STRIP AT DOCK DOORS TO BE FREE AND CLEAR OF ALL UNDERGROUND PIPING, CONDUITS, ETC. TO ALLOW FOR FUTURE RECESSED DOCK LEVELERS (MINIMUM 10" WIDE). CONDUIT TO BE PLACED IN THE POUR STRIP WITH THE LOADING DOCKS SHALL BE A MINIMUM OF 42" BELOW FINISH FLOOR.

SITE LEGEND



AERIAL MAP



TABULATION

		BLDG. 6	
SITE AREA			
In s.f.	462,326	sf	
In acres	10.6	ac	
BUILDING AREA			
Office	5,000	sf	
Warehouse	177,590	sf	
TOTAL	182,590	sf	
FLOOR AREA RATIO			
Maximum Allow ed	0.67		
Actual	0.39		
SITE COVERAGE			
Maximum Allow ed	50.0%		
Actual	39.5%		
AUTO PARKING REQUIRED (PROPOSED PARKING RATIO)			
Office: 1/250 s.f.	20	stalls	
Whse: 1/2,500 s.f.	71	stalls	
TOTAL	91	stalls	
AUTO PARKING PROVIDED			
Standard (9' x 19')	80	stalls	
Accessible Standard	3	stalls	
Accessible Van	2	stalls	
EV Capable	25	stalls	
- EV Capable w/ out EVSE	19	stalls	
- EV Capable w/ th EVSE	4	stalls	
- EV accessible Standard	1	stalls	
- EV Van accessible	1	stalls	
TOTAL	110	stalls	
TRAILER PARKING PROVIDED			
Trailer (10' x 53')	64	stalls	
BICYCLE PARKING REQUIRED			
Long term: 5% of required auto parking	5		
Short term: 5% of required auto parking	5		
BICYCLE PARKING PROVIDED			
Long term:	6		
Short term:	6		
ZONING ORDINANCE			
Zoning - P-1: Light Industrial			
PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT			
Height - 60'			
LANDSCAPE REQUIREMENT			
Percentage - 10%			
SETBACKS			
Building	Landscape		
Front - 10'	Front - 15'	Side - 10'	Rear - 10'
Side - 10'	Side - 10'	Rear - 10'	Rear - 10'
Rear - 0, adj to R zone - 20'	Rear - 10'	Rear - 10'	Rear - 10'



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Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

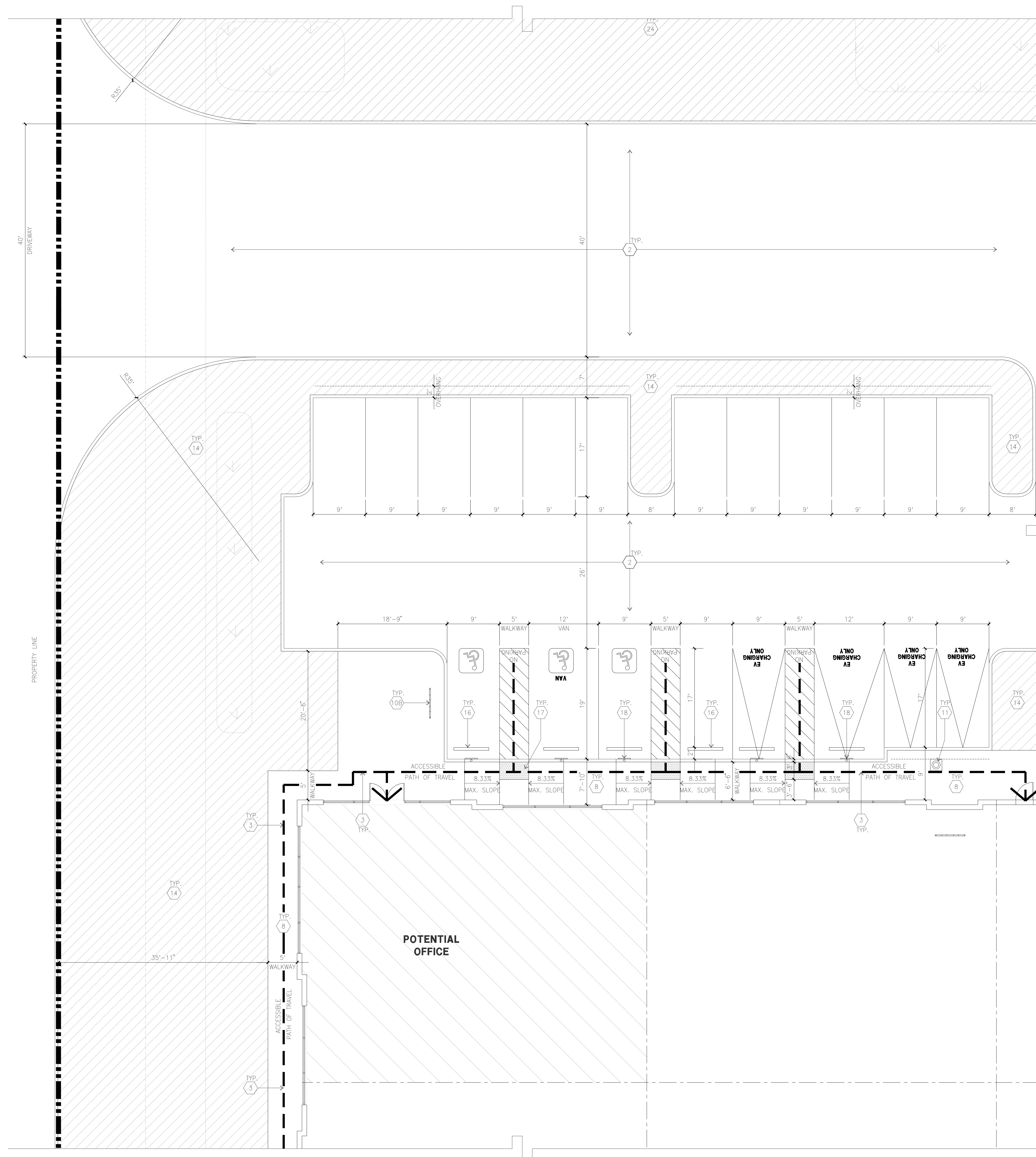
- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical : YAMASAKI
- Landscape : YAMASAKI
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: OVERALL SITE PLAN

Project Number: 22626
 Drawn by: KZ
 Date: 12/04/2023
 Revision:
 1st planning submittal 12/04/2023

Sheet:

6-DAB-A1.1



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT, SEE "C" DRAWINGS.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 7A 8' HIGH CHAIN LINK FENCE
- 7B 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT .
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 10A LONG TERM BIKE RACK. SEE 16/DAB-AD.1
- 10B SHORT TERM BIKE RACK. SEE DETAIL 16/DAB-AD.1
- 11 ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR CONCRETE STAIR.
- 13 12' x 16' DRIVE-IN DOOR
- 14 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
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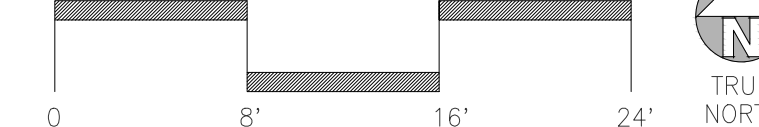
SITE LEGEND

- | | | | |
|--|---|--|---|
| | STANDARD PARKING STALL 9'x19' | | LANDSCAPED AREA |
| | ACCESSIBLE PARKING STALL 9'x19'+5' W/ ACCESSIBLE AISLE | | AC PAVING - SEE "C" DRAWINGS. FOR THICKNESS |
| | VAN ACCESSIBLE PARKING STALL 12'x19'+5' W/ ACCESSIBLE AISLE | | CONCRETE PAVING SEE "C" DRWGS. FOR THICKNESS |
| | STANDARD ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 9'x19' +5' W/ ACCESSIBLE AISLE | | LANDSCAPE FINGER PER LOCAL JURISDICTION STANDARD |
| | VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'x19'+5' W/ ACCESSIBLE AISLE | | PROPERTY LINE |
| | STANDARD EVCS SIZE, 9'x19' | | ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE |
| | EV CAPABLE SPACE WITHOUT EVSE SIZE 9'x19' | | EV CHARGER |
| | | | EV CHARGER FOR FUTURE |

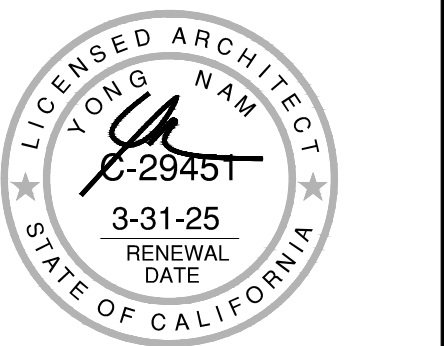
ENLARGED SITE PLAN

scale: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

- Civil : KIER & WRIGHT
Structural :
Mechanical :
Plumbing :
Landscape : YAMASAKI
Fire Protection :
Soils Engineer : CORNERSTONE

Title: ENLARGED SITE PLAN

- Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

6-DAB-A1.2

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING, SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC. TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 8" X 10" DOCK DOOR SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA, FINISH TO BE MEDIUM BLOWN FINISH, SLOPE TO BE 1/4" : 12" MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12" X 14" DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48" H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 NOT USED
- 15 NOT USED
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.
- 20 ROOF ACCESS LADDER.
- 21 FIRE PUMP ROOM.

GENERAL NOTES - FLOOR PLAN

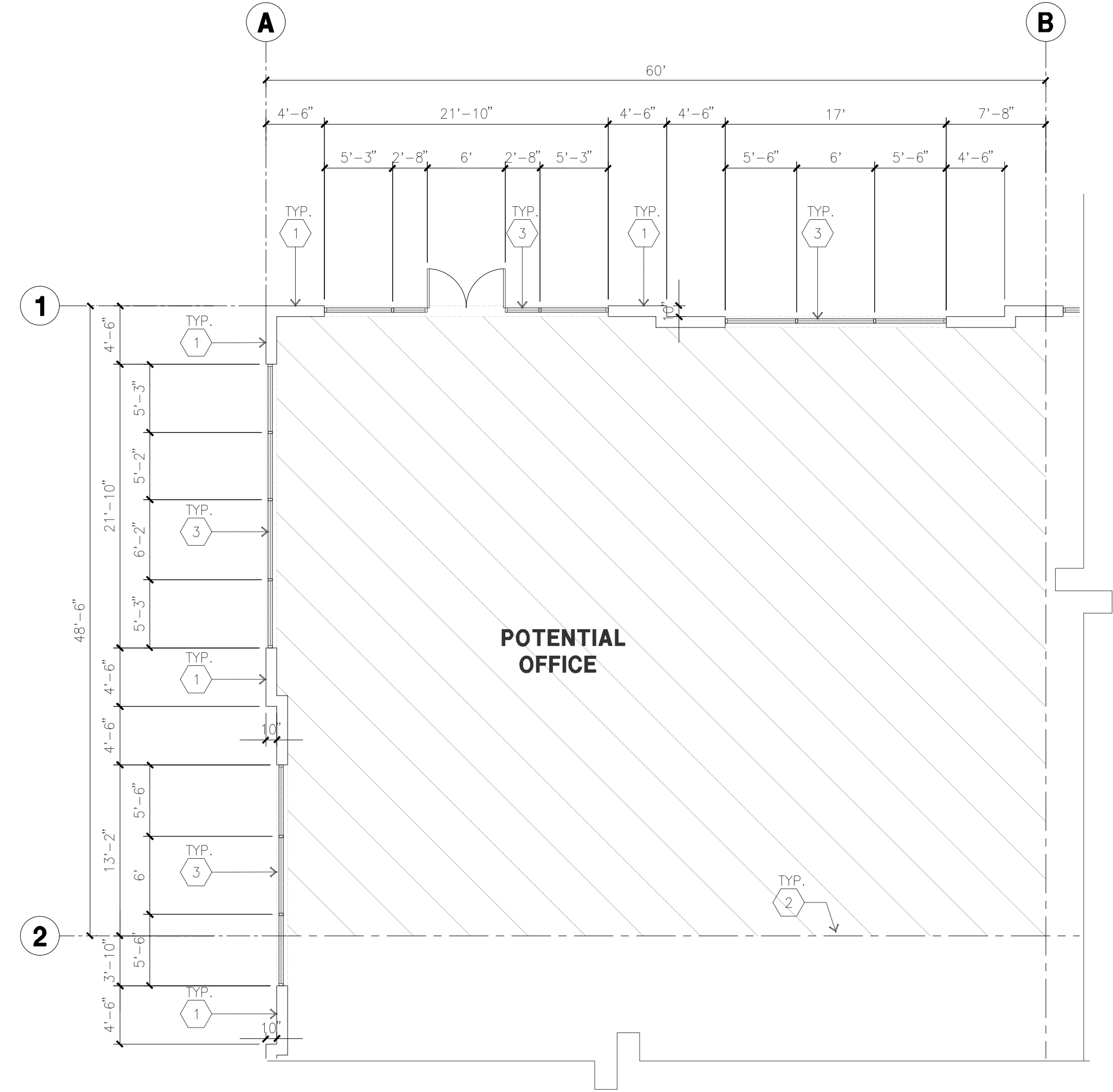
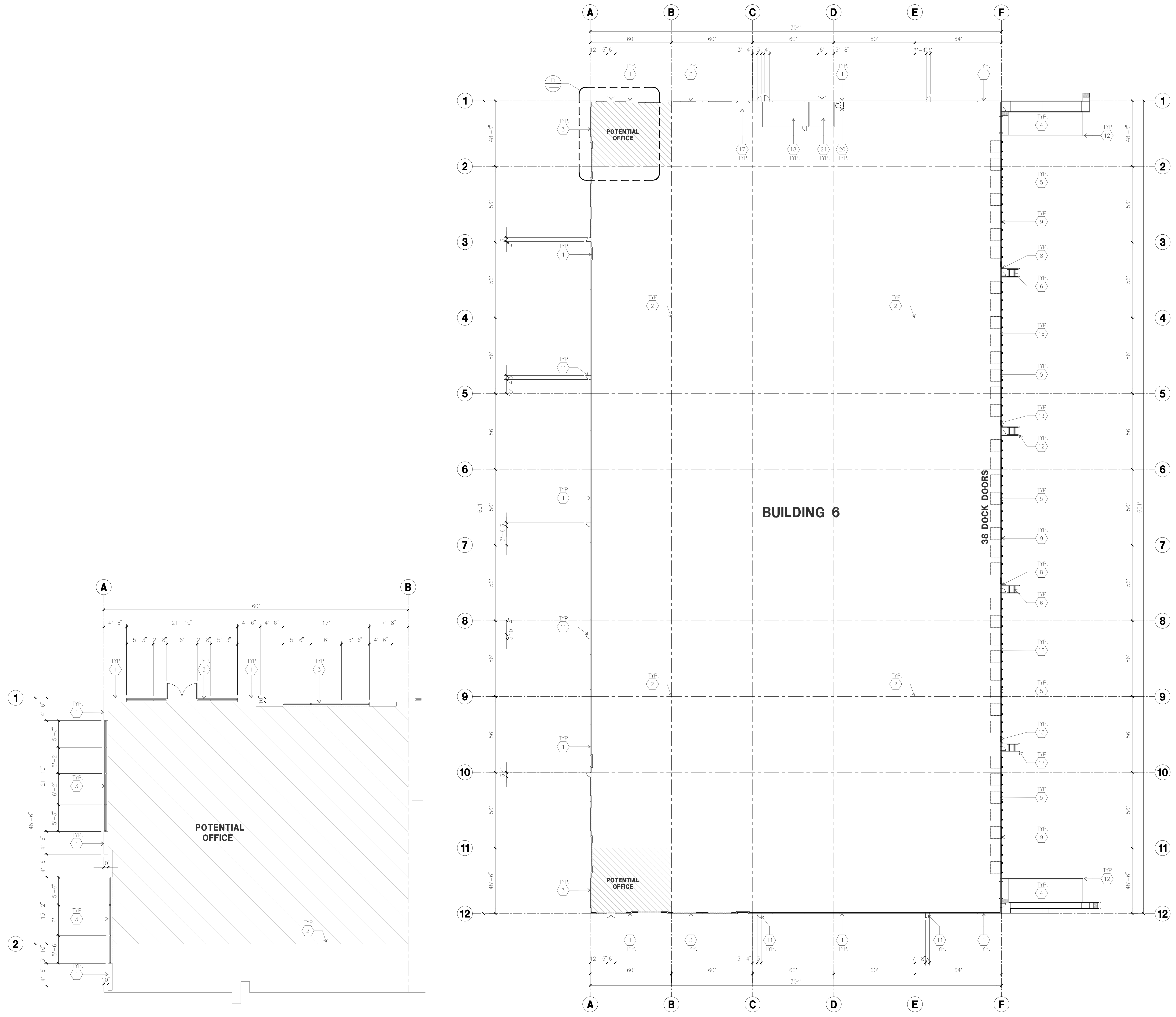
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPFERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

FLOOR SLAB AND POUR STRIPS REQ.

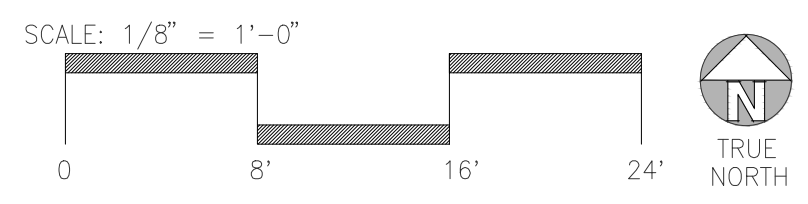
- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB - SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAPFERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER
 13. SHURESEAL/LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB
 15. NO RED CALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 16. 10' POUR STRIP AT TRUCK DOOR, 4FT. MAX. ELSEWHERE.
 17. ALL FLOOR SLAB NAH OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR EQUAL.
 18. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 19. MM-80 AT SPEED BAY ONLY, PRICE AS ADDITIONAL ALTERNATE

PAINT NOTES

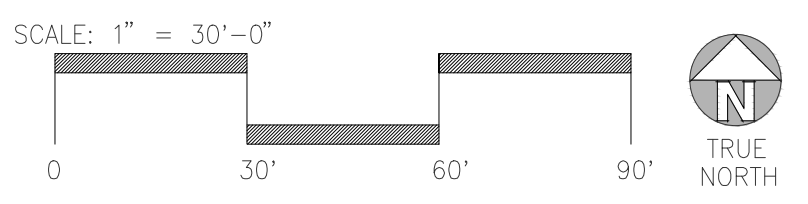
- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZEE "WHITE" ON INTERIOR WALLS.
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



OVERALL FLOOR PLAN
scale: 1" = 30'-0"



KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR, U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY
- 13 ROOF LINE BEYOND

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST WIND SPEED EXPOSURE COEFFICIENTS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7064 PASSIVE
- 3 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7065 ARGOS
- 4 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7066 GRAY MATTERS
- 5 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW9163 TIN LIZZIE
- 6 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW6524 COMMODORE
- 7 GLAZING COLOR : BLUE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 9 CANOPY MATERIAL : SHERWIN WILLIAMS SW7005 PURE WHITE
- 10 DOOR COLORS : MATCH BUILDING COLOR
- 11 CANOPY MATERIAL : METALLIC PAINT COOL TONE PRIMER

GLAZING LEGEND

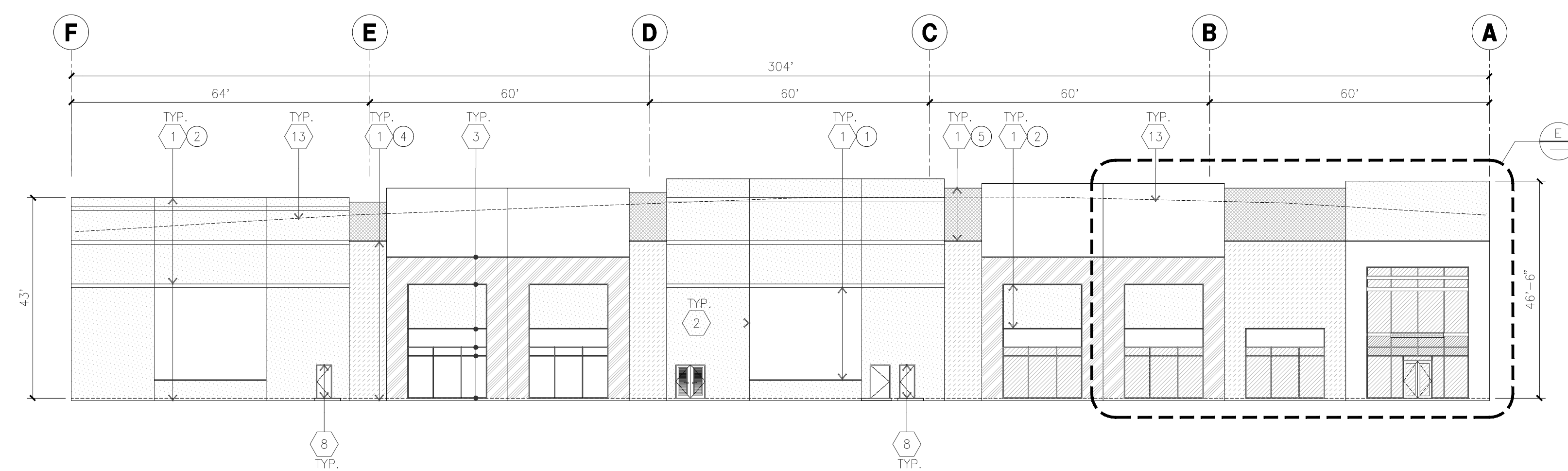
NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV INSULATED VISION GLASS
- SC SPANDREL GLASS WITH CONCRETE BEHIND

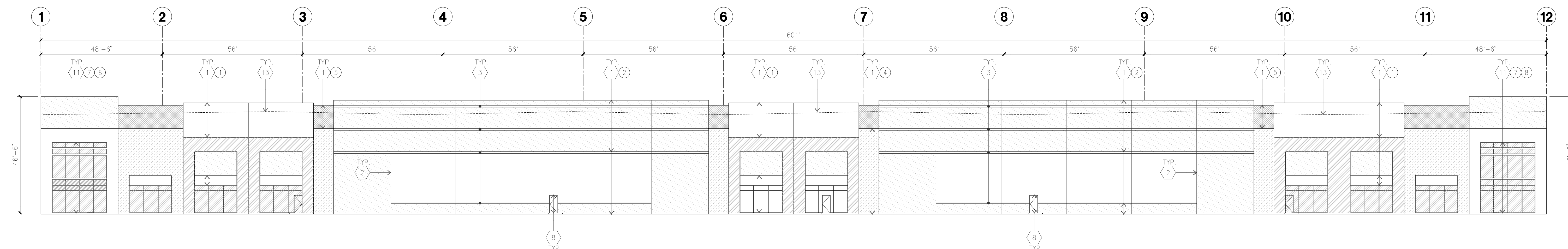
IV : INSULATED VISION GLASS
 1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
 U: 0.27 SHGC: 0.21 WT: 28%
 MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND
 1/4" VISTACOL PACIFICA WITH GPACI-COAT-300 WARM GRAY
 INSTALLED ON CONCRETE.

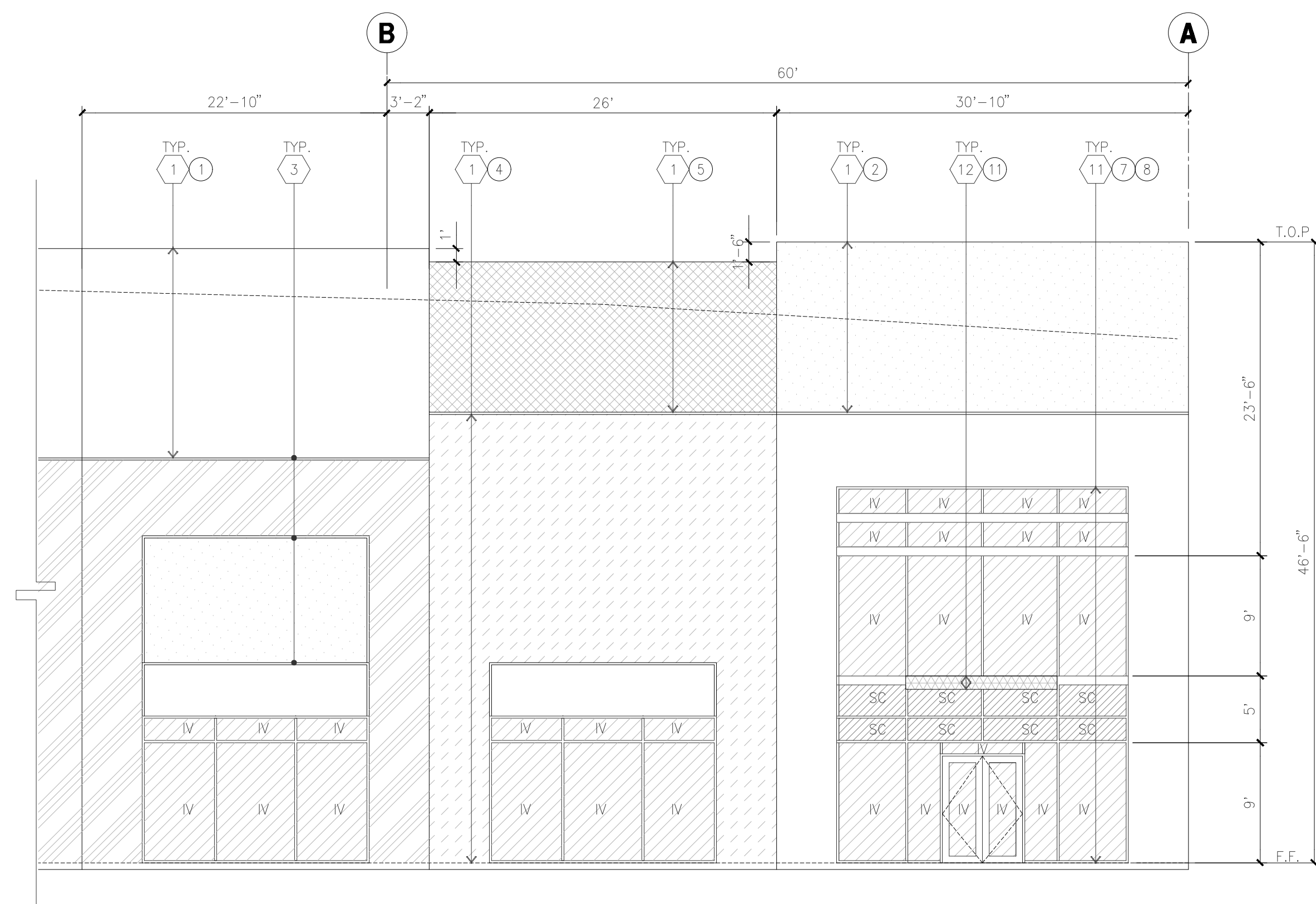
MULLIONS : ANODIZED CLEAR.



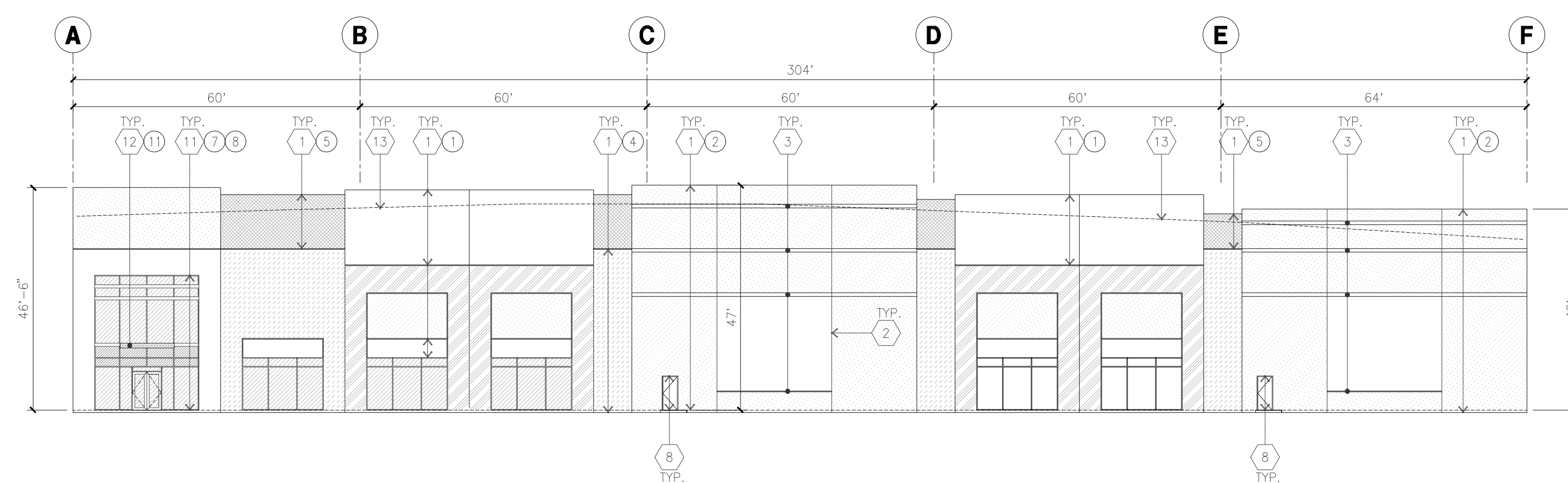
NORTH ELEVATION
 scale: 1" = 20'-0" A



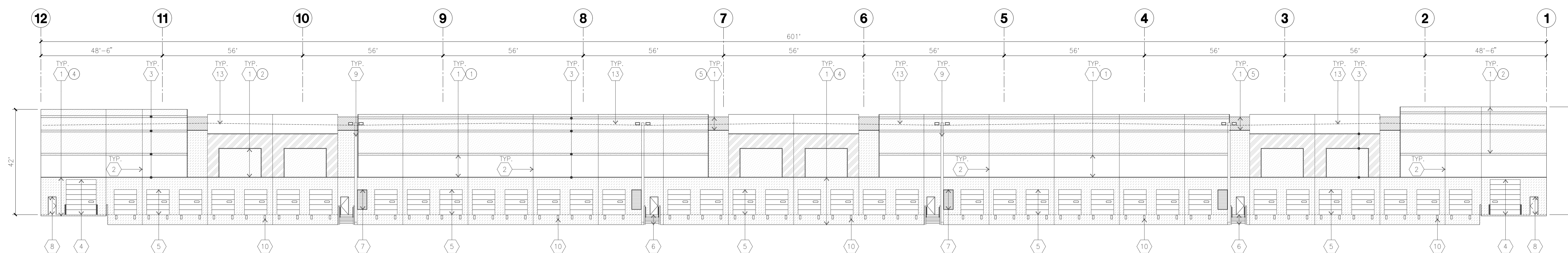
WEST ELEVATION
 scale: 1" = 20'-0" B



ENLARGED NORTH ELEVATION
 scale: 1/8" = 1'-0" E



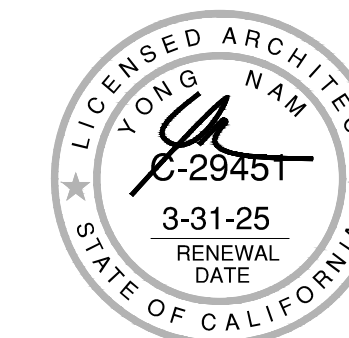
SOUTH ELEVATION
 scale: 1" = 20'-0" C



EAST ELEVATION
 scale: 1" = 20'-0" D



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Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

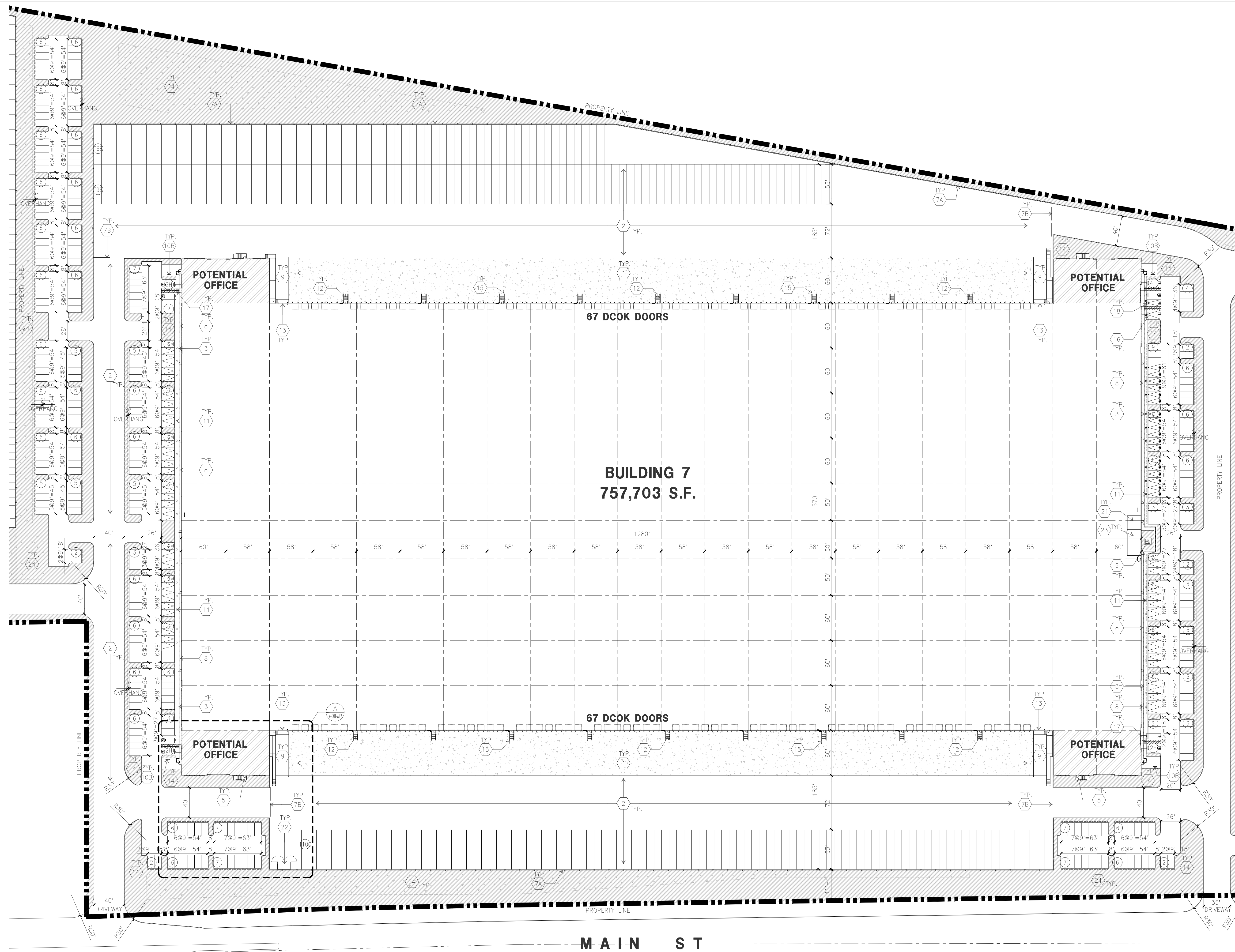
- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical :
- Landscape : YAMASAKI
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: ELEVATION

Project Number: 22626
 Drawn by: KZ
 Date: 12/04/2023
 Revision:
 1st planning submittal 12/04/2023

Sheet:

6-DAB-A3.1



OVERALL SITE PLAN
 scale: 1" = 60'-0"
 SCALE: 1" = 60'-0"
 TRUE NORTH

SITE PLAN GENERAL NOTES

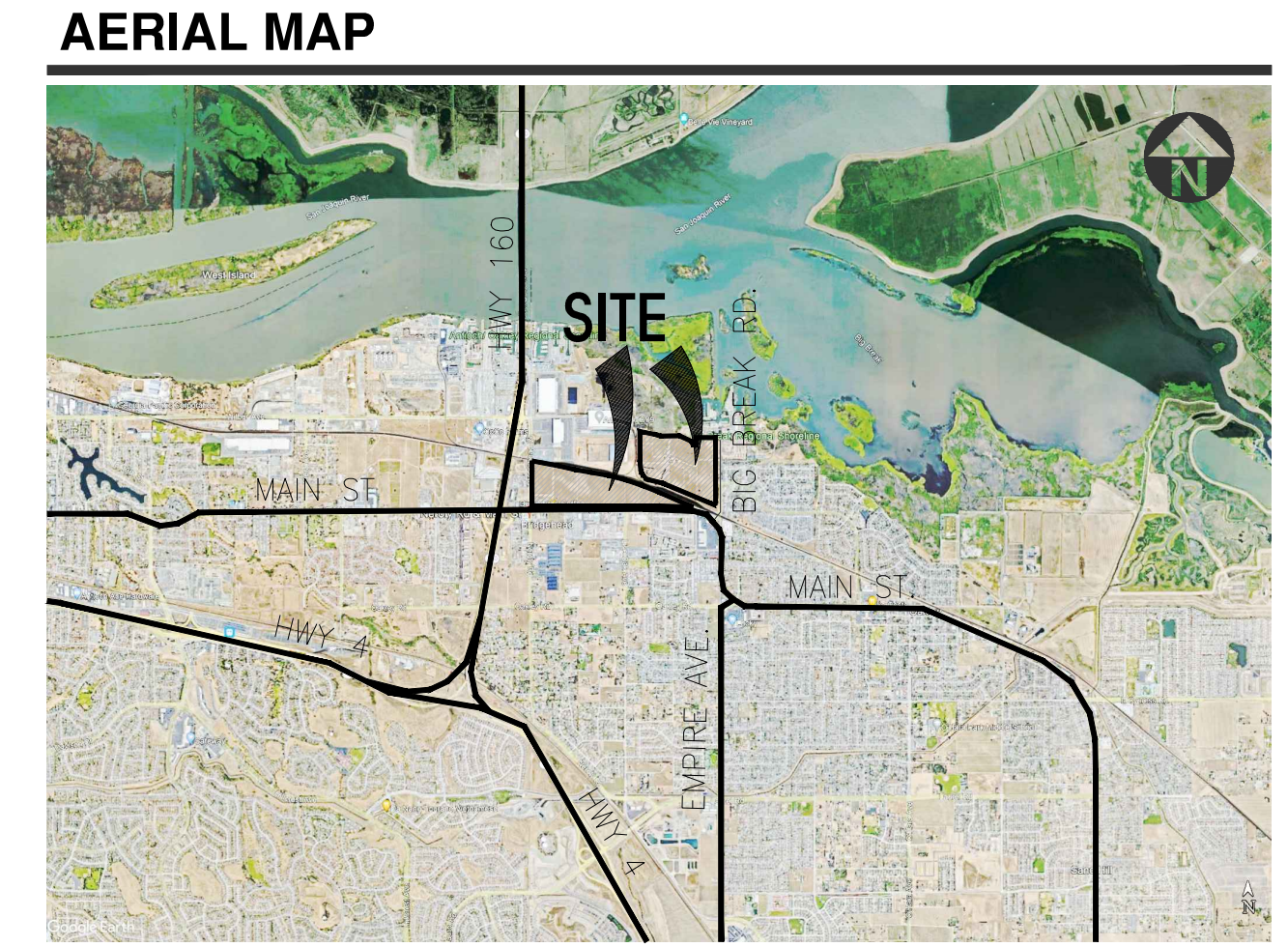
1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY CORNERSTONE, PROJECT #1387-1-2, DATE 9/29/2023
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE
17. PROVIDE BOLLARDS AROUND THE HYDRANTS AND RISERS FOR PROTECTION.
18. ONLY LIGHT LOAD CONCRETE TRUCKS (8 CUBIC YARDS MAX.) ARE ALLOWED ON THE WAREHOUSE SLABS
19. CONCRETE POUR STRIP AT DOCK DOORS TO BE FREE AND CLEAR OF ALL UNDERGROUND PIPING, CONDUITS, ETC. TO ALLOW FOR FUTURE RECESSED DOCK LEVELERS (MINIMUM 10" WIDE). CONDUIT TO BE PLACED IN THE POUR STRIP WITH THE LOADING DOCKS SHALL BE A MINIMUM OF 42" BELOW FINISH FLOOR.

SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
2. ASPHALT CONCRETE (AC) PAVING
3. ACCESSIBLE PATH OF TRAVEL
4. DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
5. 9'-6"x9'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY
- 7A. 8" HIGH CHAIN LINK FENCE
- 7B. 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
8. CONCRETE WALKWAY, MEDIUM BROOM FINISH.
9. CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 10A. LONG TERM BIKE RACK. SEE 16/DAB-AD.1
- 10B. SHORT TERM BIKE RACK. SEE DETAIL 16/DAB-AD.1
11. ELECTRIC VEHICLE CHARGER.
12. EXTERIOR CONCRETE STAIR.
13. 12' x 16' DRIVE-IN DOOR
14. LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
15. CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
16. PRE-CAST CONC. WHEEL STOP.
17. TRUNCATED DOMES.
18. ACCESSIBLE PARKING STALL SIGN.
19. HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
20. ACCESSIBLE ENTRY SIGN.
21. PUMP ROOM.
22. TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
23. ELECTRICAL ROOM.
24. STORM TREATMENT. SEE "C" DRAWINGS
25. EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS

SITE LEGEND

- STANDARD PARKING STALL
- ACCESSIBLE PARKING STALL
- ACCESSIBLE PARKING STALL 9'x19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE PARKING STALL 12'x19'+5' W/ ACCESSIBLE AISLE
- STANDARD ACCESSIBLE EVCS WITH USA SIGN AND MARKING "EV CHARGING ONLY". 9'x19'+5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE EVCS WITH USA SIGN AND MARKING "EV CHARGING ONLY". 12'x19'+5' W/ ACCESSIBLE AISLE
- STANDARD EVCS SIZE, 9'x19'
- EV CAPABLE SPACE WITHOUT EVSE SIZE 9'x19'
- LANDSCAPED AREA
- AC. PAVING - SEE "C" DRAWINGS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
- LANDSCAPE FINISH PER LOCAL JURISDICTION STANDARD
- PROPERTY LINE
- ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE
- EV CHARGER
- EV CHARGER FOR FUTURE

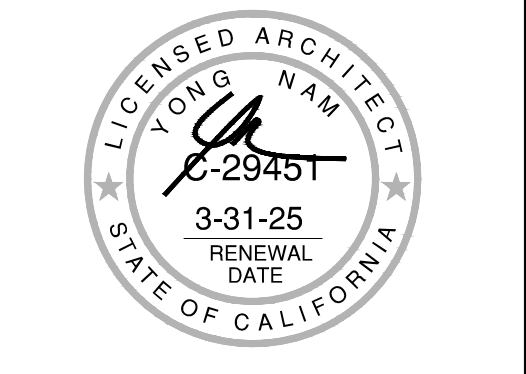


TABULATION

		BLDG. 7	
SITE AREA			
In s.f.	1,626,219	sf	
In acres	37.3	ac	
BUILDING AREA			
Office	9,000	sf	
Warehouse	748,703	sf	
TOTAL	757,703	sf	
FLOOR AREA RATIO			
Maximum Allowed	0.67		
Actual	0.47		
SITE COVERAGE			
Maximum Allowed	50.0%		
Actual	46.6%		
AUTO PARKING REQUIRED (PROPOSED PARKING RATIO)			
Office: 1/250 s.f.	36	stalls	
Whse: 1/2,500 s.f.	299	stalls	
TOTAL	335	stalls	
AUTO PARKING PROVIDED			
Standard (9' x 19')	305	stalls	
Accessible Standard	4	stalls	
Accessible Van	4	stalls	
EV Capable	79	stalls	
- EV Capable without EVSE	59	stalls	
- EV Capable with EVSE	18	stalls	
- EV accessible Standard	1	stalls	
- EV Van accessible	1	stalls	
TOTAL	392	stalls	
TRAILER PARKING PROVIDED			
Trailer (10' x 53')	266	stalls	
BICYCLE PARKING REQUIRED			
Long term: 5% of required auto parki	17		
Short term: 5% of required auto parki	17		
BICYCLE PARKING PROVIDED			
Long term:	18		
Short term:	18		
ZONING ORDINANCE			
Zoning - P-1: Light Industrial			
PROPOSED MAXIMUM ALLOWABLE BUILDING HEIGHT			
Height - 60'			
LANDSCAPE REQUIREMENT			
Percentage - 10%			
SETBACKS		Landscape	
Building		Front - 15'	
Front - 10'		Side - 10'	
Side - 10'		Rear - 10'	
Rear - 0, adj to R zone - 20'			



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 Oakley, CA

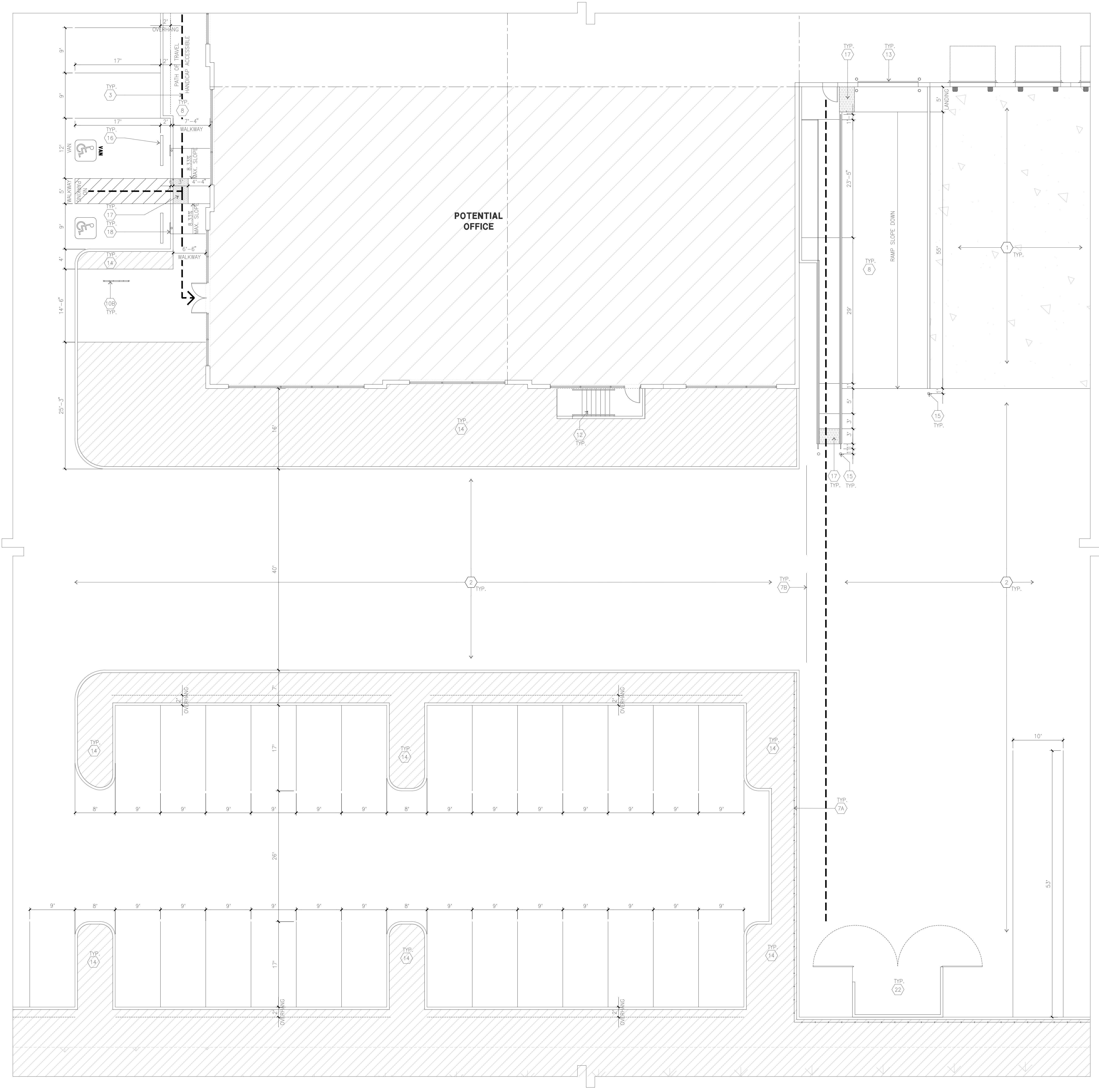
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 Civil: KIER & WRIGHT
 Structural:
 Mechanical:
 Plumbing:
 Electrical:
 Landscape: YAMASAKI
 Fire Protection:
 Soils Engineer: CORNERSTONE

Title: **OVERALL SITE PLAN**

Project Number: 22626
 Drawn by: KZ
 Date: 12/04/2023
 Revision:
 1st planning submittal 12/04/2023

Sheet:

7-DAB-A1.1



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
- 2 ASPHALT CONCRETE (AC) PAVING
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- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE. SEE DETAIL SHEET DAB-AD.1
- 23 ELECTRICAL ROOM.
- 24 STORM TREATMENT. SEE "C" DRAWINGS
- 25 EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS

SITE PLAN GENERAL NOTES

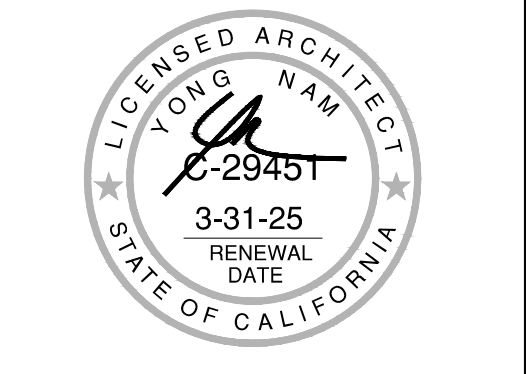
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SITE LEGEND

	STANDARD PARKING STALL 9'x18'		LANDSCAPED AREA
	ACCESSIBLE PARKING STALL 9'x19'+5' W/ ACCESSIBLE AISLE		AC. PAVING - SEE "C" DRAWINGS. FOR THICKNESS
	VAN ACCESSIBLE PARKING STALL 12'x19'+5' W/ ACCESSIBLE AISLE		CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS
	STANDARD ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 9'x19' +5' W/ ACCESSIBLE AISLE		LANDSCAPE FINGER PER LOCAL JURISDICTION STANDARD
	VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'x19'+5' W/ ACCESSIBLE AISLE		PROPERTY LINE
	STANDARD EVCS SIZE, 9'x19'		ACCESSIBILITY PATH OF TRAVEL 48" MIN WIDE, 5% MAX SLOPE, 2% MAX CROSS SLOPE
	EV CAPABLE SPACE WITHOUT EVSE SIZE 9'x19'		EV CHARGER
			EV CHARGER FOR FUTURE



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Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical : YAMASAKI
- Landscape :
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: ENLARGED SITE PLAN

Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

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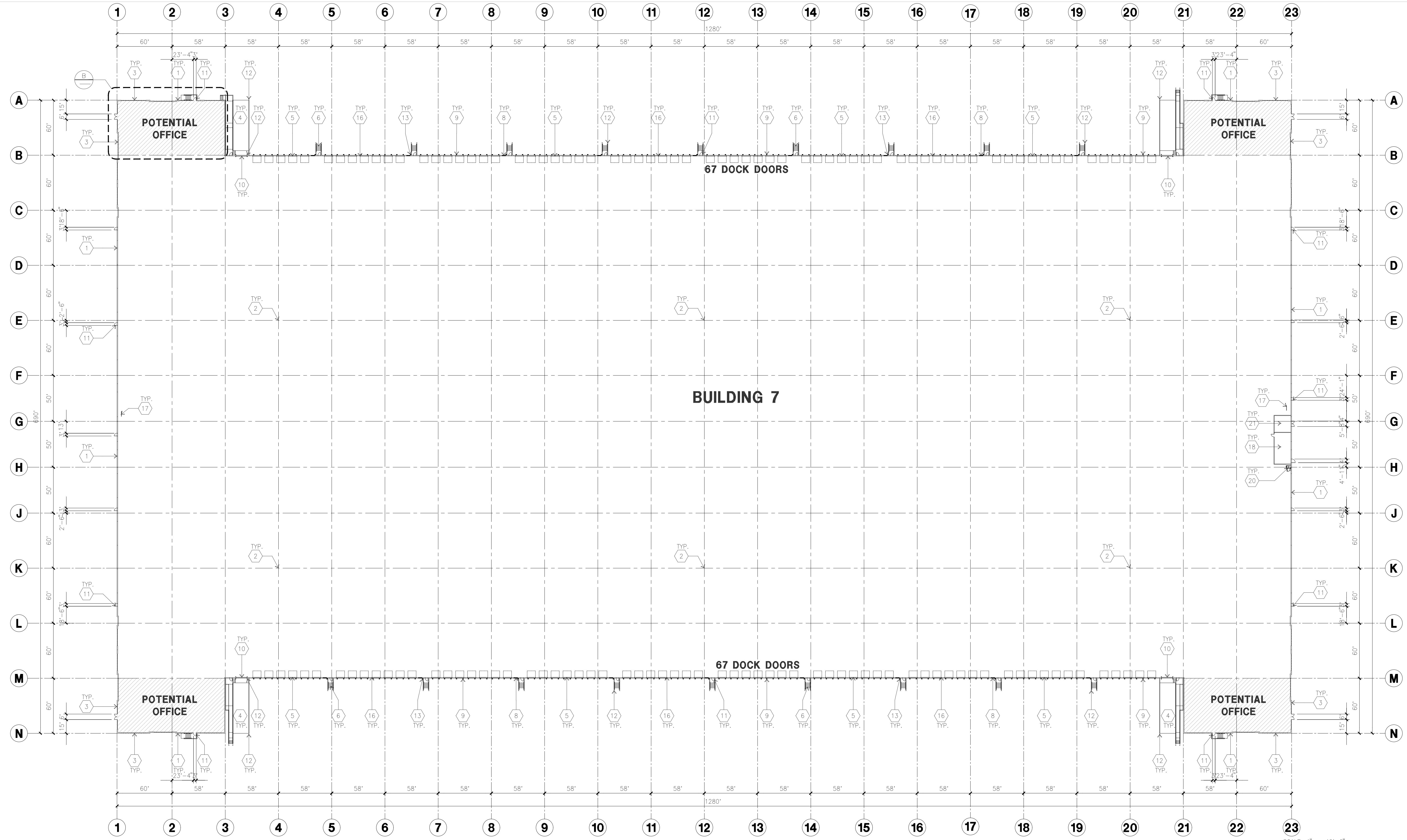
Consultants:

Civil: KIER & WRIGHT
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: YAMASAKI
Fire Protection:
Soils Engineer: CORNERSTONE

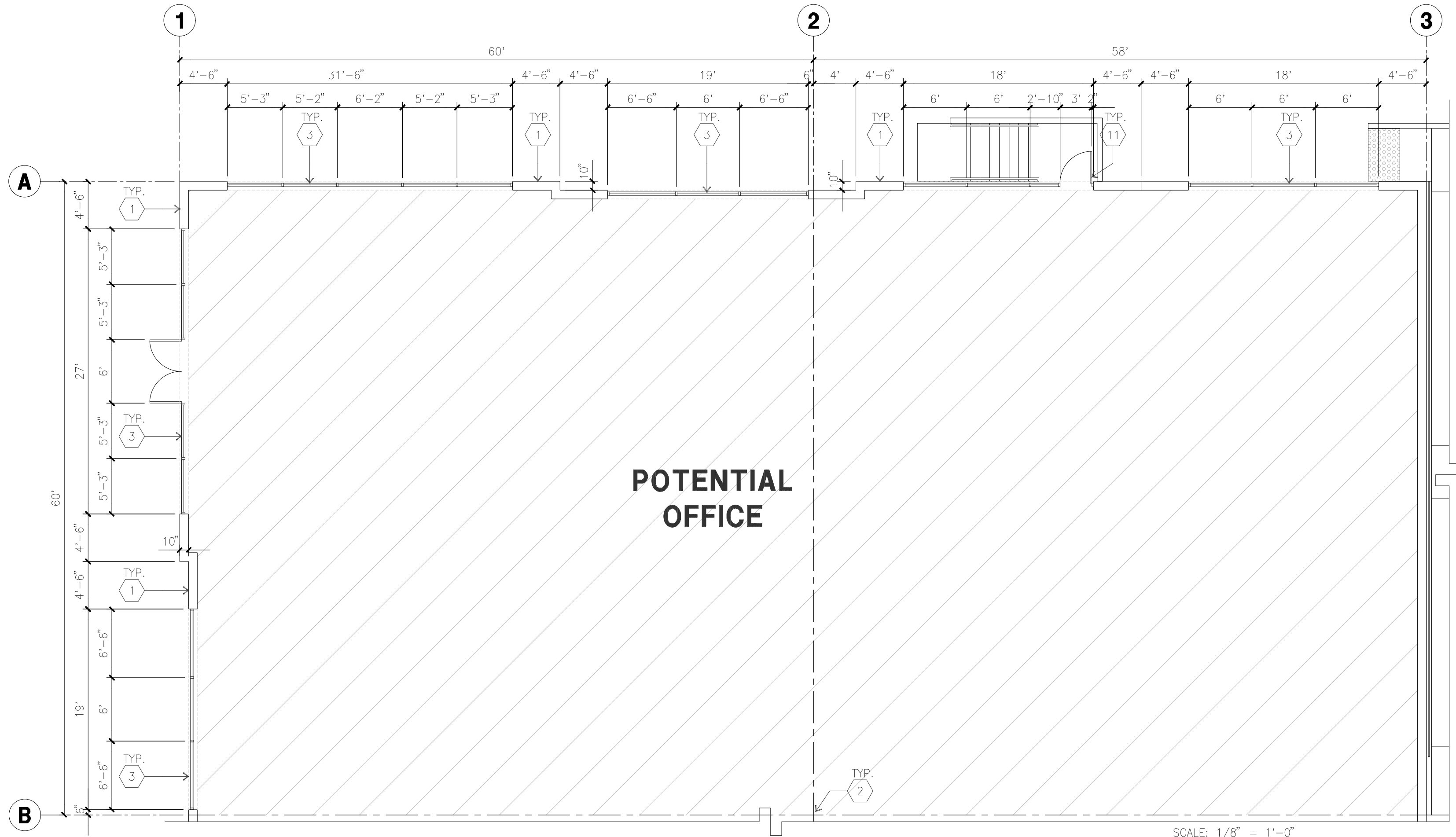
Title: OVERALL FLOOR PLAN

Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:



OVERALL FLOOR PLAN
scale: 1" = 40'-0"
TRUE NORTH



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
TRUE NORTH

KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 7' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6) EXTERIOR METAL STAIR.
- (7) 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- (8) 4'X8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) NOT USED.
- (15) NOT USED.
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
- (19) METAL CANOPY ABOVE.
- (20) ROOF ACCESS LADDER.
- (21) FIRE PUMP ROOM.

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' O.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6.
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION = 95%
 2. TRENCH COMPACTION = 90%
 3. BUILDING FLOOR SLAB- SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET DURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER.
 13. SHURESEAL/LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB.
 15. NO RED CALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND V 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. M-M-50 AT SPEED BAY ONLY. PRICE AS ADDITIONAL. ALTERNATE.

PAINT NOTES

- INTERIOR CYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT FRAZEE "WHITE" ON INTERIOR WALLS.
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

Developer:



1280 Civic Drive, Suite 204
Walnut Creek, CA 94596
Tel: 626-521-9990

Project:

BRIDGEHEAD INDUSTRIAL

Oakley, CA

Consultants:

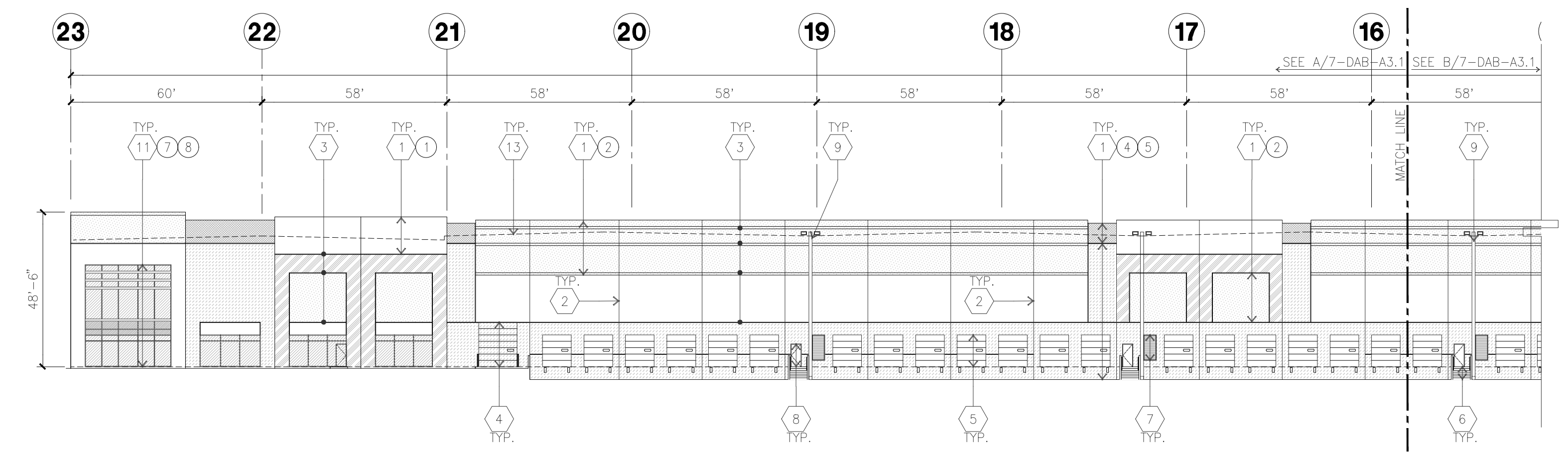
- Civil : KIER & WRIGHT
- Structural :
- Mechanical :
- Plumbing :
- Electrical :
- Landscape : YAMASAKI
- Fire Protection :
- Soils Engineer : CORNERSTONE

Title: ELEVATION

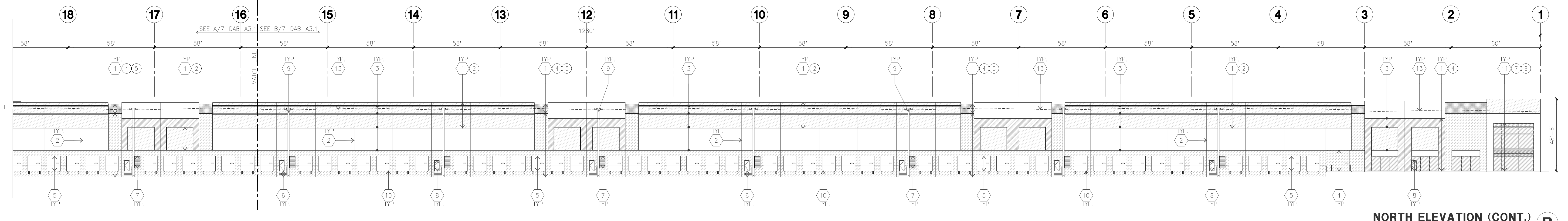
Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:
1st planning submittal 12/04/2023

Sheet:

7-DAB-A3.1



NORTH ELEVATION
scale: 1" = 30'-0"



NORTH ELEVATION (CONT.)
scale: 1" = 30'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "F" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 2" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY.
- 13 ROOF LINE BEYOND.

GENERAL NOTES - ELEVATIONS

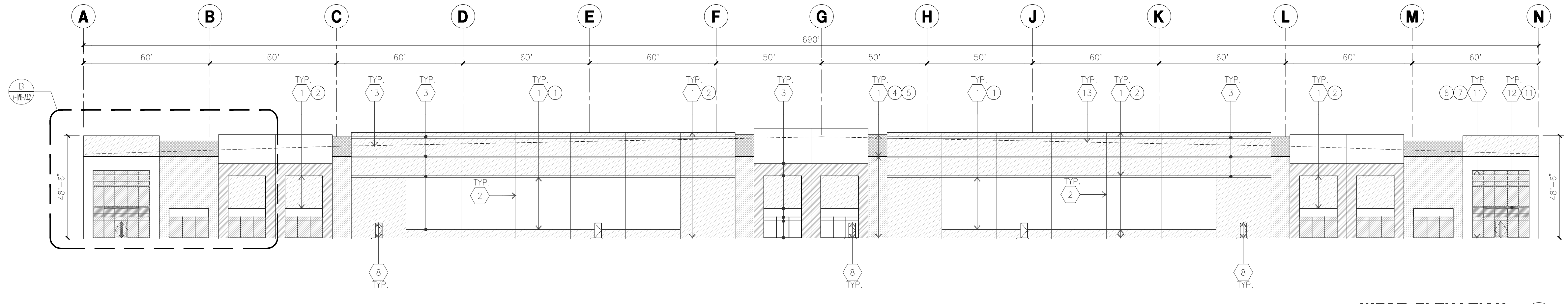
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE TO WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. RAILINGS TO MATCH BUILDING COLOR.
- N. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

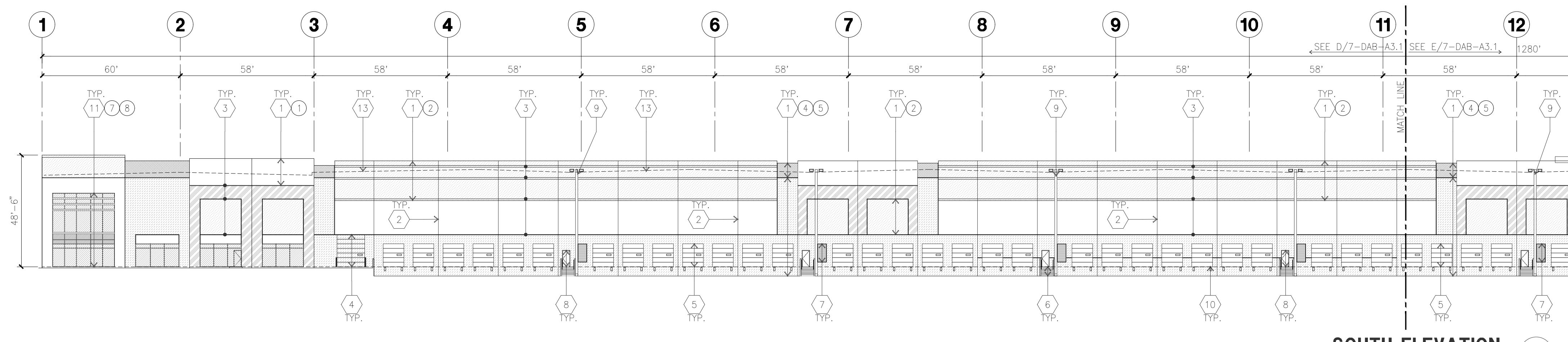
- 1 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7064 PASSIVE
- 3 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7065 ARGOS
- 4 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW7066 GRAY MATTERS
- 5 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW9163 TIN LIZZIE
- 6 CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW6524 COMMODORE
- 7 GLAZING COLOR : BLUE GLAZING
- 8 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 9 CANOPY MATERIAL : SHERWIN WILLIAMS SW7005 PURE WHITE
- 10 DOOR COLORS : MATCH BUILDING COLOR
- 11 CANOPY MATERIAL : METALLIC PAINT COOL TONE PRIMER

GLAZING LEGEND

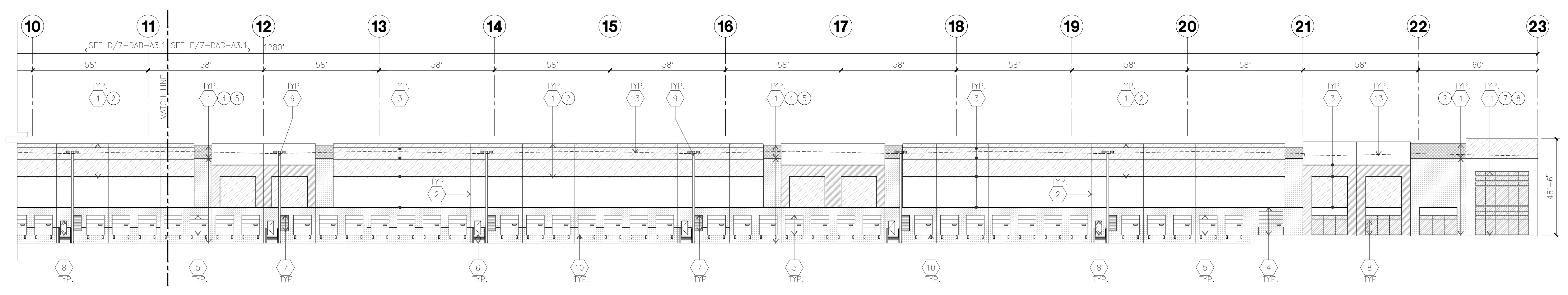
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS
 - INSULATED VISION GLASS WITH CONCRETE BEHIND
- N : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 20%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.
- MULLIONS : ANODIZED CLEAR.



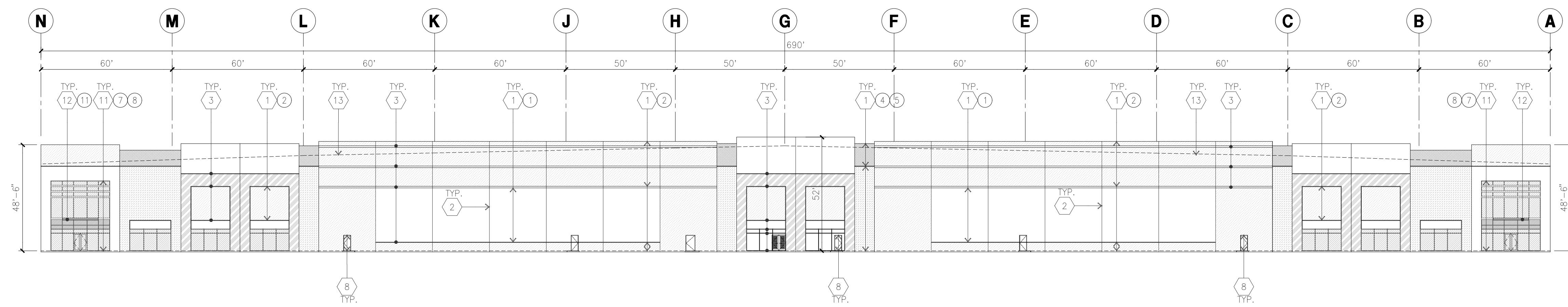
WEST ELEVATION
scale: 1" = 30'-0"



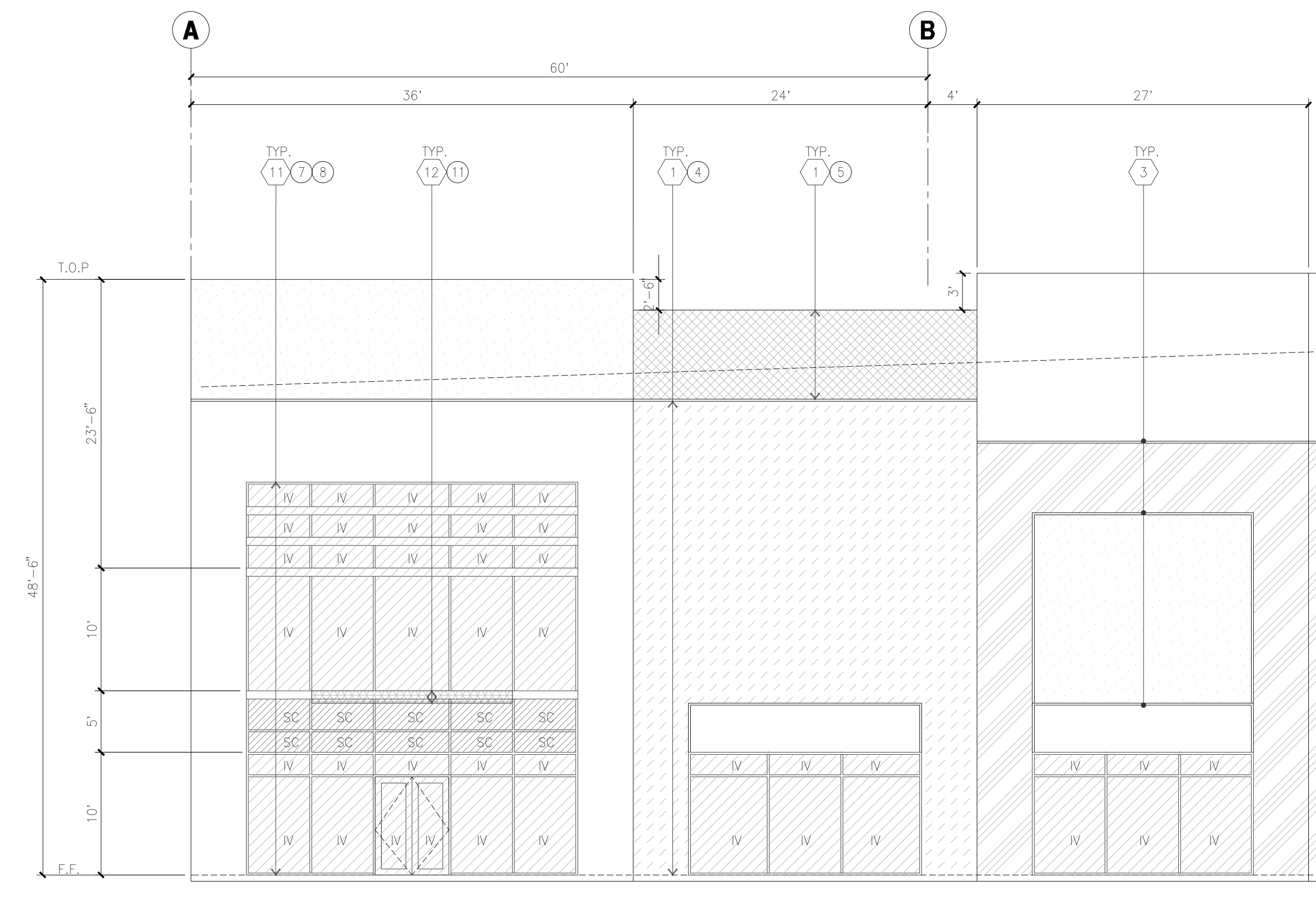
SOUTH ELEVATION
scale: 1" = 30'-0"



SOUTH ELEVATION (CONT.)
scale: 1" = 30'-0"



EAST ELEVATION
scale: 1" = 30'-0" **A**



ENLARGED WEST ELEVATION
scale: 1/8" = 1'-0" **B**

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE C. DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
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- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
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- 10 DOCK BUMPER.
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- 13 ROOF LINE BEYOND

GENERAL NOTES - ELEVATIONS

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ELEVATION COLOR LEGEND/SCHED.

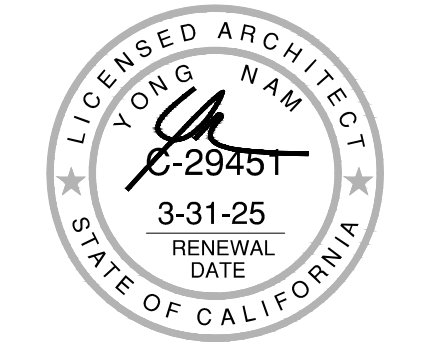
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GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM WT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.
- MULLIONS : ANODIZED CLEAR.



hpa, inc.
600 Grand Ave, suite 302
oakland, ca
94610
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Developer:



1280 Civic Drive, Suite 204
Walnut Creek, CA 94596
Tel: 626-521-9990

Project:

BRIDGEHEAD INDUSTRIAL

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Consultants:

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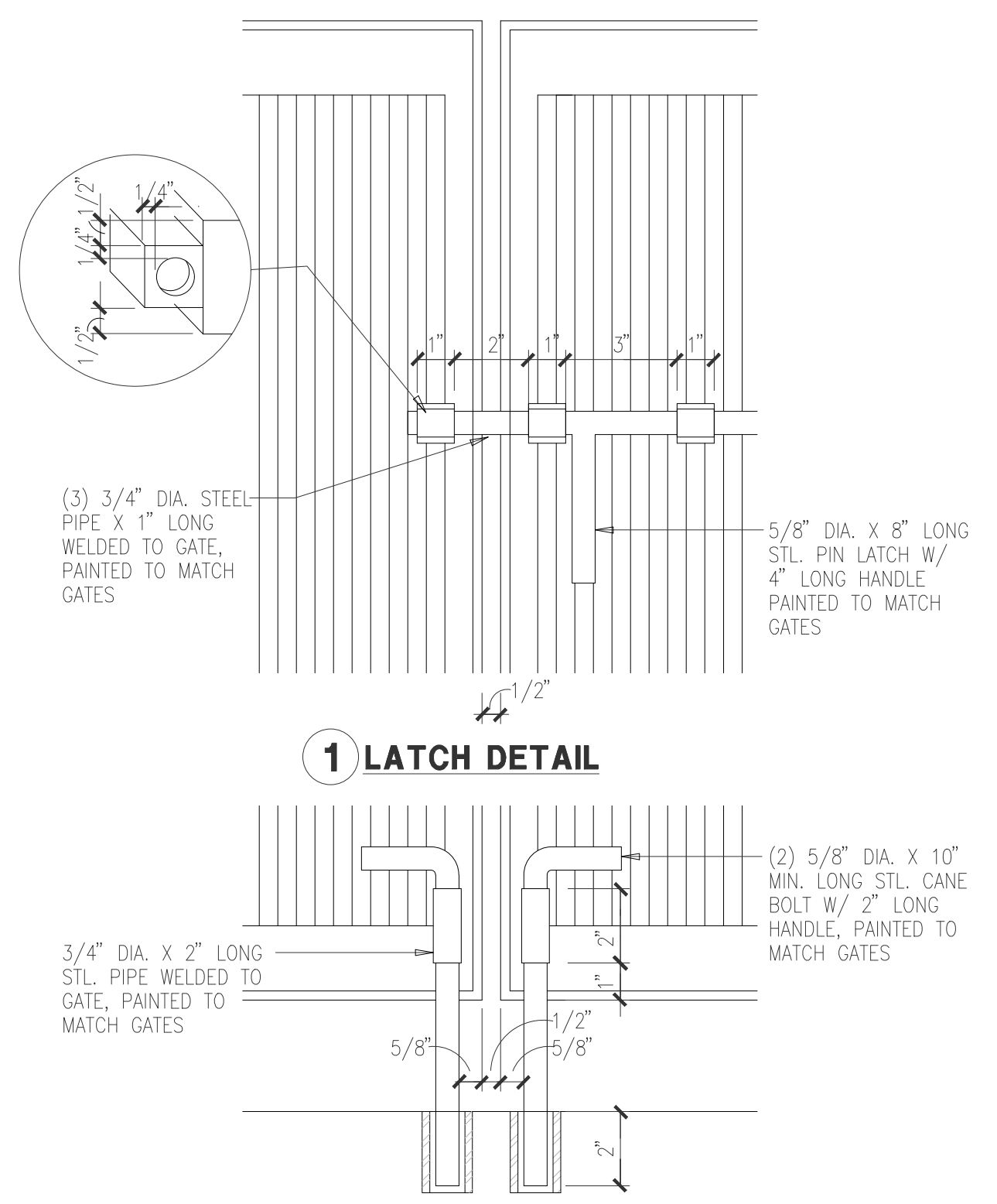
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Project Number: 22626
Drawn by: KZ
Date: 12/04/2023
Revision:

1st planning submittal 12/04/2023

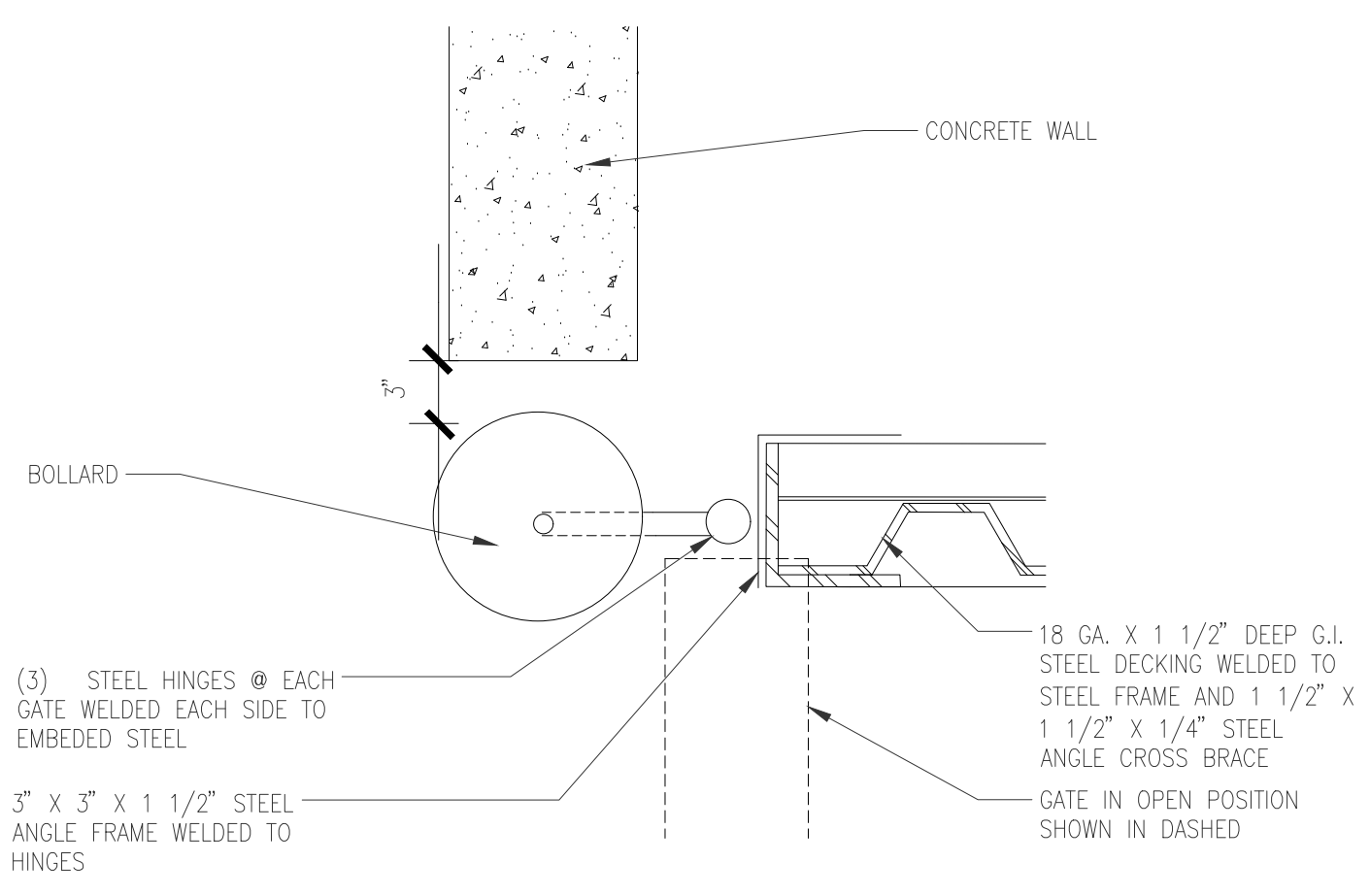
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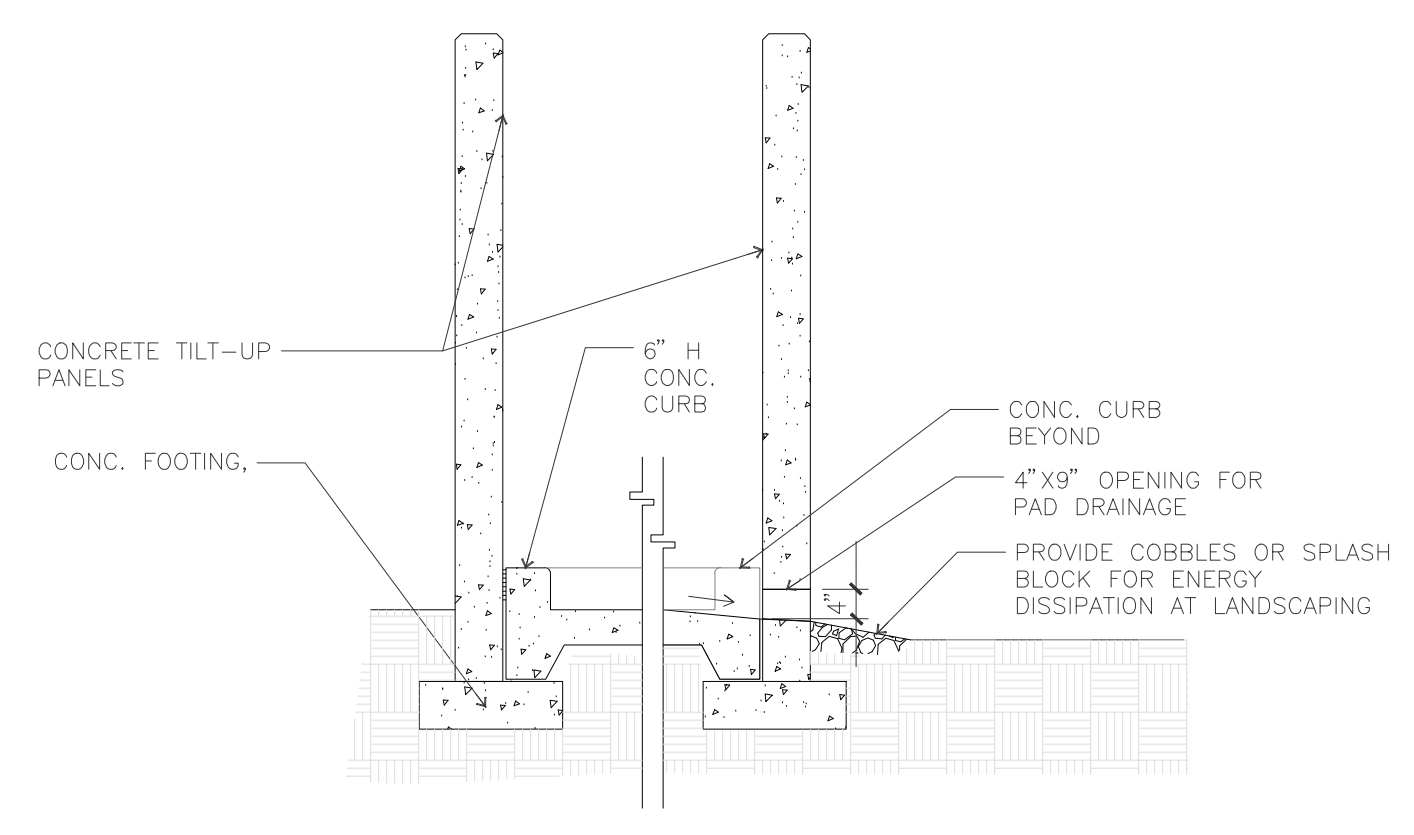


- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH SECTION 11B-309.4. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 3/4 INCHES (66.4 MM) MINIMUM AND 4 1/2 INCHES (114.3 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.
- SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES (254 MM) OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE.
- EXTERIOR HINGED DOORS: 5 POUNDS (22.2 N) MAXIMUM.

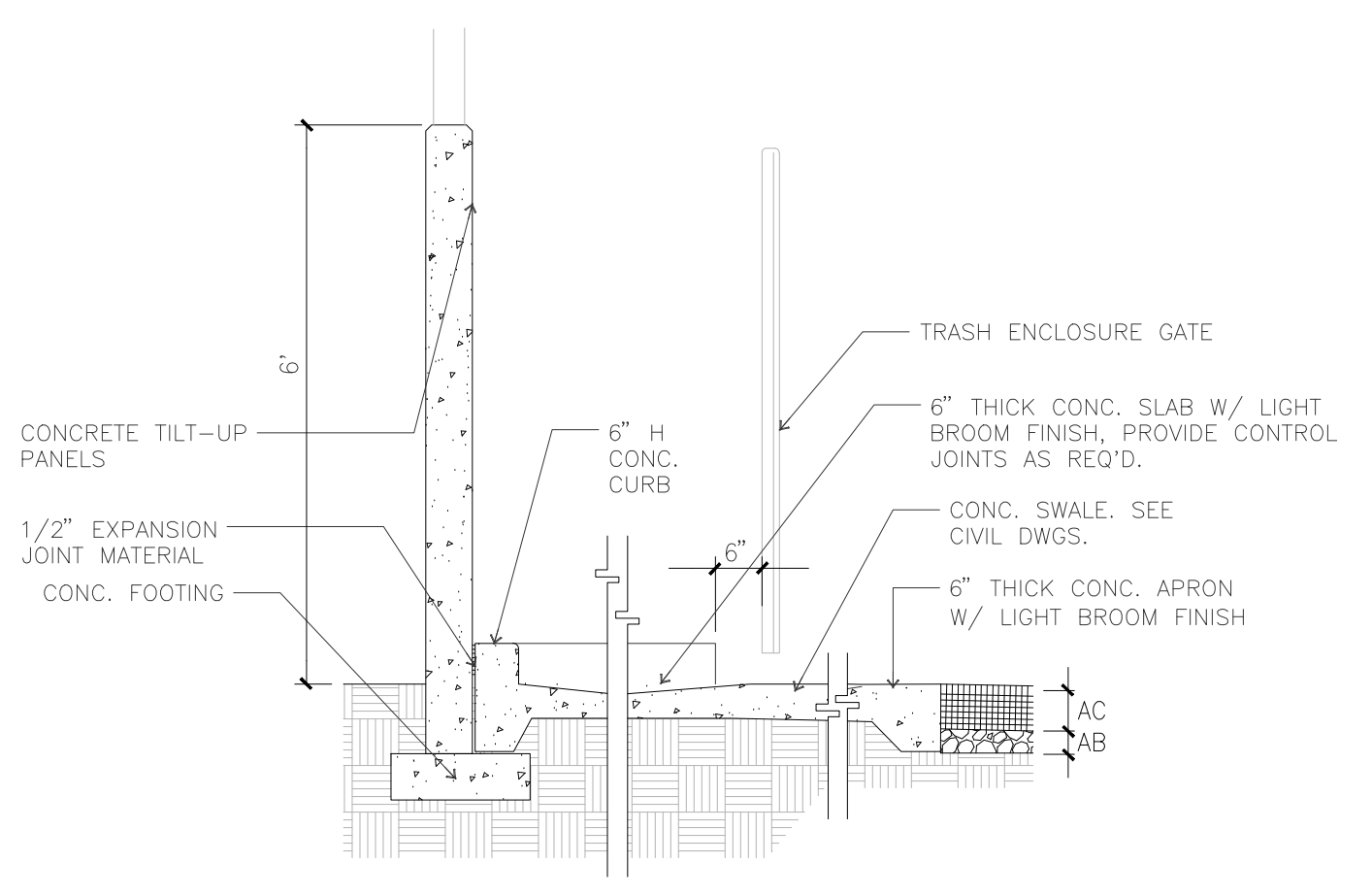
LATCH AND CANE BOLT DETAIL (J)
scale: NTS



HINGES DETAIL (I)
scale: NTS

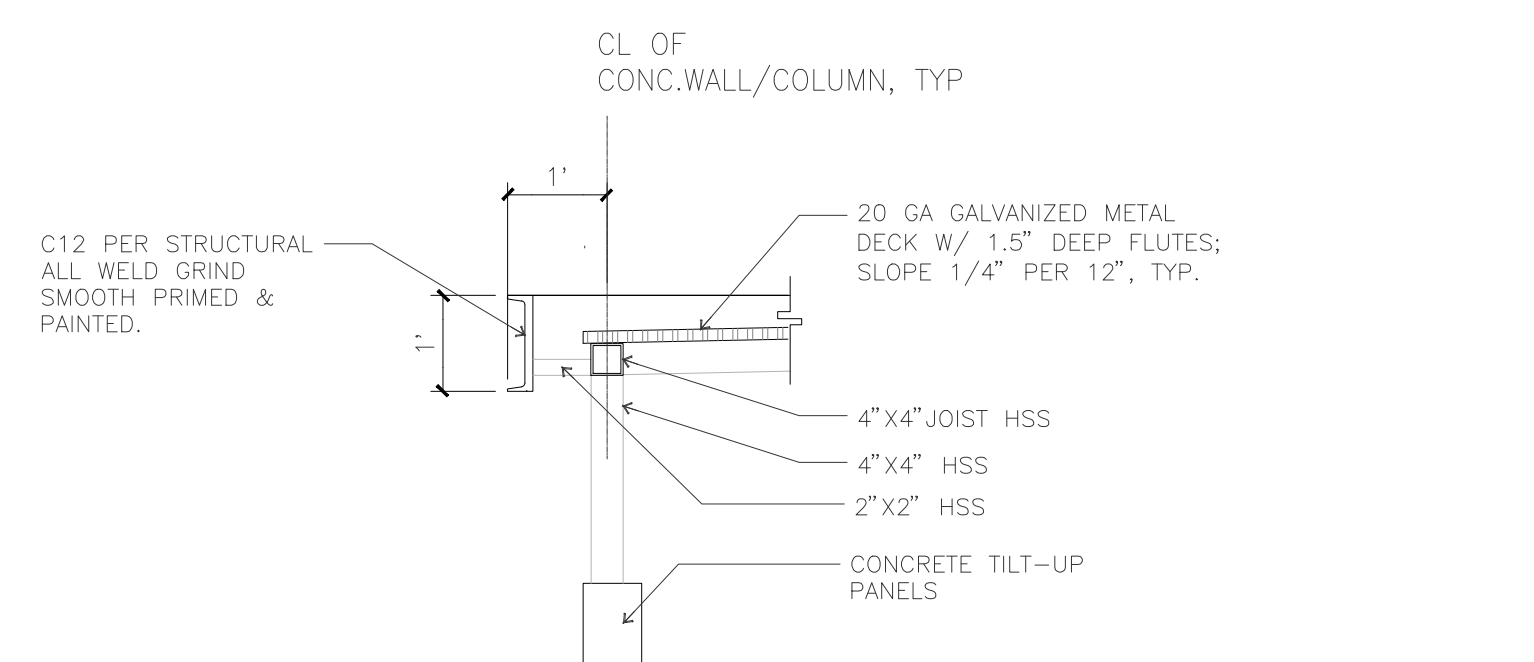


TRASH ENCLOSURE SECTION (B1)
scale: NTS

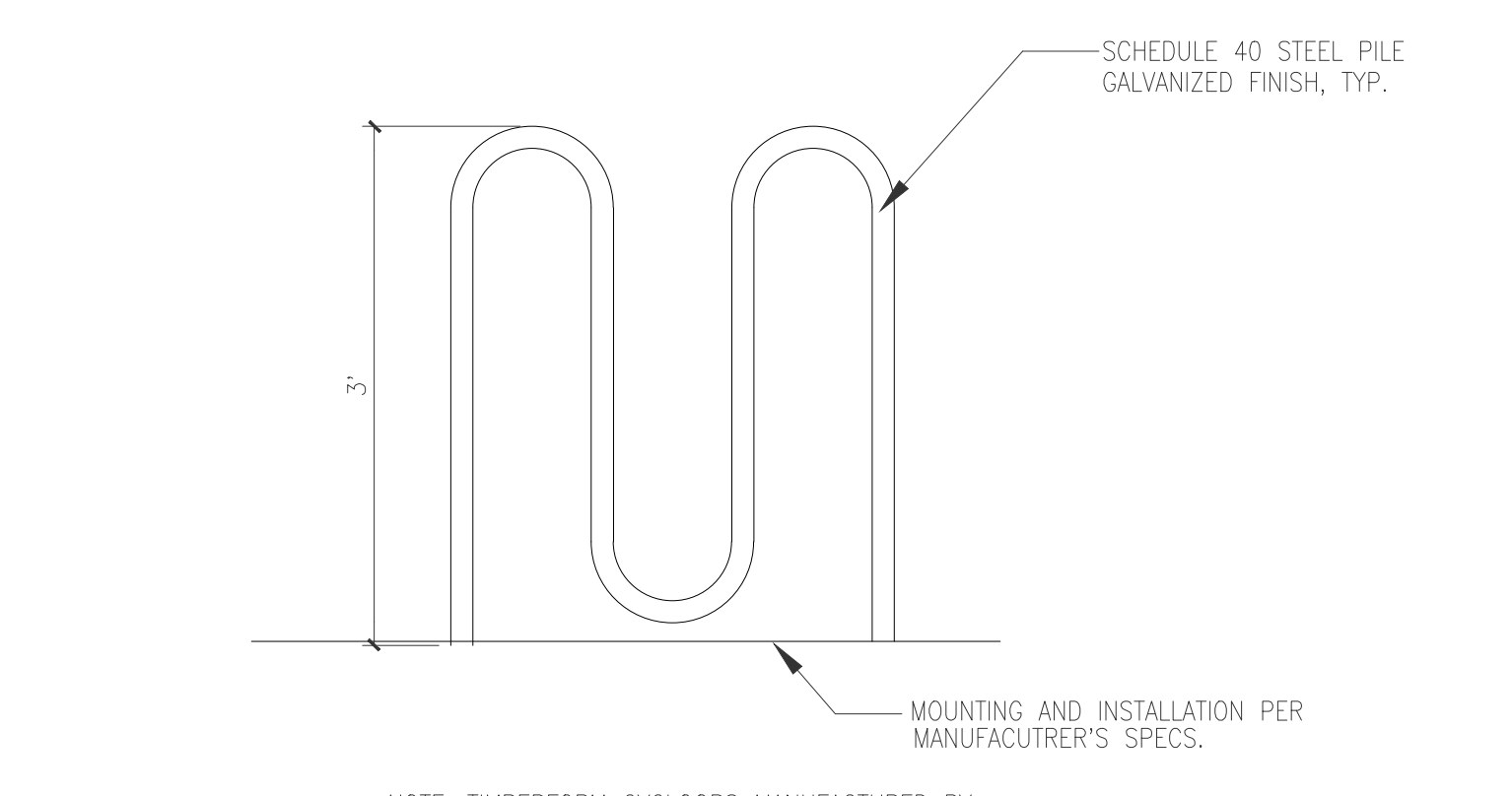


- NOTES:
- SEE SOILS REPORT FOR BELOW SLAB PREPARATIONS AND STEEL REINFORCEMENT RECOMMENDATIONS.

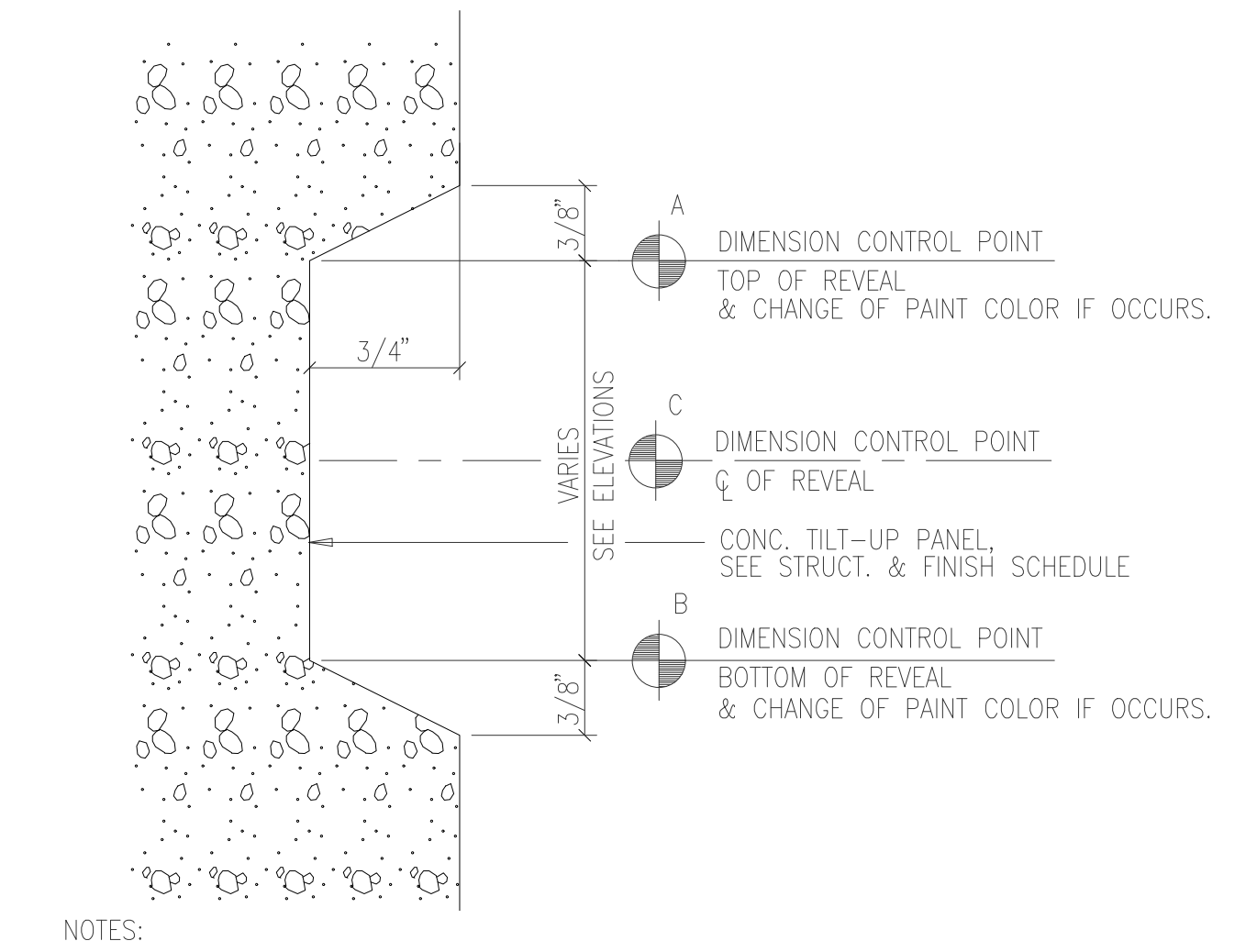
TRASH ENCLOSURE SECTION (B2)
scale: NTS



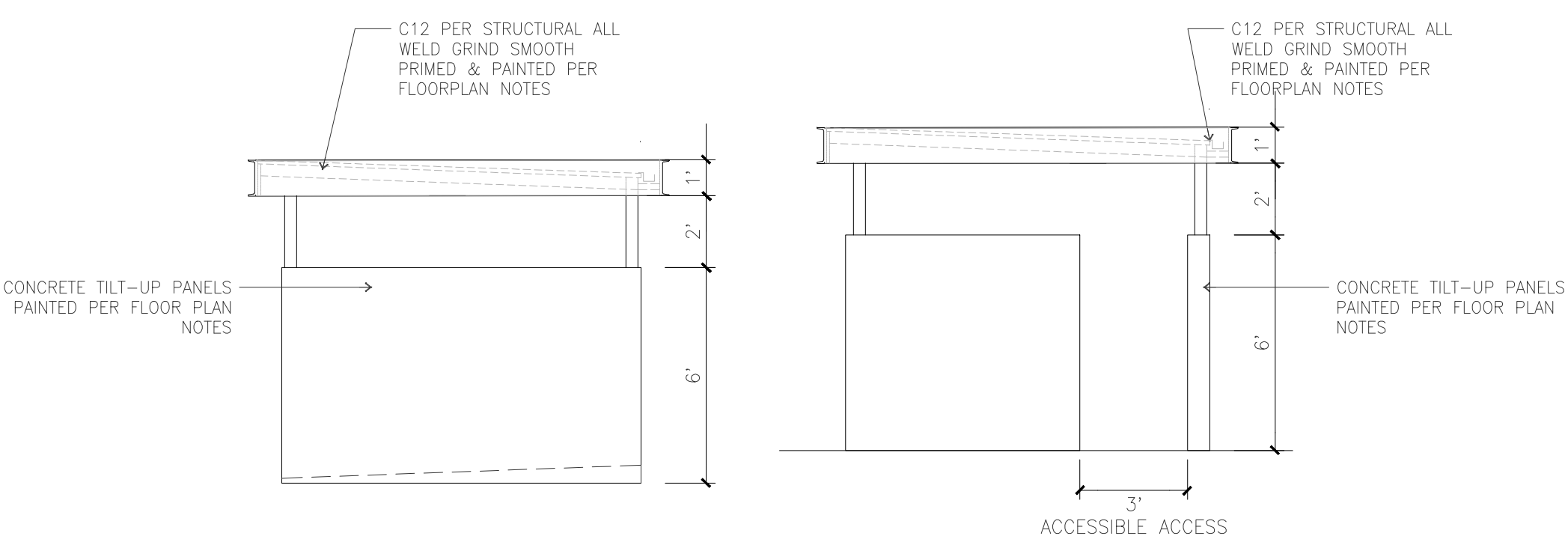
TRASH ENCLOSURE SECTION (G)
scale: NTS



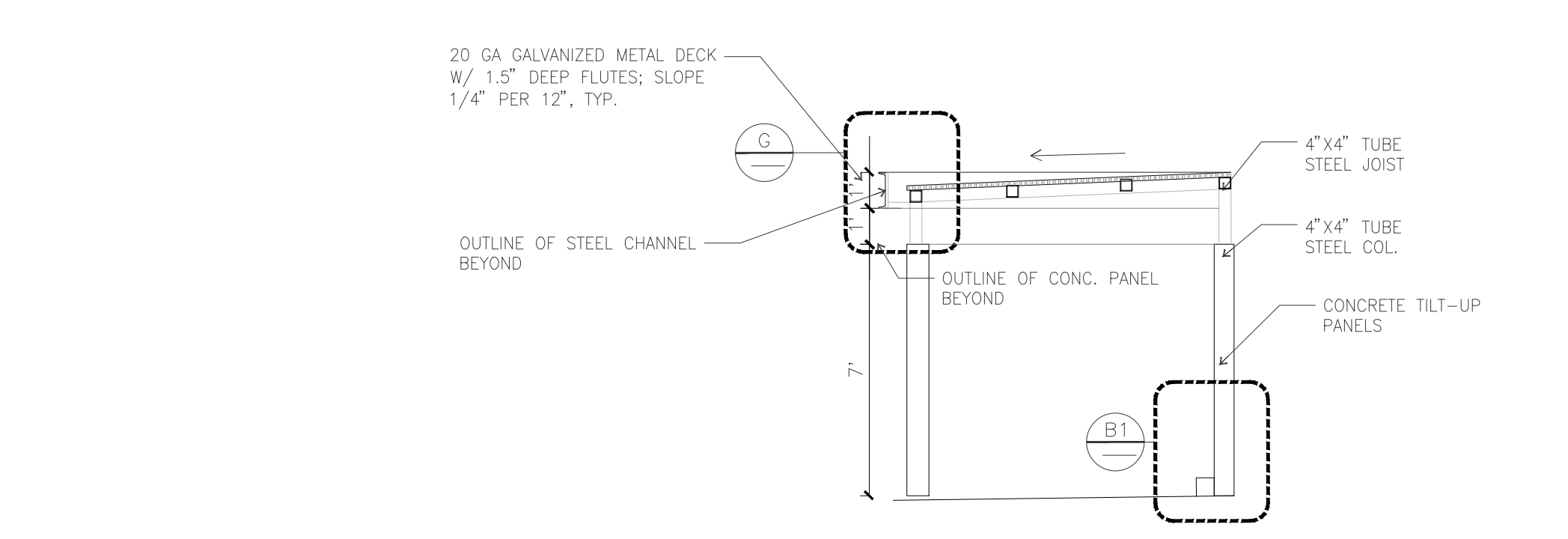
BIKE RACK DETAIL (D)
scale: NTS



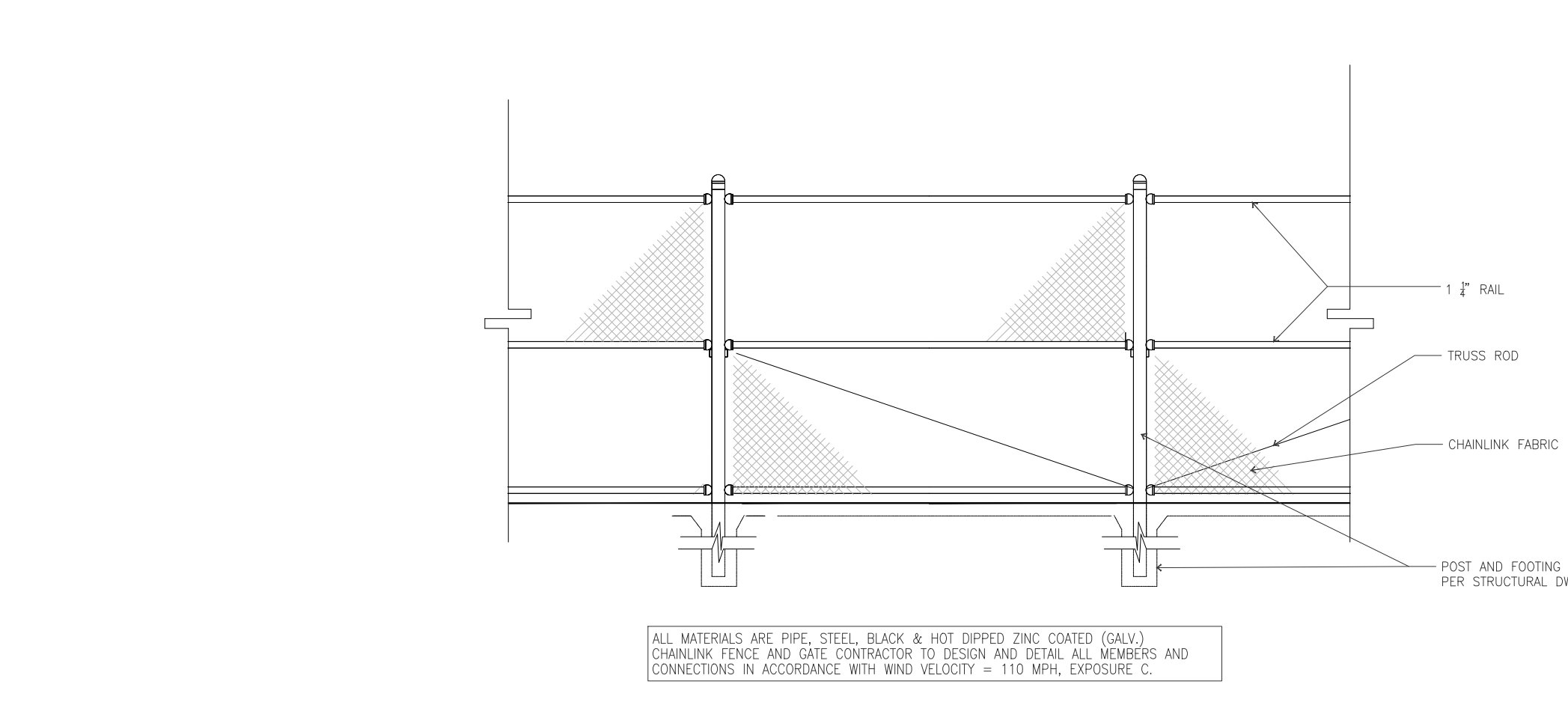
CONCRETE REVEAL (L)
scale: N.T.S.



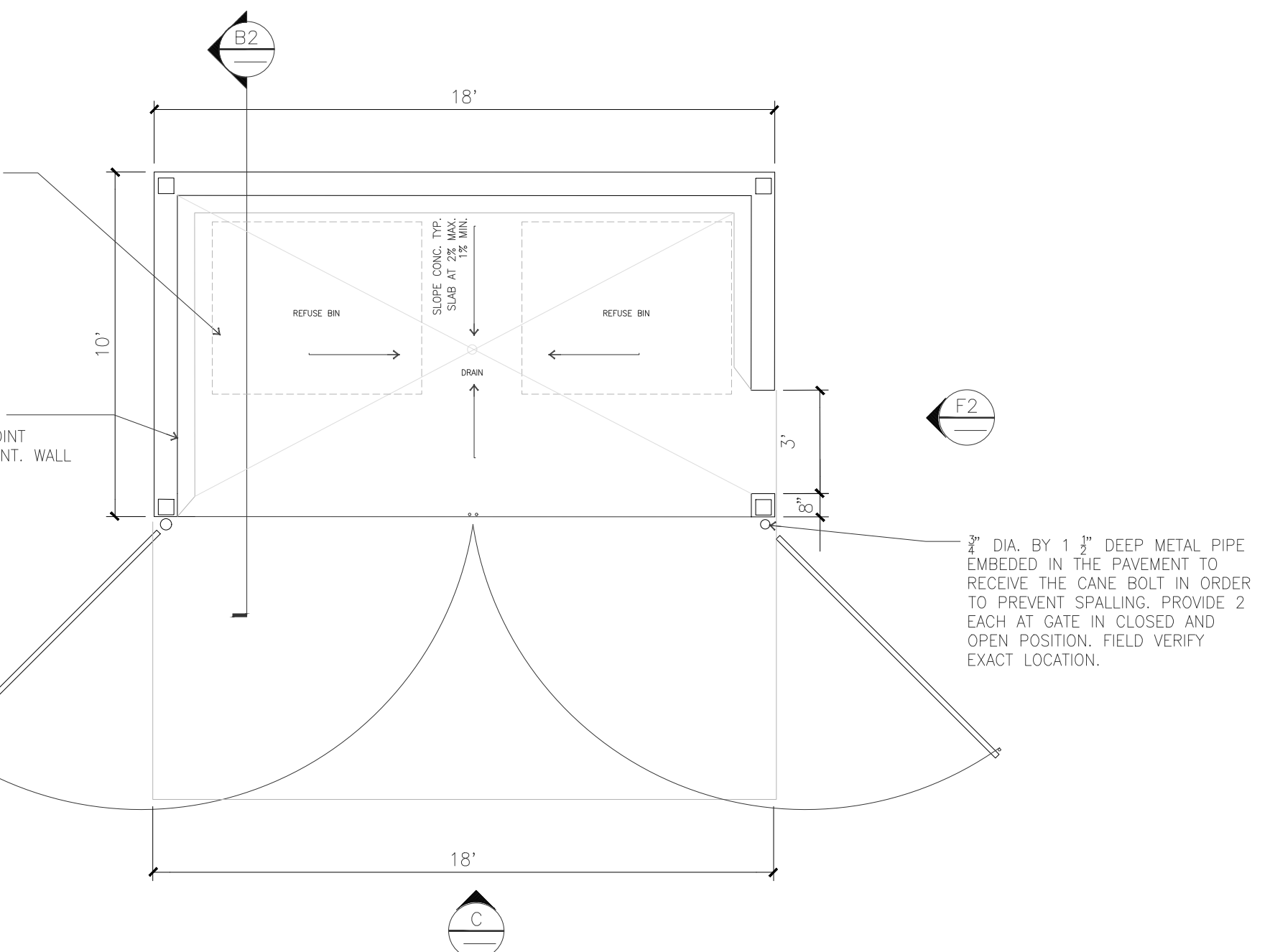
TRASH ENCLOSURE ELEVATION (F1) TRASH ENCLOSURE ELEVATION (F2)
scale: 1/4" = 1'-0"



TRASH ENCLOSURE SECTION (F3)
scale: 1/4" = 1'-0"

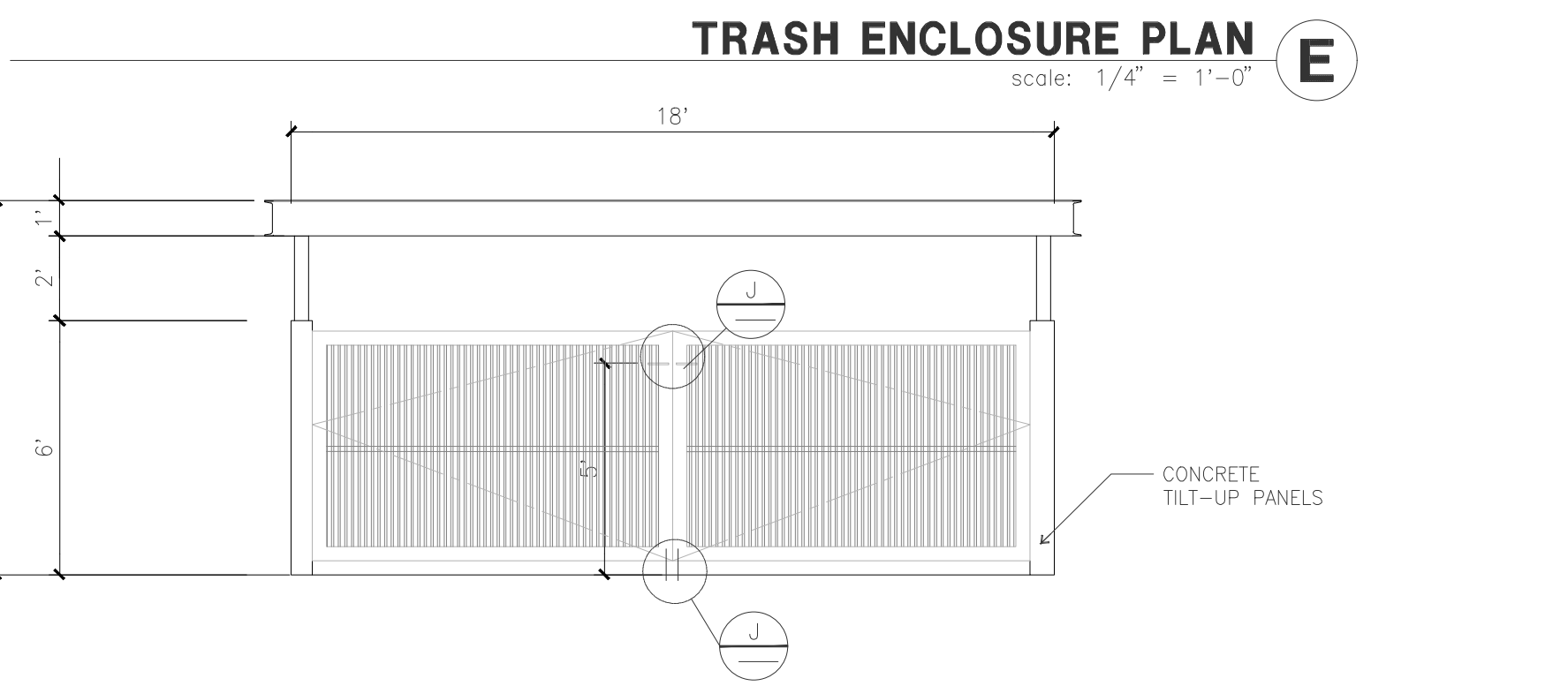


CHAIN LINK FENCE DETAIL (H)
scale: NTS

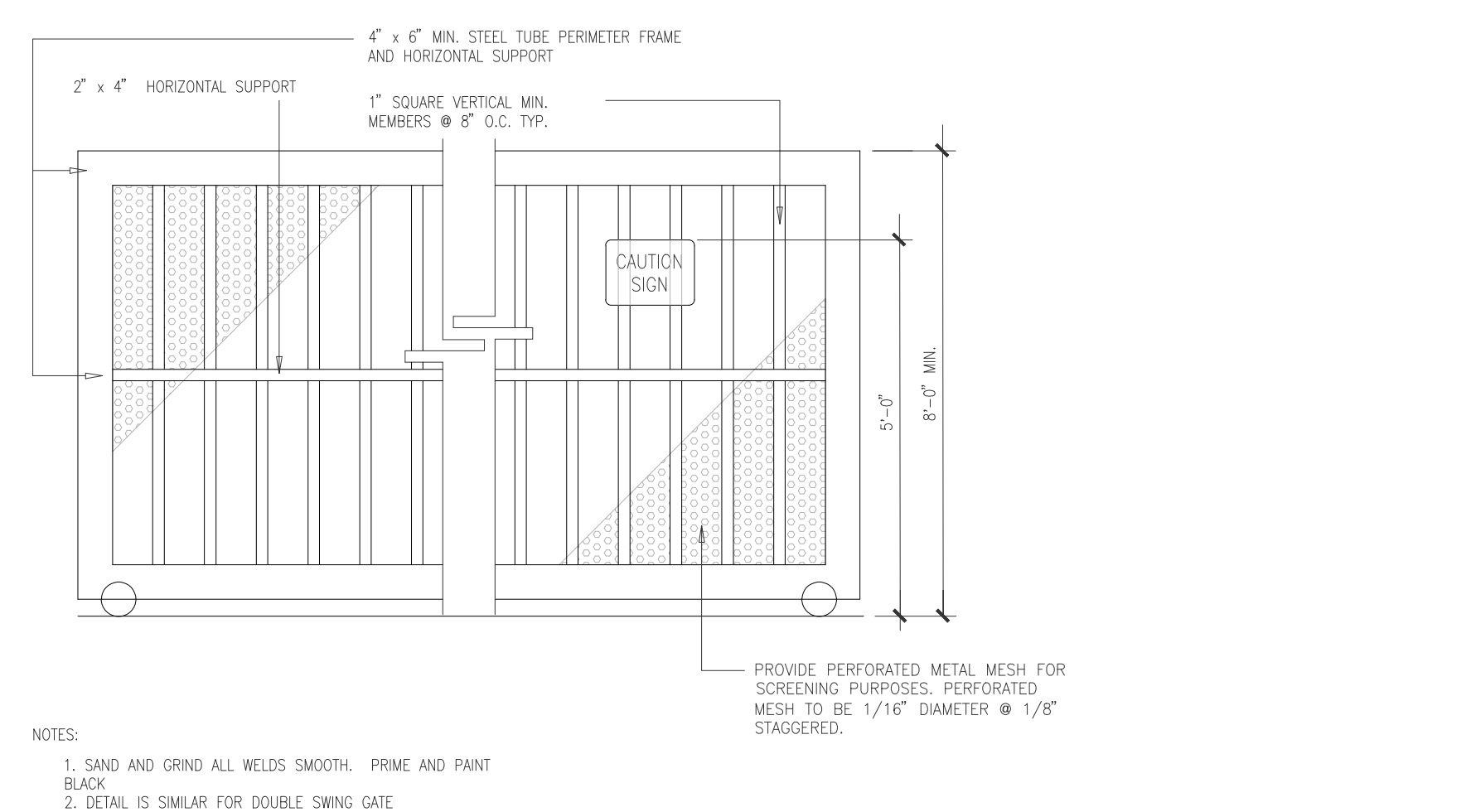


- THE ROOF SHOULD FULLY COVER THE TRASH ENCLOSURE AND THAT THE GALVANIZED FLUTES DO NOT ALLOW WATER TO SEEP IN.
- C. CONCRETE APRON MUST BE INSTALLED TO COVER THE FRONT OF THE ENCLOSURE AND EXTEND A MINIMUM LENGTH OF 8 FEET FROM ENCLOSURE OPENING. THE APRON MUST BE ENGINEERED TO WITHSTAND UP TO 20,000 POUNDS OF DIRECT FORCE FROM A SINGLE TRUCK AXLE. APRON MUST BE THE SAME ELEVATION AS THE ENCLOSURE PAD THRESHOLD AND SURROUNDING SURFACES. WITH A SLOPE OF 1/8 INCH PER FOOT FROM THE ENCLOSURE PAD.
- THE AREA DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE DOORS HAVE NO "PARKING" PAINTED ON THE GROUND AND ON ADEQUATELY LIT DOOR SIGNS.

- NOTES:
- SEE SITE PLAN FOR LOCATIONS.
 - SACK AND PATCH ALL PANEL LIFT POINTS ON WALL AND PAINT TO MATCH.
 - GATE REQUIRES ONLY 5 POUNDS OF FORCE TO OPEN PER CBC 11B-404.2.9#4 AND FEATURES OPERABLE HARDWARE PER CBC 11B-309 BETWEEN 34" & 44" ABOVE GRADE PER CBC 11B-404.2.7
 - PAINT THE TRASH ENCLOSURE WITH GRAFFITI RESISTANT PAINT PER THE FREMONT WASTE HANDLING GUIDELINES.
 - PAINT CONCRETE WALL TO SW 7072 ONLINE
 - PAINT TUBE STEEL AND CHANNEL TO MATCH SW 7074 SOFTWARE



TRASH ENCLOSURE GATE ELEVATION (C)
scale: 1/4" = 1'-0"



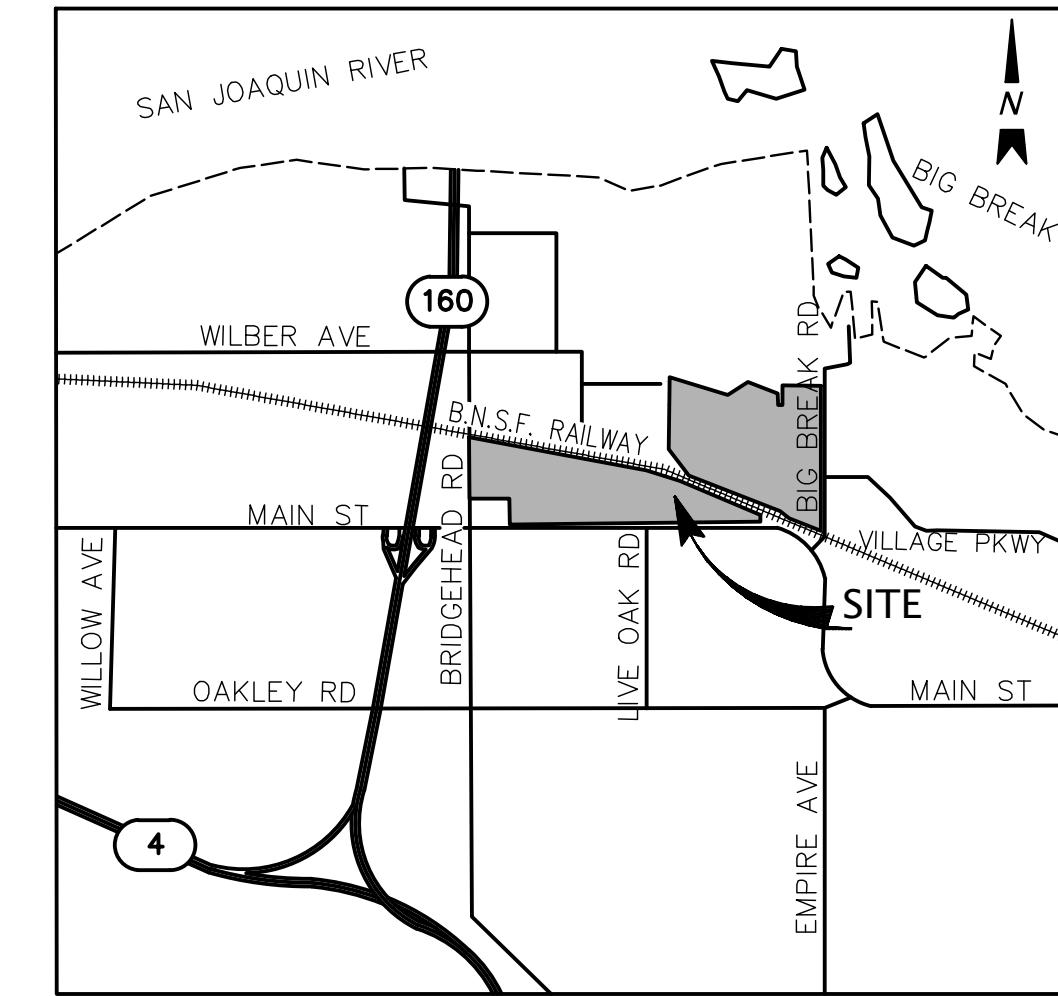
SLIDING GATE ELEVATION (A)
scale: NTS

PRELIMINARY SITE IMPROVEMENT PLANS

OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS

OAKLEY,

CALIFORNIA

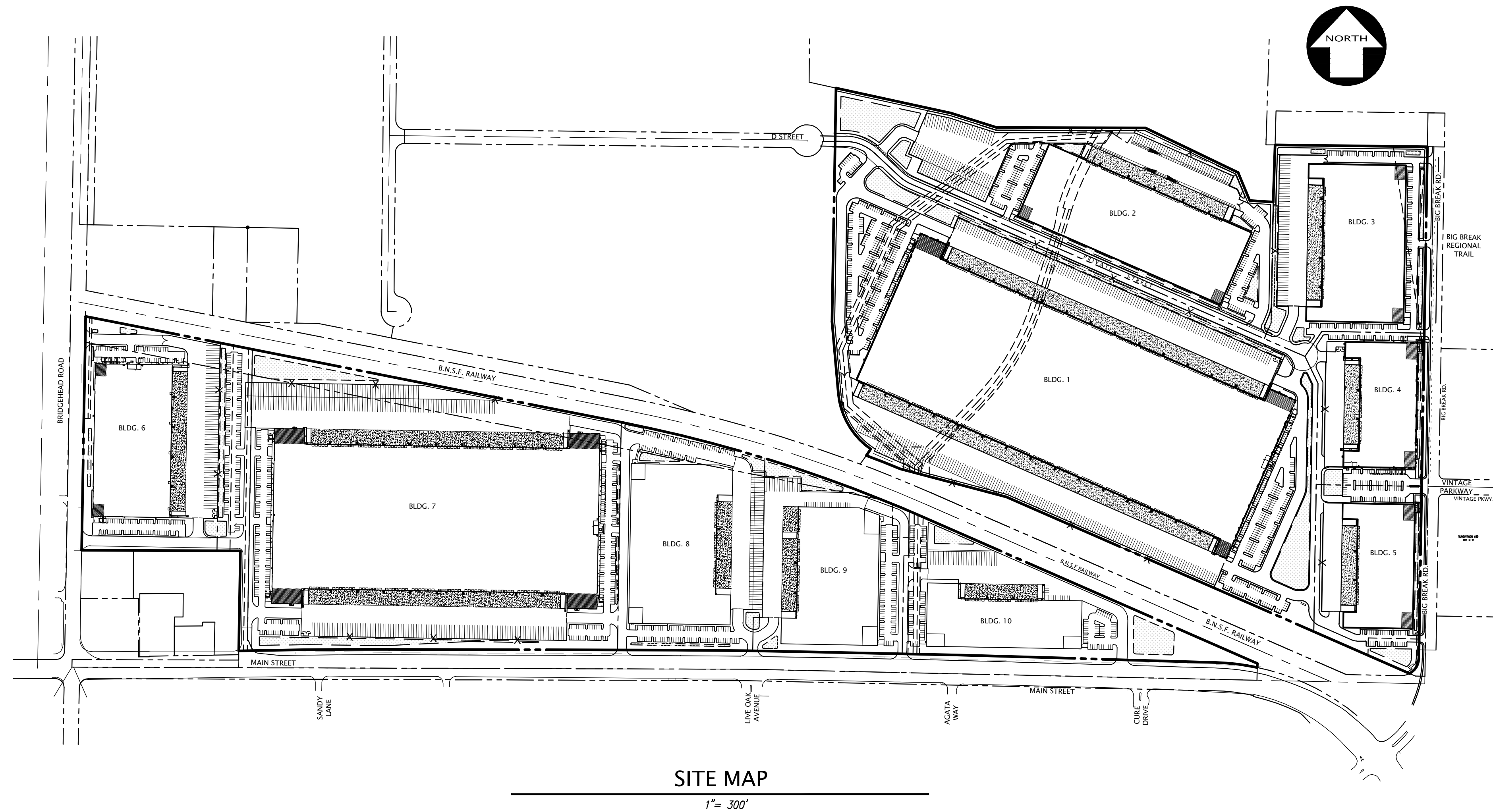


VICINITY MAP

NOT TO SCALE

SHEET INDEX

SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY
C3.0	PRELIMINARY SITE PLAN
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C4.1	PRELIMINARY GRADING & DRAINAGE PLAN
C4.2	PRELIMINARY GRADING & DRAINAGE PLAN
C4.3	PRELIMINARY GRADING & DRAINAGE PLAN
C4.4	TYPICAL SECTIONS
C5.0	PRELIMINARY UTILITY PLAN
C5.1	PRELIMINARY UTILITY PLAN
C5.2	PRELIMINARY UTILITY PLAN
C5.3	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY STORM WATER QUALITY CONTROL PLAN



SITE MAP

1" = 300'

DEVELOPER

JB2 PARTNERS LLC
ATTN: ADAM TERRELL
3565 PIEDMONT RD NE, BLDG 4, STE. 460
ATLANTA, GA 30305
404-210-3033

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: ZIKAR SARYEDDEAN, P.E.
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
925-245-8788

ARCHITECT

HPA, INC.
ATTN: TERESA GOODWIN
600 GRAND AVENUE, STE 302
OAKLAND, CA 94610
949-862-2111

LANDSCAPE ARCHITECT

YAMASAKI LANDSCAPE ARCHITECTURE
ATTN: JEFF AMBROSIA, R.L.A., A.S.L.A., C.L.I.A., LEED AP
1223 HIGH STREET
AUBURN, CA 95603
530-885-0040

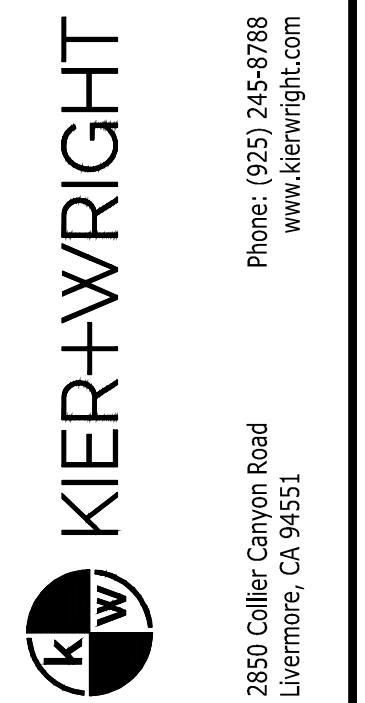
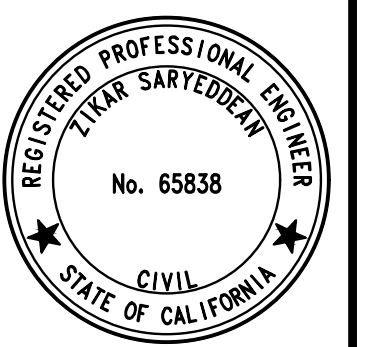
COVER SHEET
OF
BRIDGEHEAD INDUSTRIAL
FOR
JB2 PARTNERS

OAKLEY,
CALIFORNIA

DATE	SEPT., 2023
SCALE	AS SHOWN
DESIGNER	ZS
DRAWN BY	VB
JOB NO.	A21757-4
SHEET	C1.0
OF	12 SHEETS



Know what's below.
Call before you dig.

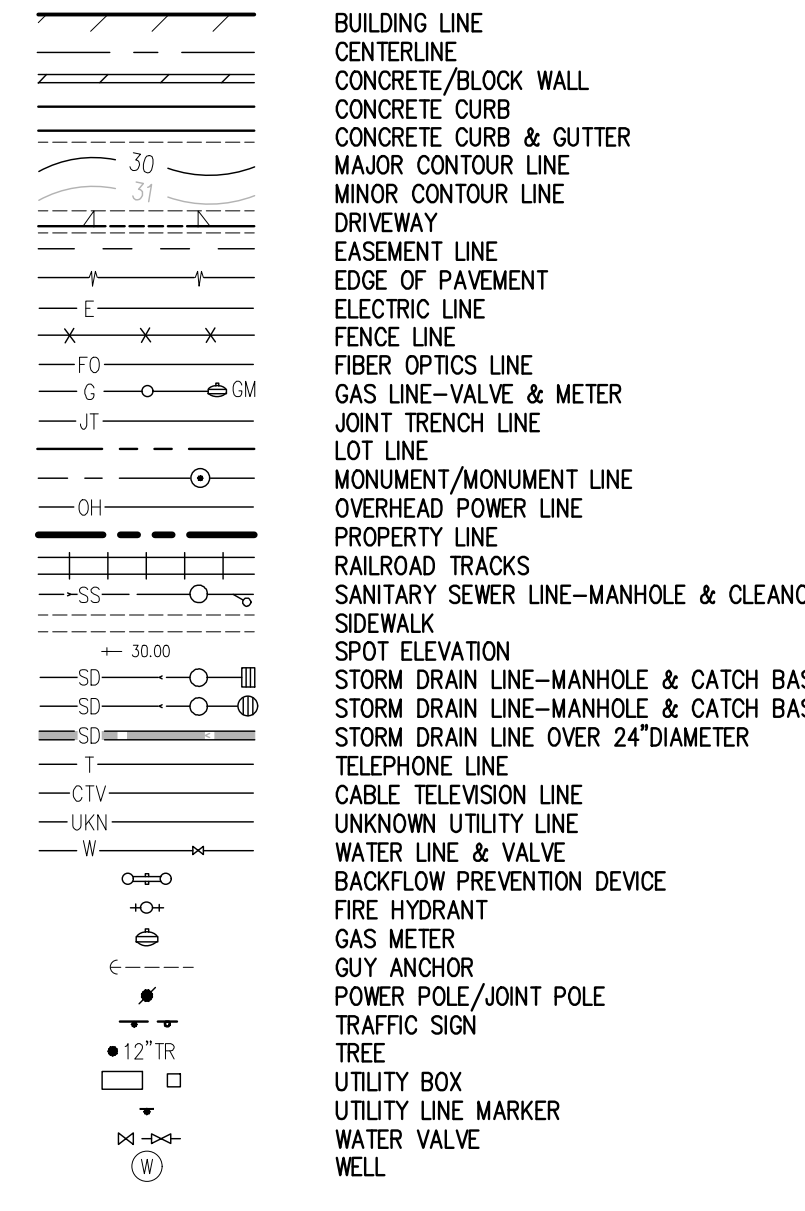


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NOTES

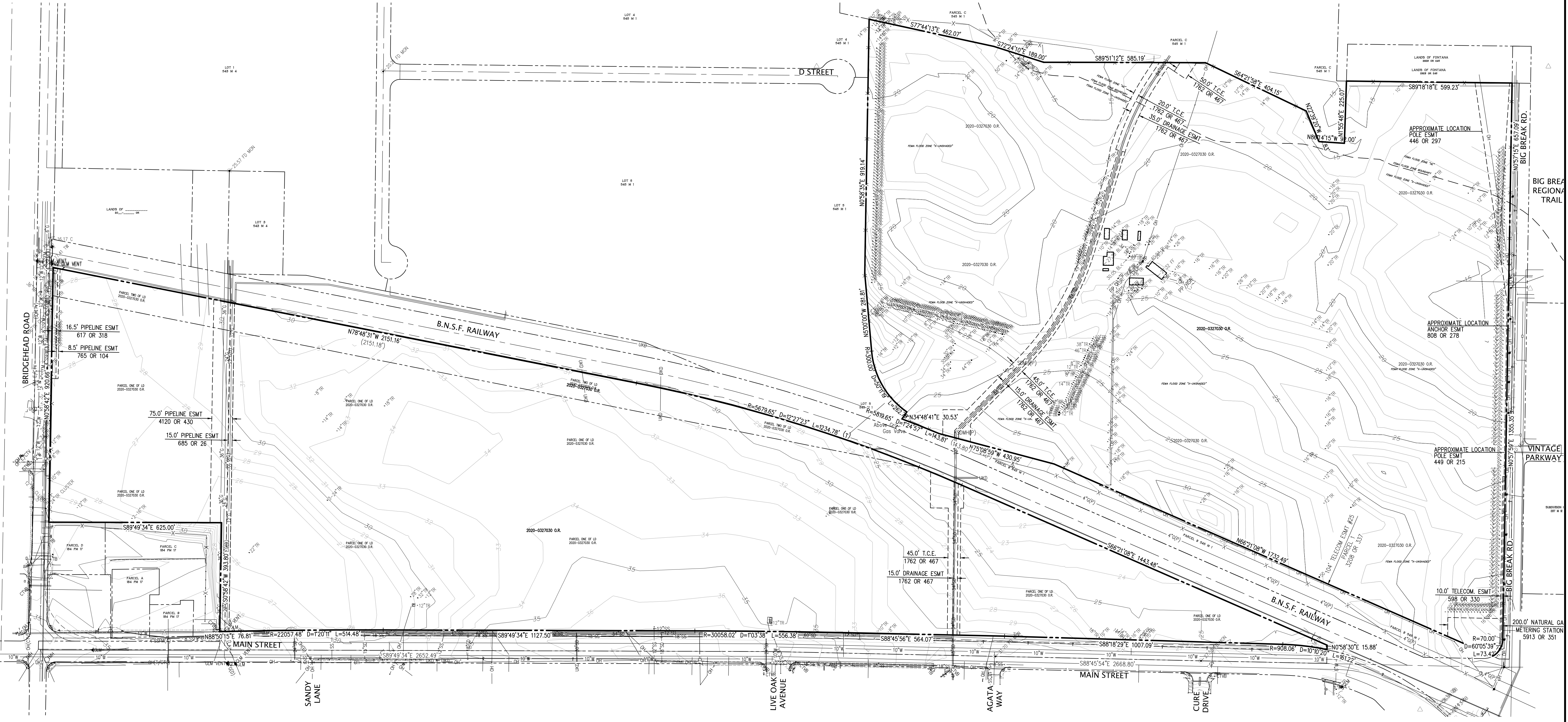
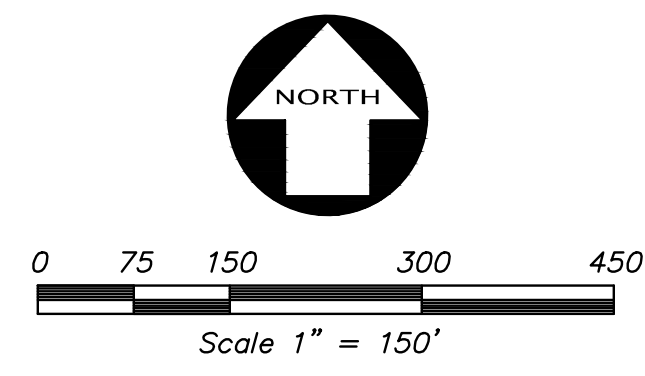
- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE INSURANCE COMPANY DATED AS OF SEPTEMBER 3, 2021, ORDER NUMBER 60602674-606-TEO-PA, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC BY OXFORD OAKLEY, LLC., ON DECEMBER 10, 2021. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
 - THIS SURVEY DOES NOT SHOW THE LOCATIONS OF THE FOLLOWING UNDERGROUND UTILITY LINES DUE TO THE FACT THAT THE CLIENT HAS NOT FURNISHED KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. WITH ANY PLANS THAT DELINEATE THEIR LOCATIONS: NITROGEN LINES, (IF ANY) FIBER OPTIC LINES (IF ANY), ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
 - PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
 - THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR CONTRA COSTA COUNTY, CALIFORNIA, MAP NUMBER 0601300163C FOR COMMUNITY NUMBER 060766 (CITY OF OAKLEY), WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 2015, AS BEING LOCATED IN FLOOD ZONE "X" (NO SCREEN), AE (EL 9')
- ACCORDING TO FEMA THE DEFINITION OF ZONE "X" (NO SCREEN) IS: AREA OF MINIMAL FLOOD HAZARD. INFORMATION WAS OBTAINED FROM THE FEMA WEBSITE.
- FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
6. BENCHMARK:
STANDARD CONTRA COSTA COUNTY BENCHMARK #1495 SET IN EASTERLY END OF THE MOST NORTHERLY CONCRETE GAS PUMP ISLAND OF THE ASSOCIATED STATION LOCATED AT THE SOUTHWEST CORNER INTERSECTION OF NEROLY ROAD AND HIGHWAY 4 AND 24 EAST OF ANTIPOD (NAVD88 DATUM)
 7. BASIS OF BEARINGS:
THE BEARING OF NORTH 00° 36' 35" EAST TAKEN ON THE MONUMENT LINE OF WILBUR AVENUE AS SHOWN ON THAT CERTAIN SUBDIVISION MAP NO. 9513, FILED FOR RECORD ON MAY 28, 2020, IN BOOK 543 OF MAPS AT PAGES 4 THRU 10, ORIGINAL RECORDS OF CONTRA COSTA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
 8. CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
 9. THIS MAP HAD PRODUCED ACCORDING TO PROCEDURES THAT COMPLY WITH NATIONAL STANDARD FOR SPATIAL ACCURACY (NSSDA) FOR A CONTOUR INTERVAL OF 1-FOOT AND A MAP SCALE OF 1"=30'. CONTOURS WITHIN VEGETATED AREAS AND SHADOW OUTLINED AREA MAY NOT MEET MAPPING STANDARDS AND SHOULD BE FIELD CHECKED. THIS COMPUTER PLOTTED MAP WAS GENERATED BY PHOTOGAMMETRIC METHODS BY KIER+WRIGHT. JOB NUMBER A21757. DATE OF PHOTOGRAPHY 01-06-2021.
- AS OF THE DATE OF THIS SURVEY, IT WAS OBSERVED THAT THE PROJECT SITE WAS ACTIVELY FARMED DURING OUR FIELD SURVEY. PRIOR TO ANY MASS GRADING OPERATIONS AND AFTER DEMOLITION OR SITE CLEARING AND GRUBBING, IT IS RECOMMENDED THAT AN ADDITIONAL TOPOGRAPHIC SURVEY BE PERFORMED FOR THE PURPOSE OF REVIEWING QUANTITIES WHERE SOIL CAN EXPAND OR CONTRACT.

LEGEND



ABBREVIATIONS

- BL BUILDING LINE
- BLRD BOLLARD
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CP CATHODIC PROTECTION
- E EAST
- EB ELECTRIC BOX
- EP EDGE OF PAVEMENT
- ESMT EASEMENT
- EV ELECTRICAL VAULT
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FND FOUND
- GA GUY ANCHOR
- GAS GAS LINE
- GLM GAS LINE MARKER
- MH MANHOLE
- MON MONUMENT
- MON MONUMENT
- MON MONUMENT
- N NORTH
- NE NORTH EAST
- NW NORTH WEST
- O.R. OFFICIAL RECORD
- PA PUBLIC ADDRESS SYSTEM
- PM PARCEL MAP
- R/W RIGHT OF WAY
- RE RIM ELEVATION
- S SOUTH
- SDM STORM DRAIN MANHOLE
- SP STAND PIPE
- SS SANITARY SEWER
- SSM SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TP TELEPHONE POLE
- TSB TRAFFIC SIGNAL BOX
- W WEST
- WB WATER BOX
- WV WATER VALVE



DATE	SEPT., 2023
SCALE	AS SHOWN
DESIGNER	ZS
DRAWN BY	VB
JOB NO.	A21757-4
SHEET	C2.0
OF	12 SHEETS

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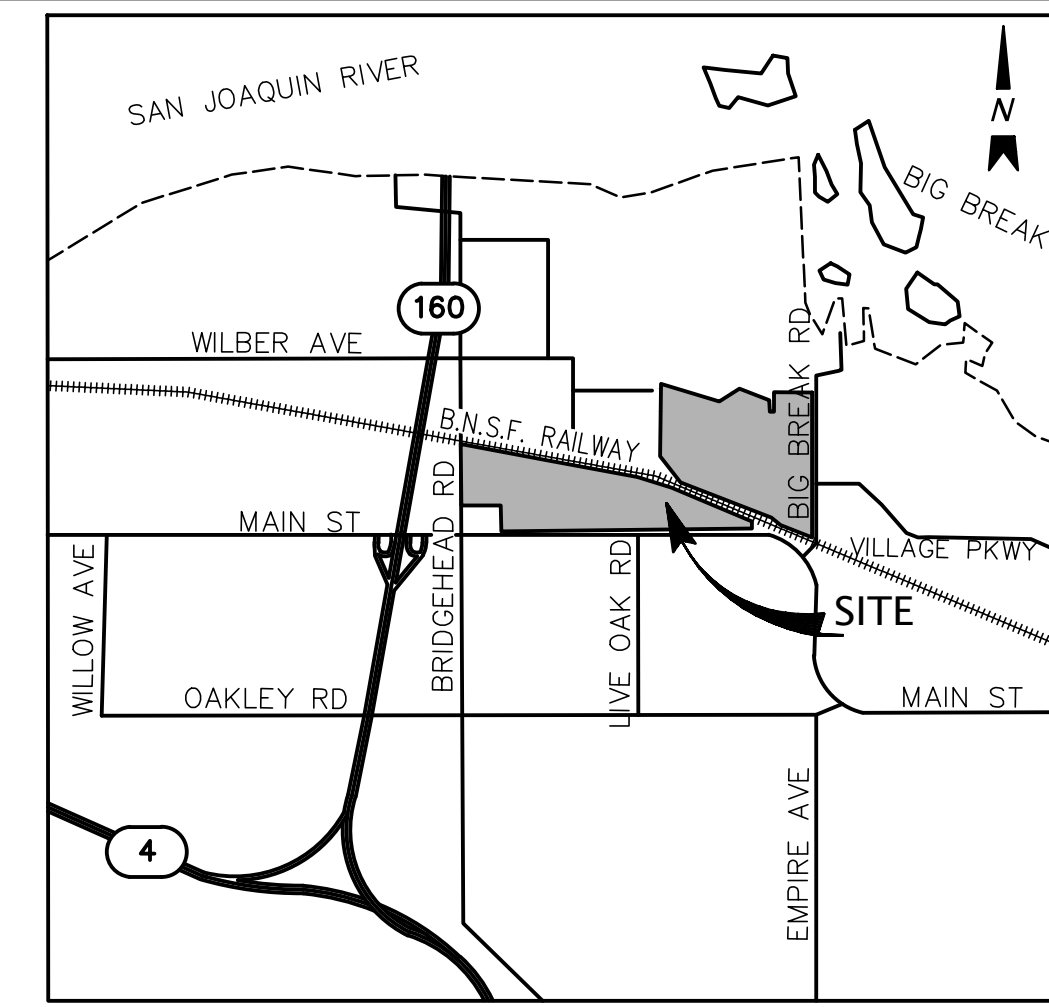
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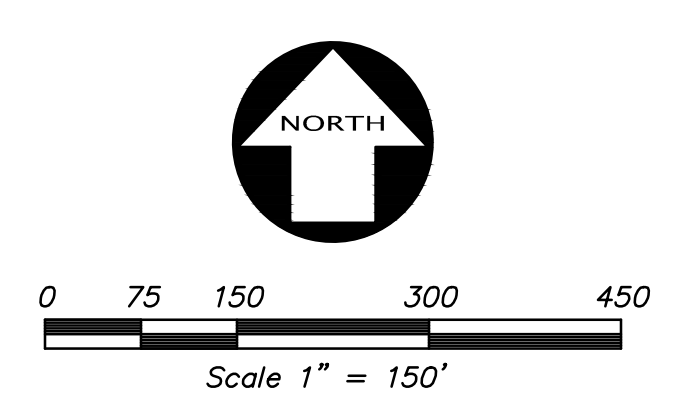
CALIFORNIA

TOPOGRAPHIC SURVEY
OF
BRIDGEHEAD INDUSTRIAL
FOR
JB2 PARTNERS

OAKLEY, CALIFORNIA



VICINITY MAP
NOT TO SCALE



DEVELOPER

JB2 PARTNERS LLC
ATTN: ADAM TERRELL
3565 PIEDMONT RD NE, BLDG 4, STE. 460
ATLANTA, GA 30305
404-210-3033

ARCHITECT

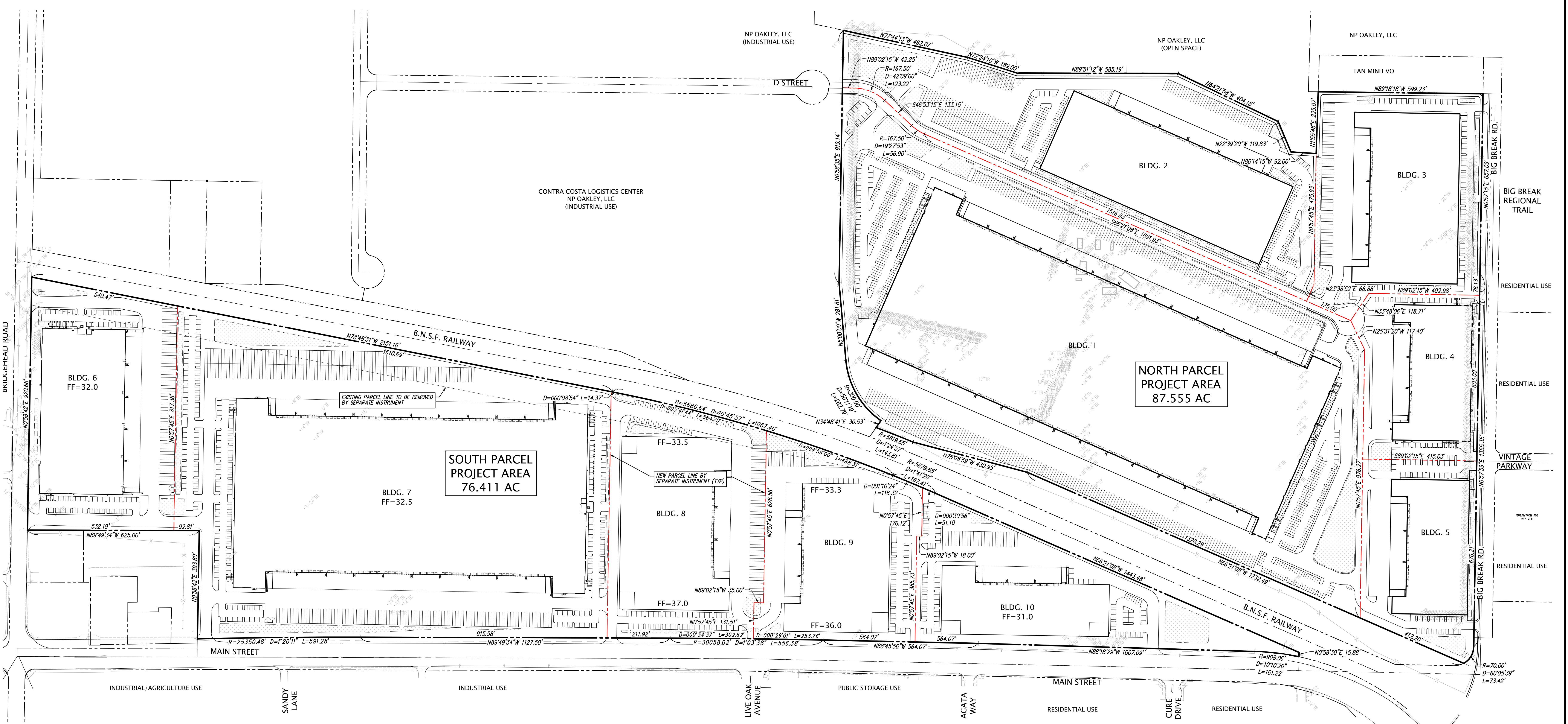
HPA, INC.
ATTN: TERESA GOODWIN
600 GRAND AVENUE, STE 302
OAKLAND, CA 94610
949-862-2111

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: ZIKAR SARYEDDEAN, P.E.
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
925-245-8788

LANDSCAPE ARCHITECT

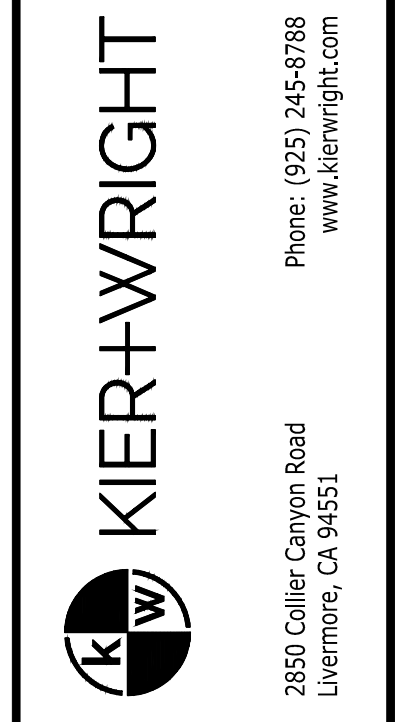
YAMASAKI LANDSCAPE ARCHITECTURE
ATTN: JEFF AMBROSIA, R.L.A., A.S.L.A., C.L.I.A., LEED AP
1223 HIGH STREET
AUBURN, CA 95603
530-885-0040



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OF	12 SHEETS

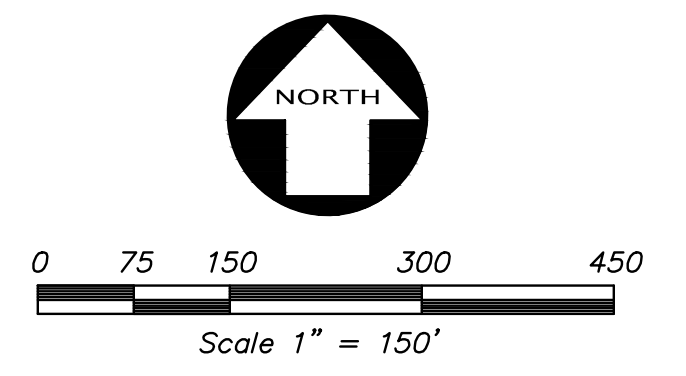
PRELIMINARY SITE PLAN
OF
BRIDGEHEAD INDUSTRIAL
FOR
JB2 PARTNERS



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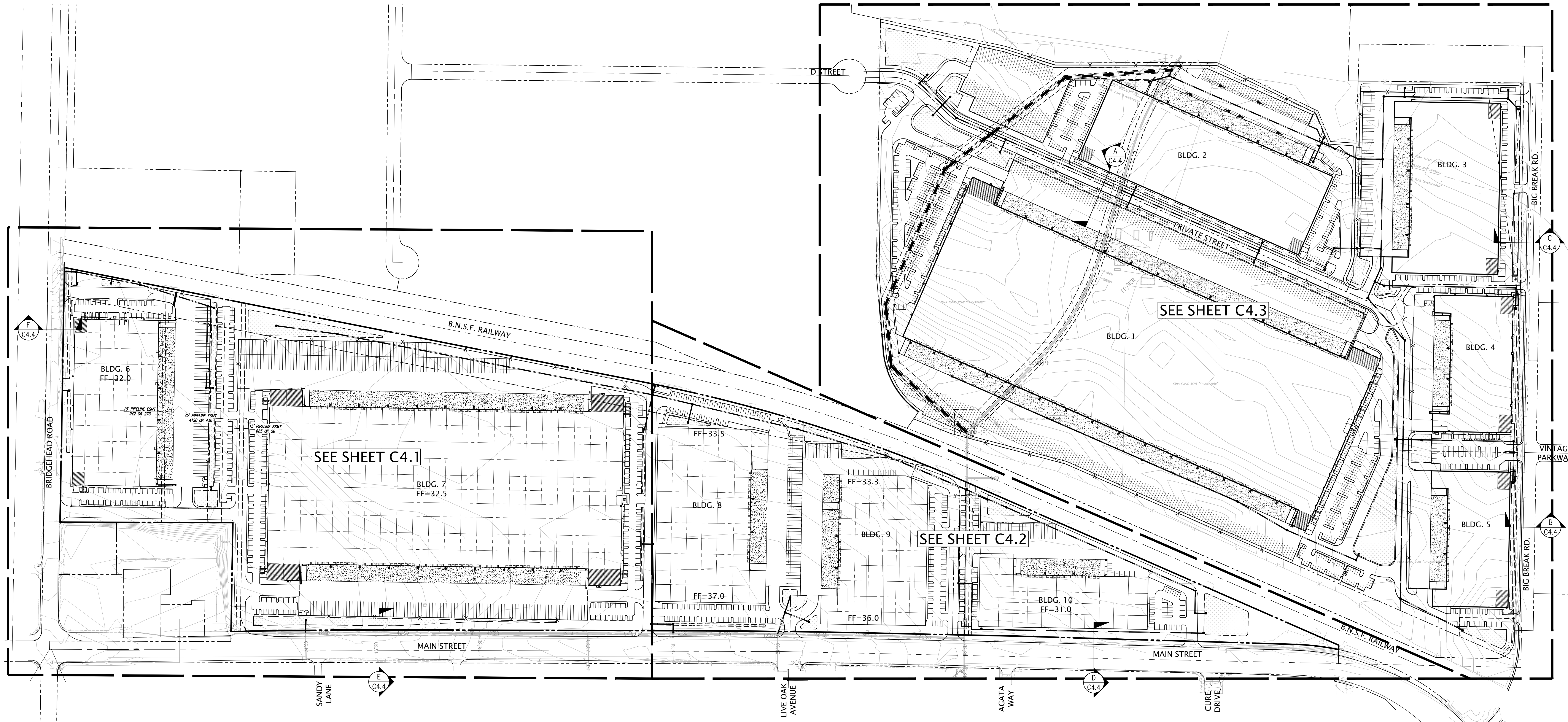


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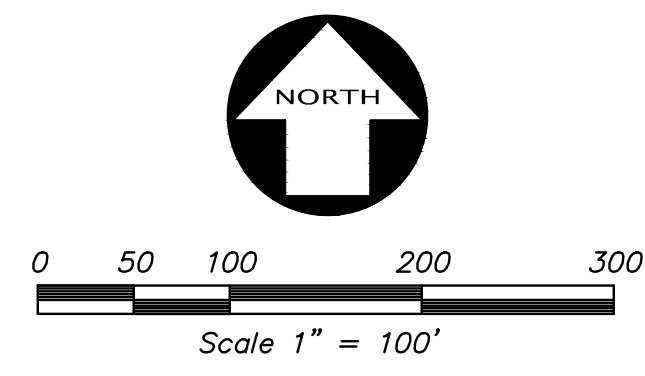
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RE	RIM ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
FS	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
X'SD	STORM DRAIN LINE
▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
○	STORM DRAIN JUNCTION BOX
●	STORM DRAIN MANHOLE
○	BACK FLOW PREVENTION DEVICE
+	FIRE DEPARTMENT CONNECTION
+	FIRE HYDRANT & VALVE
+	POST INDICATOR VALVE
○	SANITARY SEWER MANHOLE
○	SINGLE CHECK VALVE
○	STORM DRAIN MANHOLE
○	WATER METER



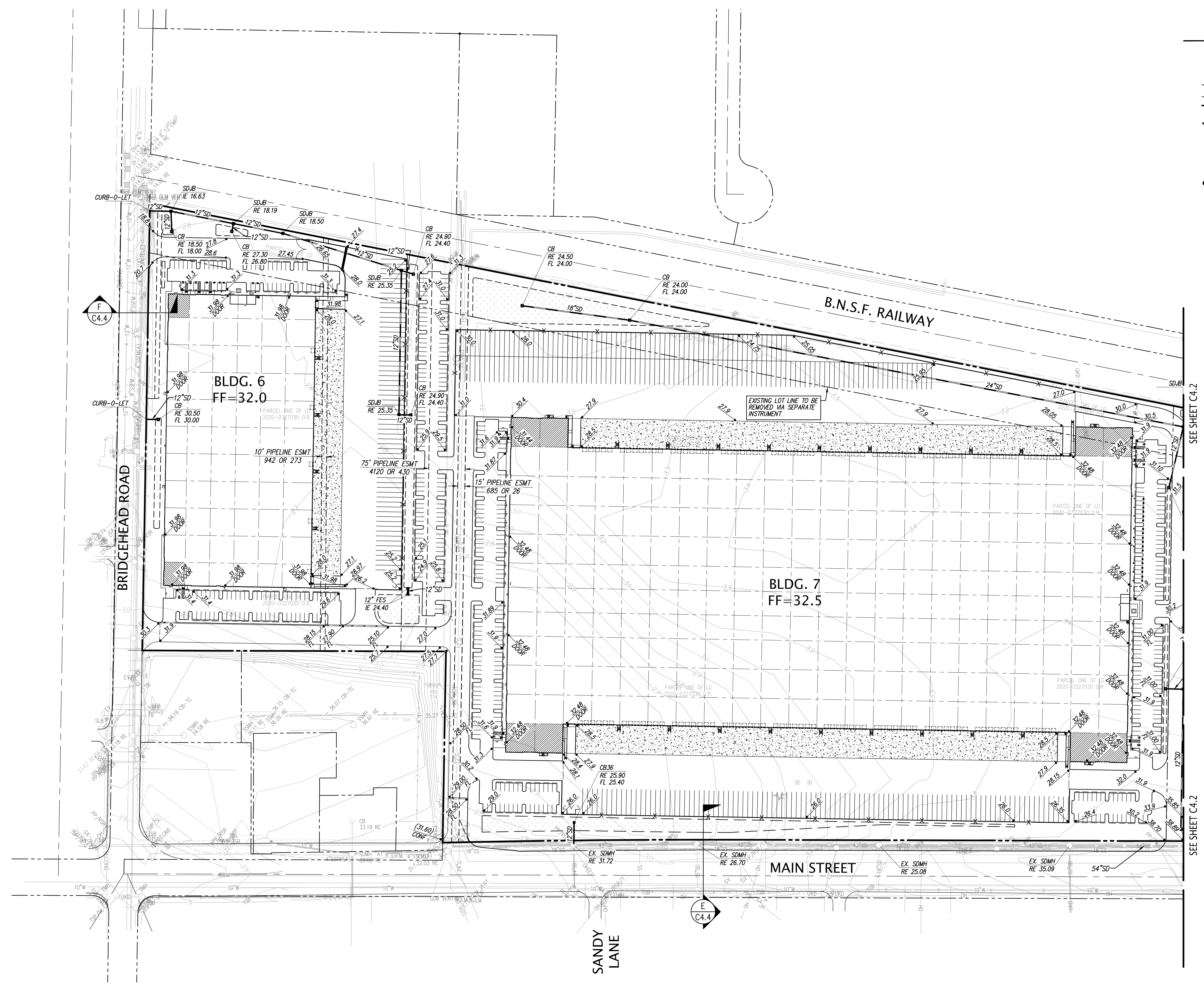
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KIER+WRIGHT REGISTERED PROFESSIONAL ENGINEERS CIVIL STATE OF CALIFORNIA Phone: (925) 245-8788 www.kierwright.com 2850 Collier Canyon Road Livermore, CA 94551					
PRELIMINARY GRADING & DRAINAGE PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS OAKLEY, CALIFORNIA					
DATE SEPT., 2023					
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SHEET C4.0					
OF 12 SHEETS					

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LEGEND

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TC	TOP OF CURB
WS	WATER SERVICE
FS	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
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○	SANITARY SEWER MANHOLE
○	SINGLE CHECK VALVE
○	STORM DRAIN MANHOLE
○	WATER METER



PRELIMINARY GRADING & DRAINAGE PLAN
OF
BRIDGEHEAD INDUSTRIAL
FOR
JB2 PARTNERS

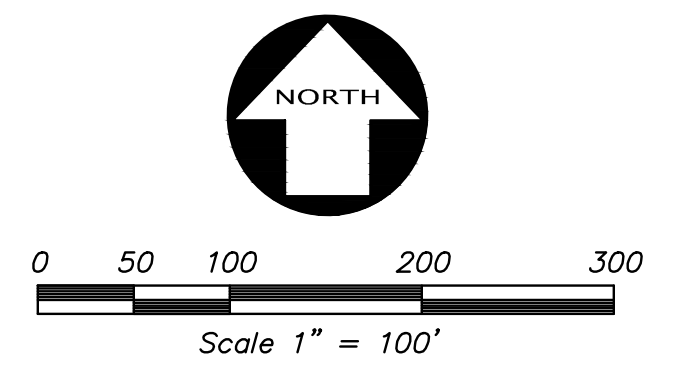
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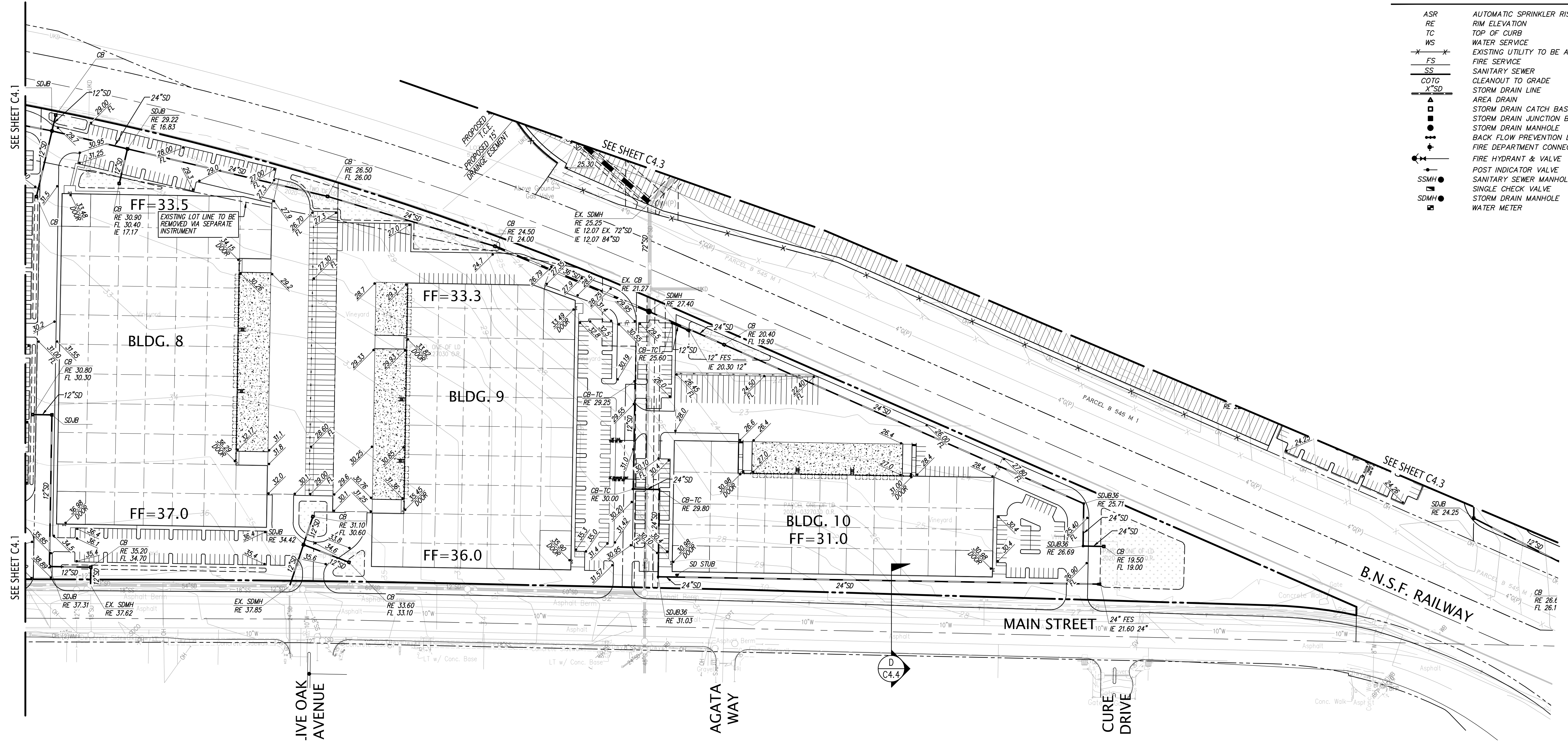
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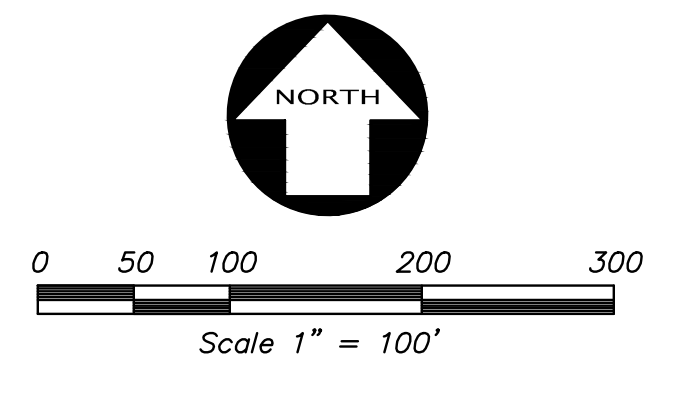
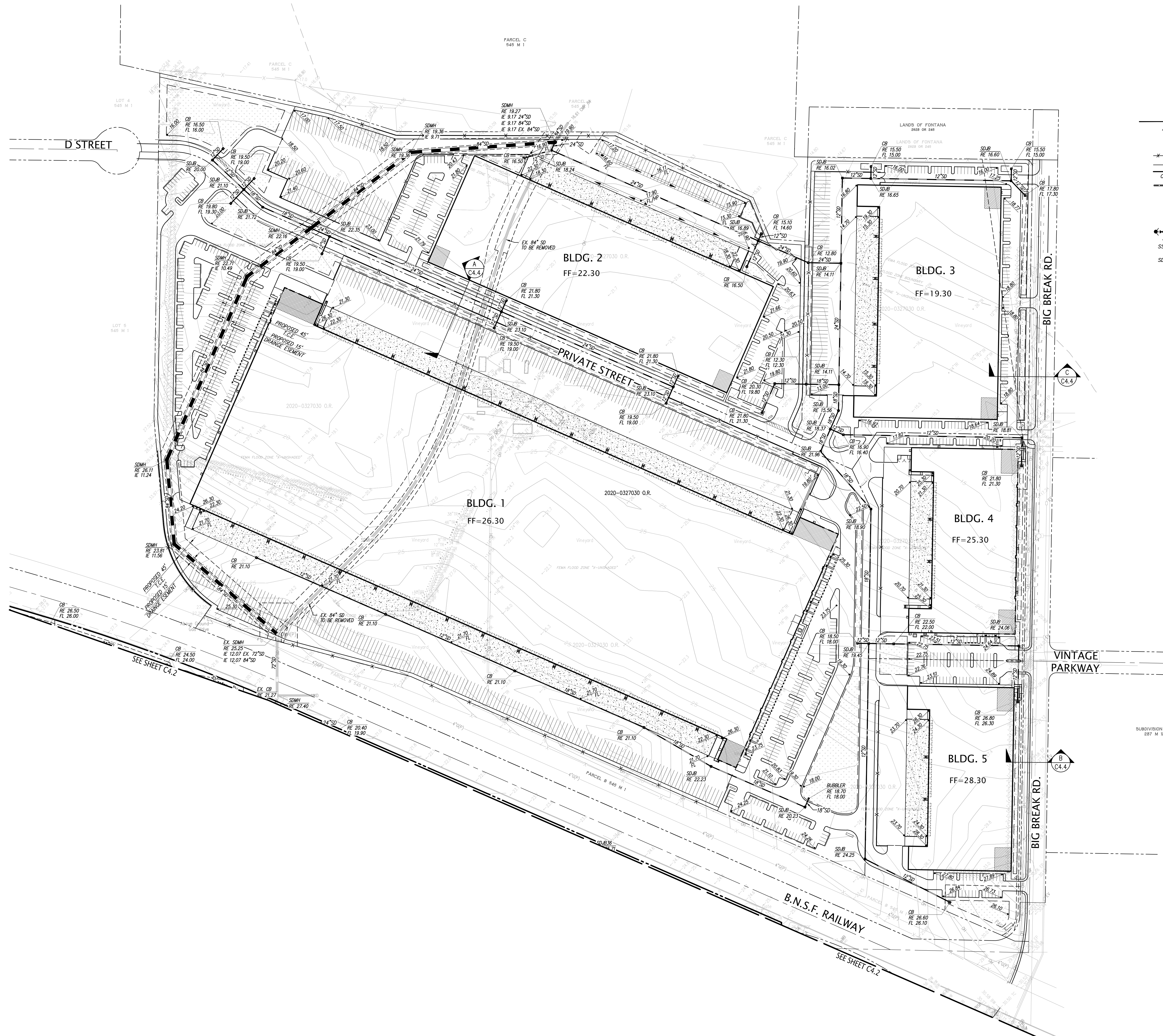
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- FS EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- SS SANITARY SEWER
- COTG CLEANOUT TO GRADE
- X"SD STORM DRAIN LINE
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- STORM DRAIN CATCH BASIN
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- WATER METER



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PRELIMINARY GRADING & DRAINAGE PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS OAKLEY, CALIFORNIA									
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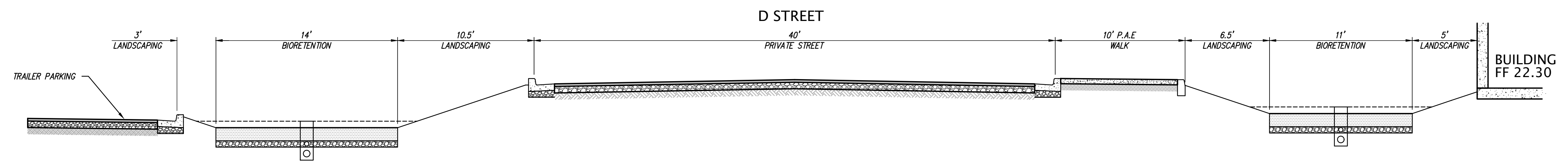


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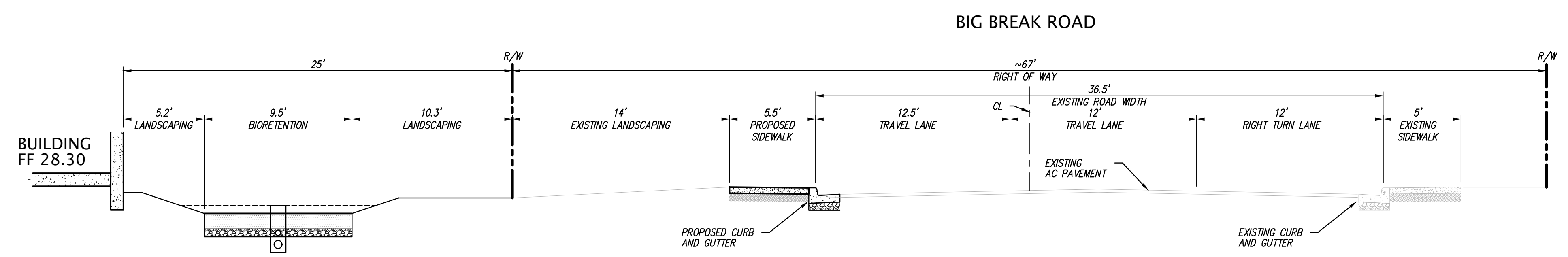
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- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
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- FIRE HYDRANT & VALVE
- POST INDICATOR VALVE
- SANITARY SEWER MANHOLE
- SINGLE CHECK VALVE
- STORM DRAIN MANHOLE
- WATER METER

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PRELIMINARY GRADING & DRAINAGE PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS			
OAKLEY, CALIFORNIA			
DATE	SEPT., 2023		
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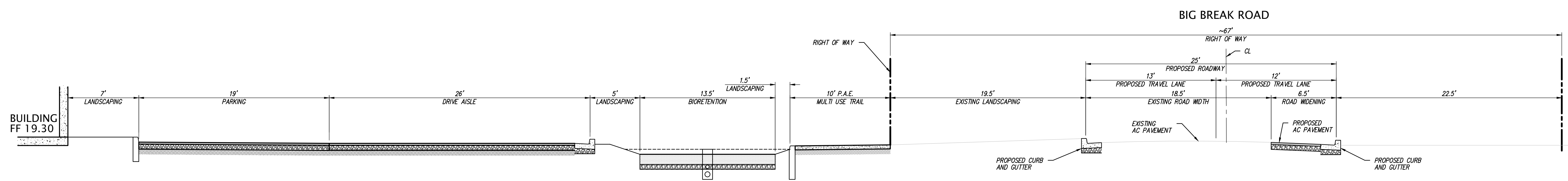
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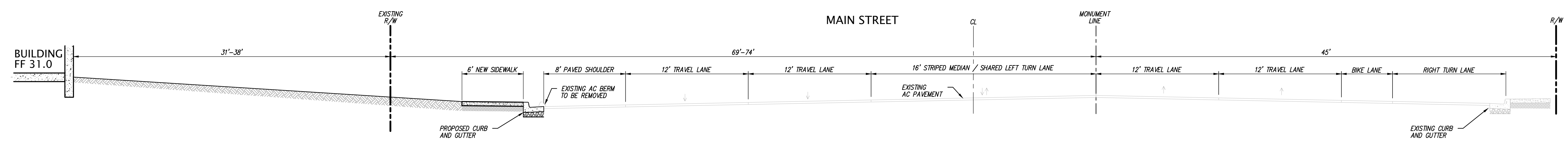
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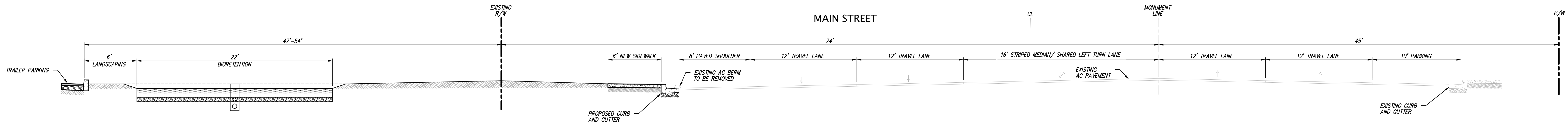
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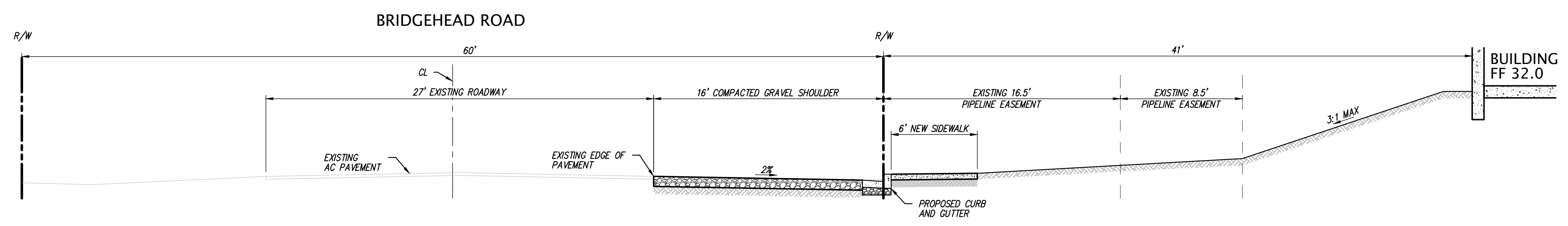
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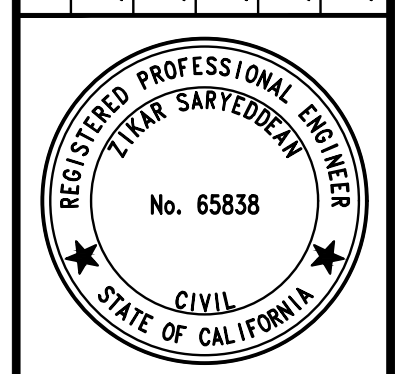


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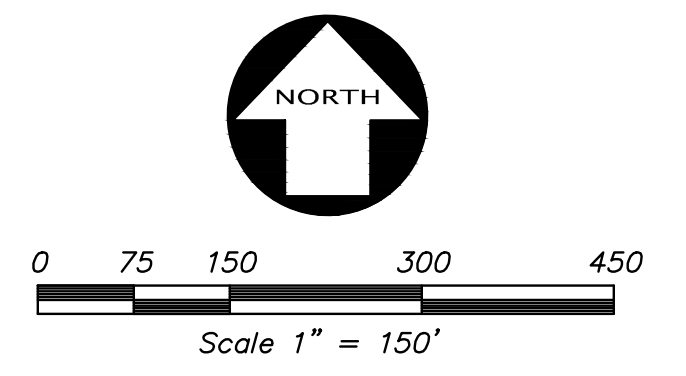
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 CIVIL
 STATE OF CALIFORNIA
 2850 Collier Canyon Road
 Livermore, CA 94551
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CALIFORNIA

TYPICAL SECTIONS
 OF
 BRIDGEHEAD INDUSTRIAL
 FOR
 JB2 PARTNERS

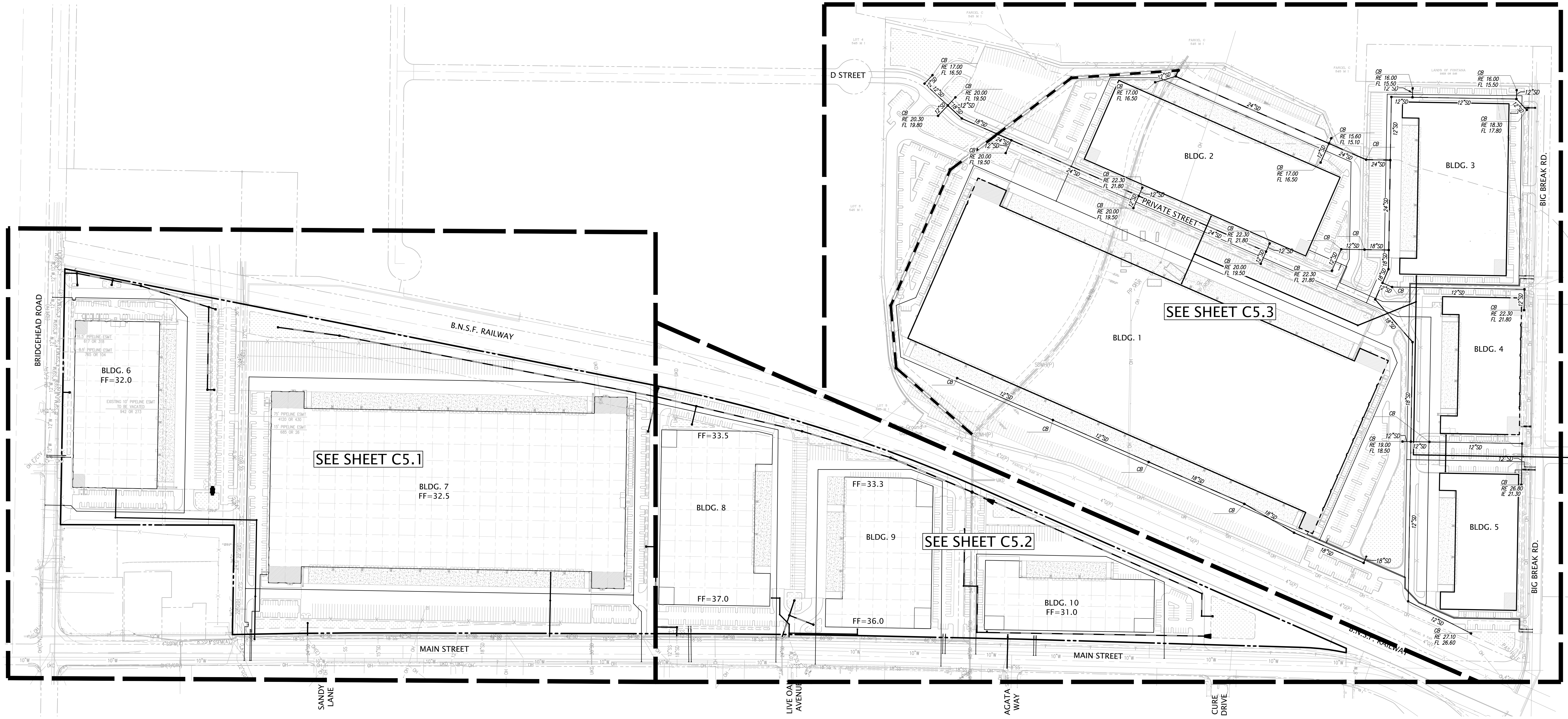
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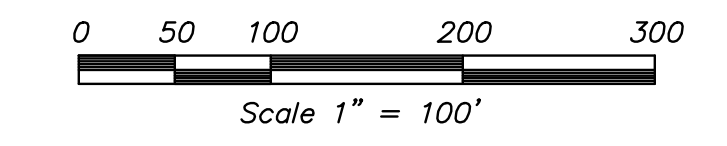
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- RE RIM ELEVATION
- TC TOP OF CURB
- WS WATER SERVICE
- FS EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- SS SANITARY SEWER
- COTG CLEANOUT TO GRADE
- SD STORM DRAIN LINE
- AD AREA DRAIN
- SDJ STORM DRAIN JUNCTION BOX
- SDM STORM DRAIN MANHOLE
- BFP BACK FLOW PREVENTION DEVICE
- FDC FIRE DEPARTMENT CONNECTION
- FHV FIRE HYDRANT & VALVE
- PV POST INDICATOR VALVE
- SSMH SANITARY SEWER MANHOLE
- SMH STORM DRAIN MANHOLE
- WM WATER METER



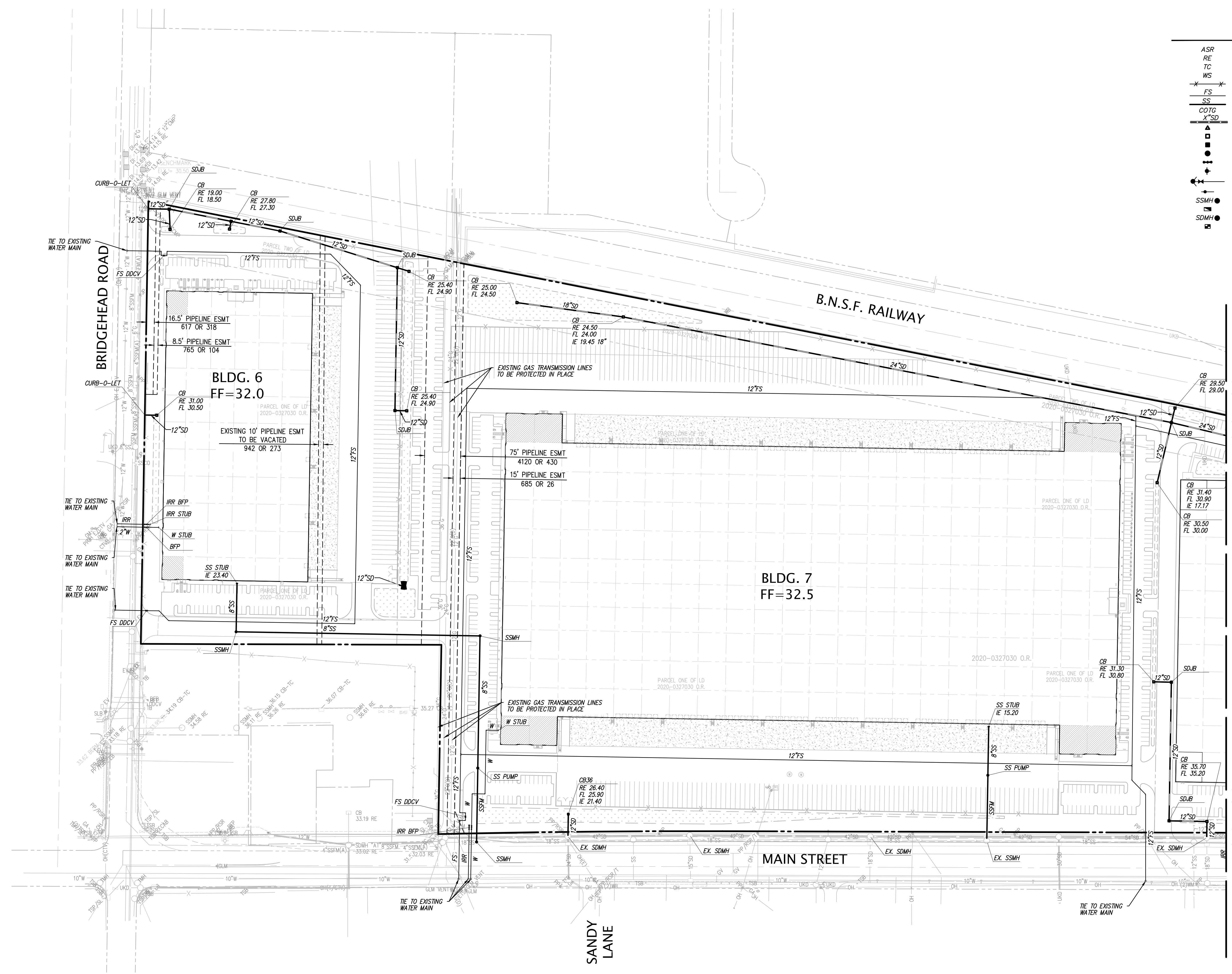
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PRELIMINARY UTILITY PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS					
OAKLEY, CALIFORNIA					
DATE SEPT., 2023					
SCALE AS SHOWN					
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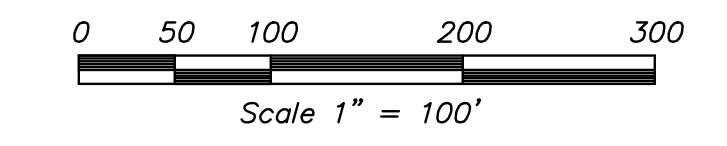
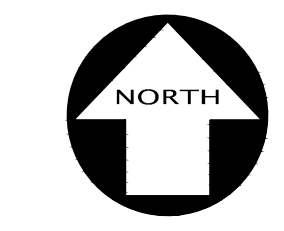
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- AD AREA DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDJB STORM DRAIN JUNCTION BOX
- SDMH STORM DRAIN MANHOLE
- BFDP BACK FLOW PREVENTION DEVICE
- FD FIRE DEPARTMENT CONNECTION
- FHV FIRE HYDRANT & VALVE
- PIV POST INDICATOR VALVE
- SSMH SANITARY SEWER MANHOLE
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- SDMH STORM DRAIN MANHOLE
- WM WATER METER



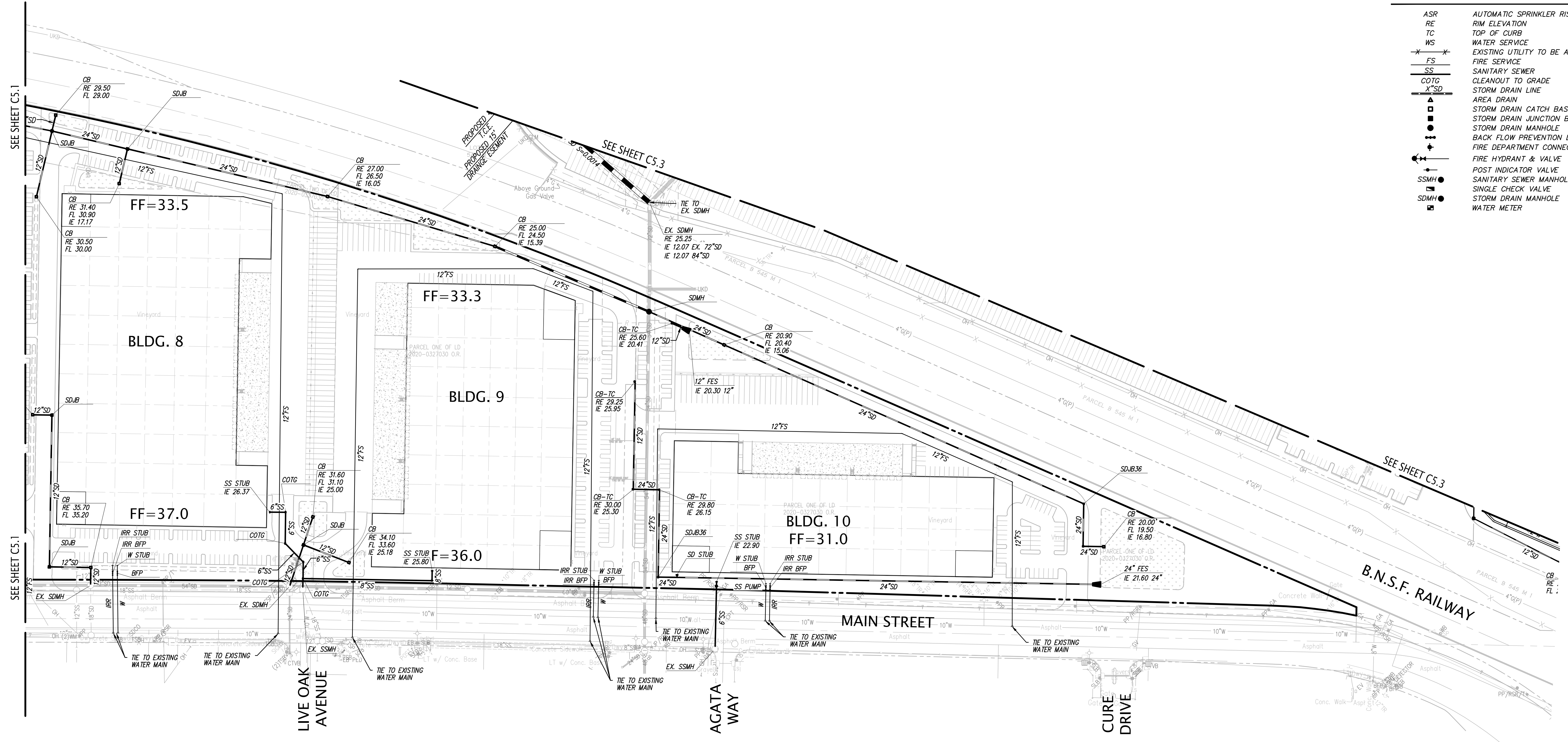
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PRELIMINARY UTILITY PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS OAKLEY, CALIFORNIA									
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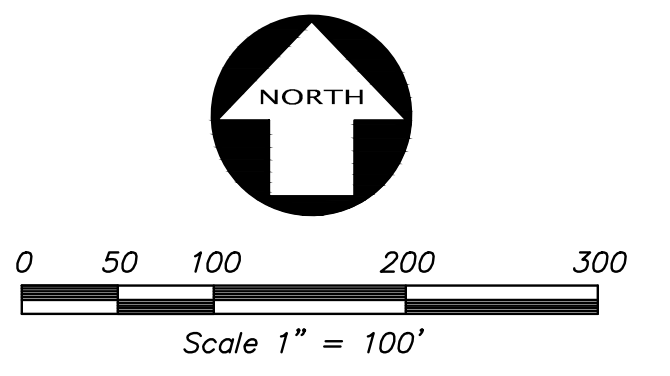
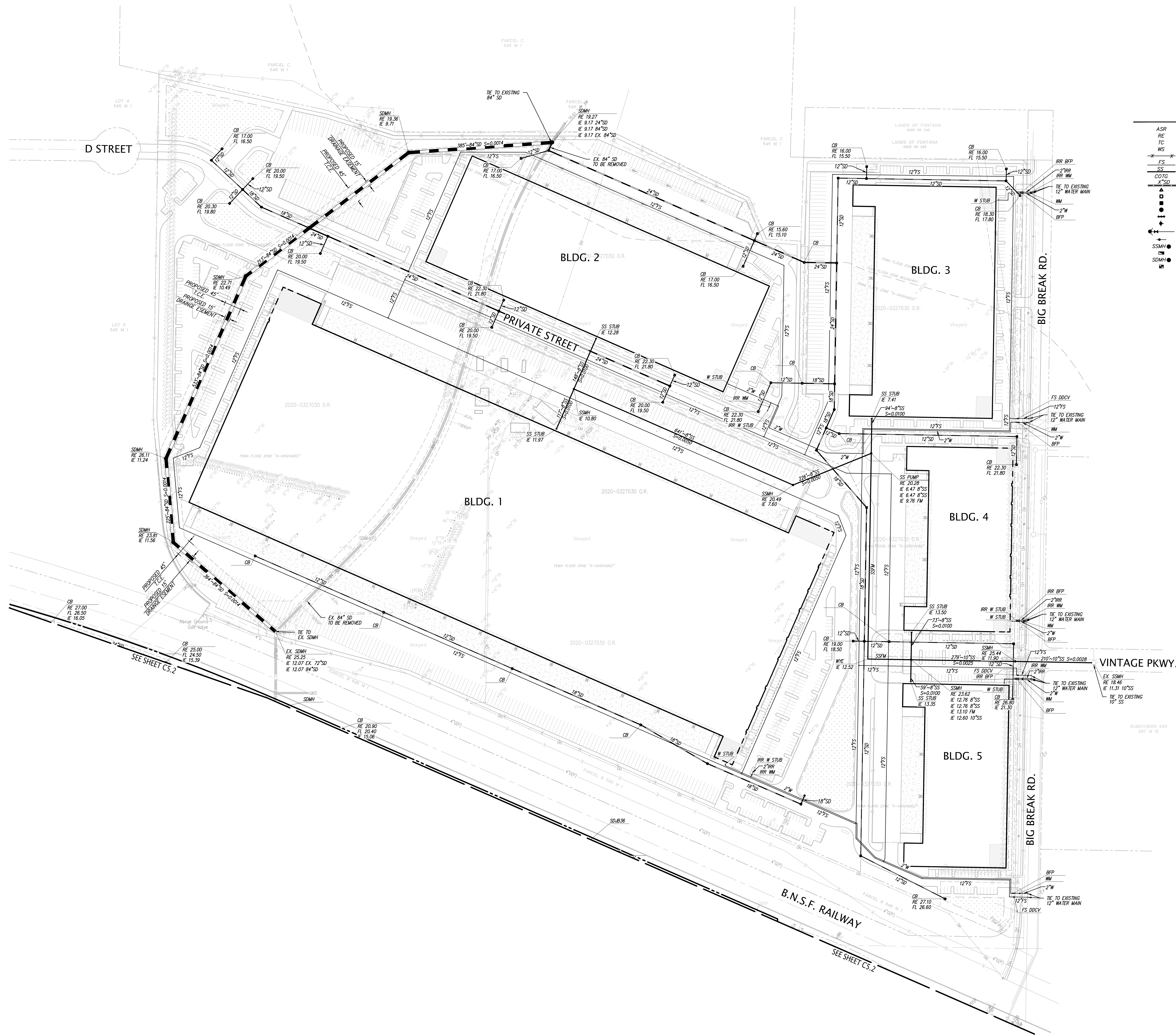
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- +--- POST INDICATOR VALVE
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- SDMH STORM DRAIN MANHOLE
- WATER METER



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NO.	BY	REVISION							
1	AS	1ST PLANNING SUBMITTAL 12/04/2023							
2	AS	1ST PLANNING SUBMITTAL 12/04/2023							
3	AS	1ST PLANNING SUBMITTAL 12/04/2023							
4	AS	1ST PLANNING SUBMITTAL 12/04/2023							
KIER+WRIGHT REGISTERED PROFESSIONAL ENGINEERS No. 65838 CIVIL STATE OF CALIFORNIA 2850 Collier Canyon Road Livermore, CA 94551 Phone: (925) 245-8788 www.kierwright.com									
PRELIMINARY UTILITY PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS OAKLEY, CALIFORNIA									
DATE		SEPT., 2023							
SCALE		AS SHOWN							
DESIGNER		ZS							
DRAWN BY		VB							
JOB NO.		A21757-4							
SHEET		C5.2							
OF		12 SHEETS							



LEGEND

- ASR AUTOMATIC SPRINKLER RISER
- RE RIM ELEVATION
- TC TOP OF CURB
- WS WATER SERVICE
- X --- EXISTING UTILITY TO BE ABANDONED BY REMOVAL
- FS FIRE SERVICE
- SS SANITARY SEWER
- CO/GC --- CLEANOUT TO GRADE
- X' SD --- TIE TO EXISTING 12" WATER MAIN
- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- ⊕ BACK FLOW PREVENTION DEVICE
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ FIRE HYDRANT & VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SINGLE CHECK VALVE
- ⊕ STORM DRAIN MANHOLE
- ⊕ WATER METER

NO.	DATE	REVISION
1	12/04/2023	1ST PLANNING SUBMITTAL 12/04/2023
KIER+WRIGHT REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA No. 65838 Phone: (925) 245-8788 www.kierwright.com 2850 Collier Canyon Road Livermore, CA 94551		
PRELIMINARY UTILITY PLAN OF BRIDGEHEAD INDUSTRIAL FOR JB2 PARTNERS		
CALIFORNIA OAKLEY,		
DATE	SEPT., 2023	
SCALE	AS SHOWN	
DESIGNER	ZS	
DRAWN BY	VB	
JOB NO.	A21757-4	
SHEET	C5.3	
OF	12	SHEETS

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SOUTH PARCEL BIORETENTION SIZING CALCULATIONS

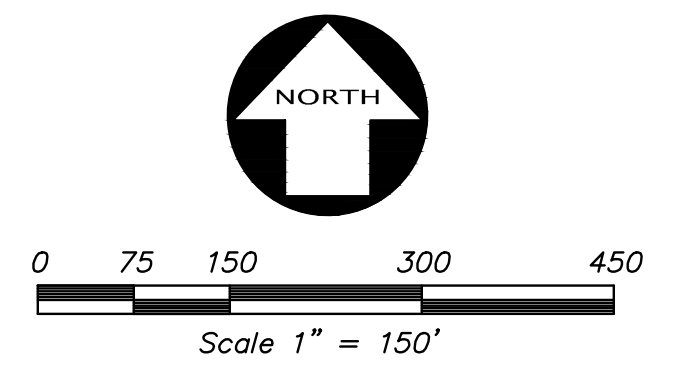
DMA No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Imperv. (SF)	Imperv. (AC)	Treatment Area* (SF)	Treatment Required (SF)**	Treatment Provided (SF)	Sizing Ratio (%)	Type of Planter
22	341,701	7.84	88,207	2.02	234,224	5.38	243,145	9,726	19,170	7.88%	Bioretention Planter
23	195,157	4.48	24,530	0.56	163,937	3.76	166,392	6,656	6,670	4.01%	Bioretention Planter
24	448,950	10.31	16,616	0.38	415,584	9.54	417,246	16,690	16,750	4.01%	Bioretention Planter
25	34,778	0.80	10,313	0.24	22,570	0.52	23,601	944	1,895	8.03%	Bioretention Planter
26	54,326	1.25	4,298	0.10	46,730	1.07	47,160	1,886	3,398	6.99%	Bioretention Planter
27	46,066	1.06	16,465	0.38	26,684	0.61	28,331	1,133	2,917	10.30%	Bioretention Planter
28	67,731	1.55	6,621	0.15	58,700	1.35	59,362	2,374	2,410	4.06%	Bioretention Planter
29	53,753	1.23	5,852	0.13	46,016	1.06	46,601	1,864	1,885	4.04%	Bioretention Planter
30	23,749	0.55	6,444	0.15	14,165	0.33	14,809	592	3,140	21.20%	Bioretention Planter
31	21,786	0.50	5,190	0.12	15,286	0.35	15,805	632	1,310	8.29%	Bioretention Planter
32	712,098	16.35	42,247	0.97	643,831	14.78	648,056	25,922	26,020	4.02%	Bioretention Planter
33	756,359	17.36	63,910	1.47	665,329	15.27	671,720	26,869	27,120	4.04%	Bioretention Planter
34	396,570	9.10	49,669	1.14	330,738	7.59	335,705	13,428	16,163	4.81%	Bioretention Planter
35	100,832	2.31	10,272	0.24	87,800	2.00	88,027	3,521	3,560	4.04%	Bioretention Planter
36	27,782	0.64	8,254	0.19	18,743	0.43	19,568	783	785	4.01%	Bioretention Planter
37	17,323	0.40	4,927	0.11	11,896	0.27	12,389	496	500	4.04%	Bioretention Planter
38	11,076	0.25	6,118	0.14	4,703	0.11	5,315	213	255	4.80%	Bioretention Planter
Totals	3,310,037	76.0	369,953	8.49	2,806,236	64.42	2,843,231		133,848		

*: Total Treatment Area is equal to Impervious Area + 0.10 * Landscape Area.
 **: Treatment area required base on 4% method using the IMP Calculator per Contra Costa County C.3 Guidelines

NORTH PARCEL BIORETENTION SIZING CALCULATIONS

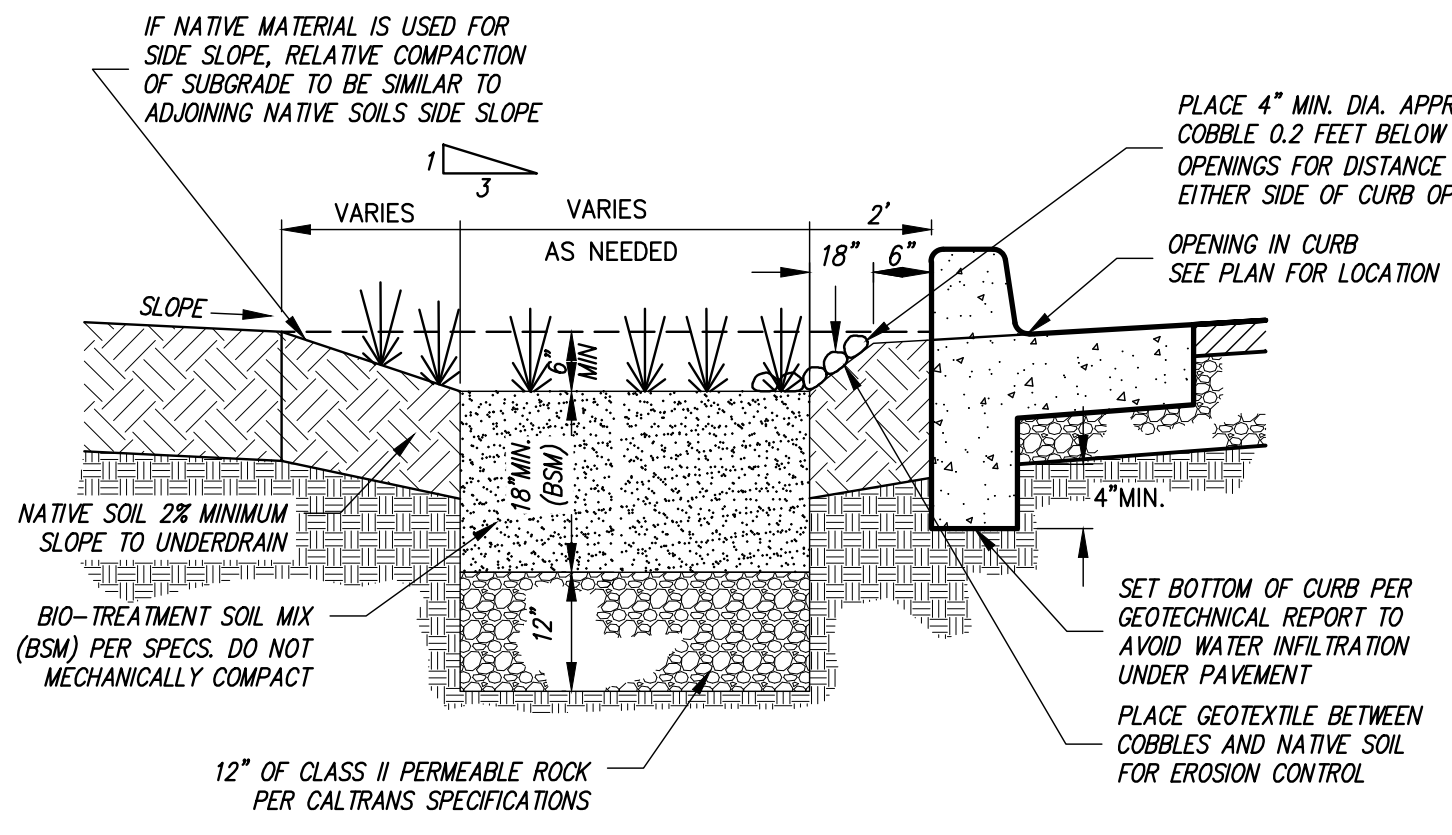
DMA No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Imperv. (SF)	Imperv. (AC)	Treatment Area* (SF)	Treatment Required (SF)**	Treatment Provided (SF)	Sizing Ratio (%)	Type of Planter
1	1,104,899	25.36	63,868	1.47	1,000,686	22.97	1,007,073	40,283	40,345	4.01%	Bioretention Planter
2	707,663	16.25	29,553	0.68	653,160	14.99	656,119	26,245	24,910	3.80%	Bioretention Planter
3	404,000	9.27	56,244	1.29	334,127	7.67	339,751	13,590	13,629	4.01%	Bioretention Planter
4	173,737	3.99	19,487	0.45	121,784	2.80	123,733	4,949	32,466	26.24%	Bioretention Planter
5	35,309	0.81	12,555	0.29	17,624	0.40	18,880	755	5,130	27.17%	Bioretention Planter
6	256,358	5.89	14,985	0.34	231,748	5.32	233,247	9,330	9,625	4.13%	Bioretention Planter
7	31,482	0.72	2,992	0.07	27,368	0.63	27,667	1,107	1,122	4.06%	Bioretention Planter
8	91,867	2.11	5,253	0.12	83,170	1.91	83,695	3,348	3,444	4.11%	Bioretention Planter
9	53,556	1.23	4,837	0.11	46,633	1.07	47,117	1,885	2,086	4.43%	Bioretention Planter
10	55,844	1.28	8,918	0.20	44,984	1.03	45,876	1,835	1,942	4.23%	Bioretention Planter
11	72,727	1.67	5,769	0.13	64,177	1.47	64,754	2,590	2,781	4.29%	Bioretention Planter
12	54,607	1.25	15,209	0.35	36,911	0.85	38,432	1,537	2,487	6.47%	Bioretention Planter
13	179,428	4.12	6,992	0.16	159,683	3.67	160,382	6,415	12,753	7.95%	Bioretention Planter
14	21,274	0.49	7,567	0.17	12,882	0.30	13,639	546	825	6.05%	Bioretention Planter
15	25,173	0.58	6,026	0.14	18,322	0.42	18,925	757	825	4.36%	Bioretention Planter
16	93,353	2.14	3,607	0.08	86,101	1.98	86,462	3,458	3,645	4.22%	Bioretention Planter
17	104,197	2.39	4,999	0.11	95,243	2.19	95,743	3,830	3,955	4.13%	Bioretention Planter
18	113,718	2.61	10,930	0.25	95,490	2.19	96,583	3,863	7,298	7.56%	Bioretention Planter
19	71,697	1.65	7,866	0.18	59,893	1.37	60,680	2,427	3,938	6.49%	Bioretention Planter
20	72,814	1.67	8,423	0.19	59,994	1.38	60,836	2,433	4,397	7.23%	Bioretention Planter
21	90,058	2.07	10,755	0.25	72,513	1.66	73,589	2,944	6,790	9.23%	Bioretention Planter
Totals	3,813,761	87.6	306,875	7.04	3,322,493	76.27	3,353,181		184,393		

*: Total Treatment Area is equal to Impervious Area + 0.10 * Landscape Area.
 **: Treatment area required base on 4% method using the IMP Calculator per Contra Costa County C.3 Guidelines



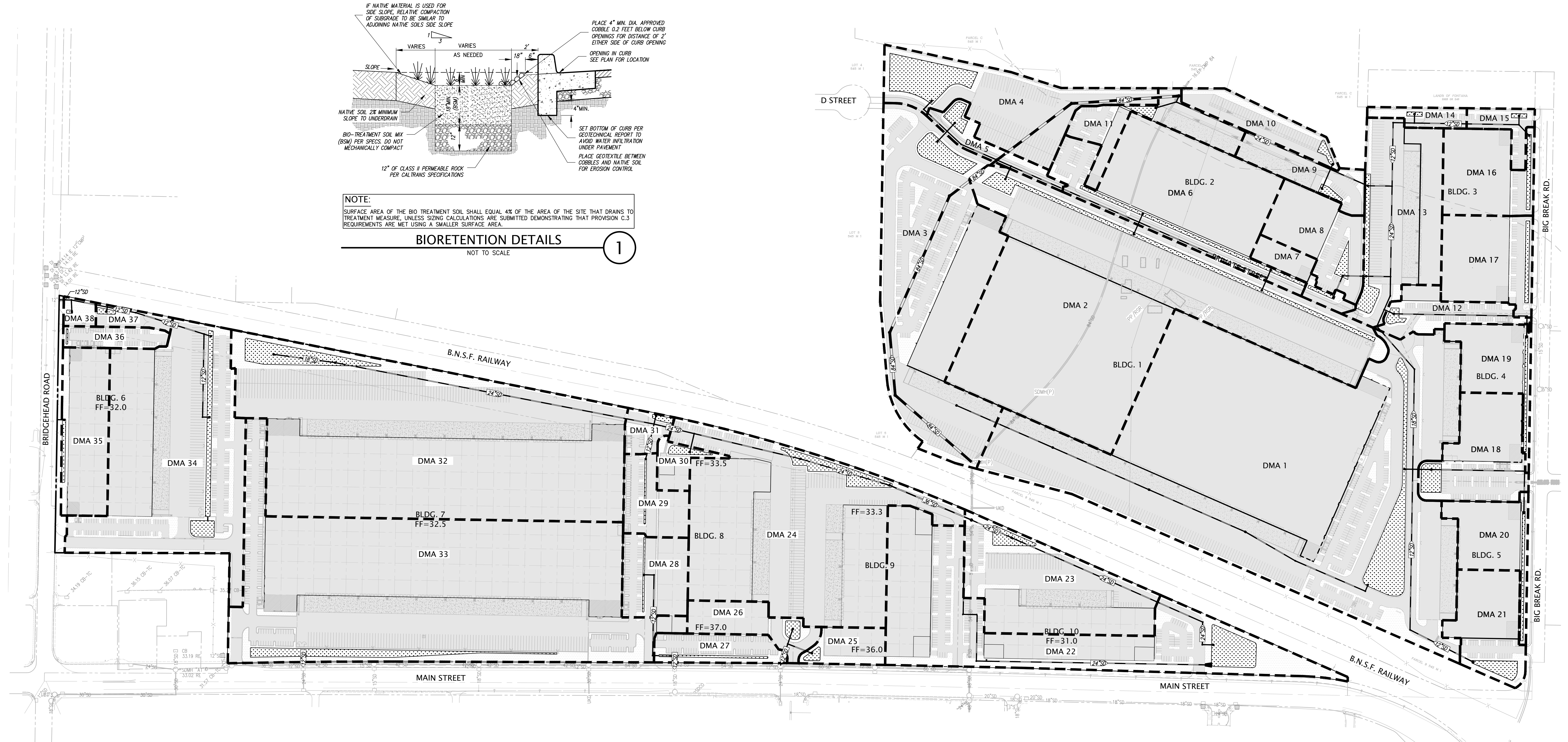
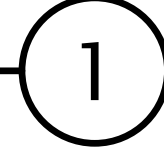
LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS PAVEMENT DRAINING TO BIORETENTION TREATMENT AREA
- BIORETENTION TREATMENT AREA



NOTE:
 SURFACE AREA OF THE BIO TREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

BIORETENTION DETAILS
 NOT TO SCALE



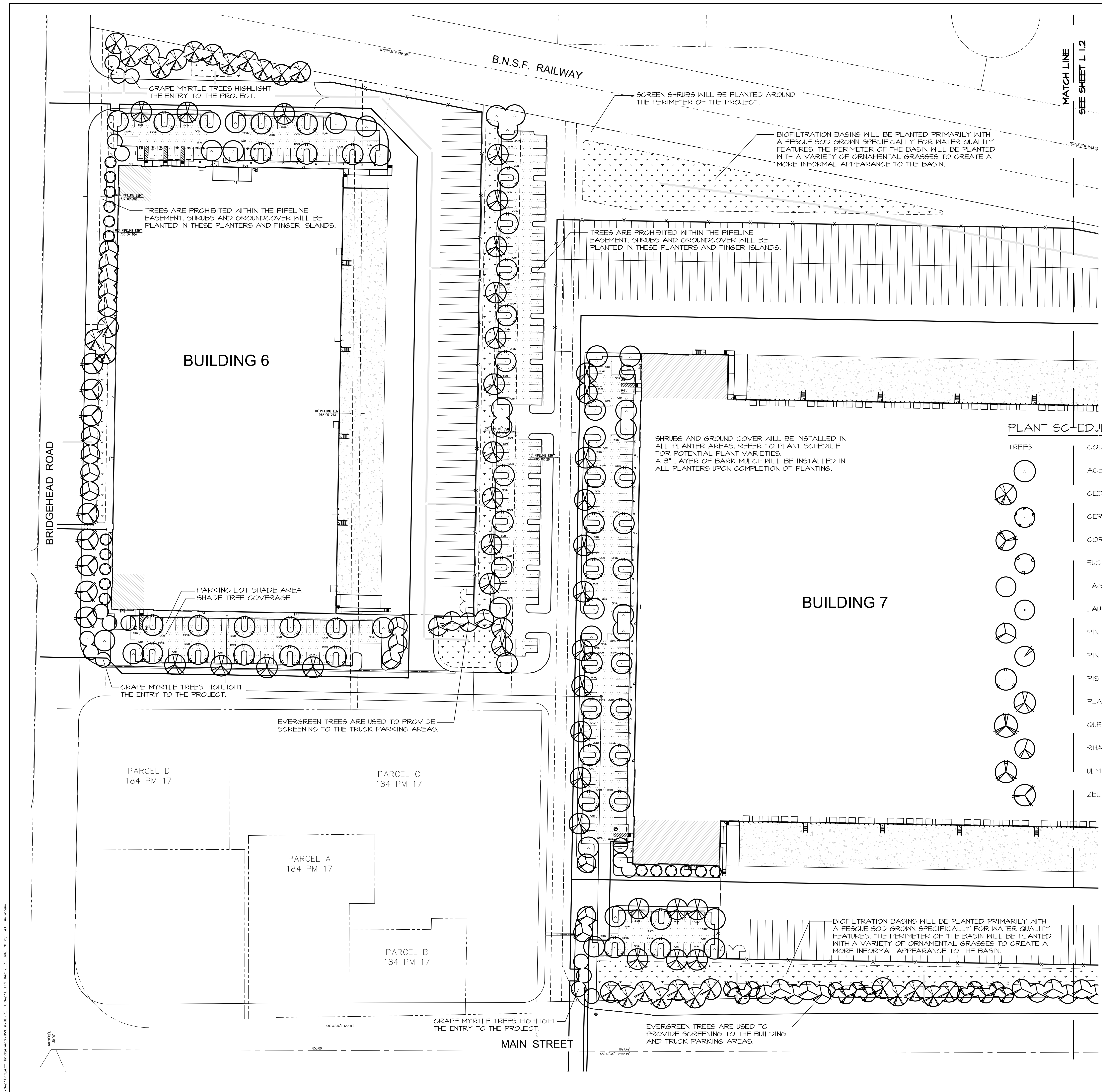
PRELIMINARY STORM WATER QUALITY CONTROL PLAN
 OF
BRIDGEHEAD INDUSTRIAL
 FOR
JB2 PARTNERS
 OAKLEY, CALIFORNIA

DATE: SEPT., 2023
 SCALE: AS SHOWN
 DESIGNER: ZS
 DRAWN BY: VB
 JOB NO.: A21757-4
 SHEET: **C6.0**
 OF 12 SHEETS

REVISION: 1ST PLANNING SUBMITTAL 12/04/2023
 NO. 1
 BY: [Signature]
 REVISION: [Signature]
 NO. 2
 BY: [Signature]

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA
 No. 65838
KIER+WRIGHT
 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-8788
 www.kierwright.com

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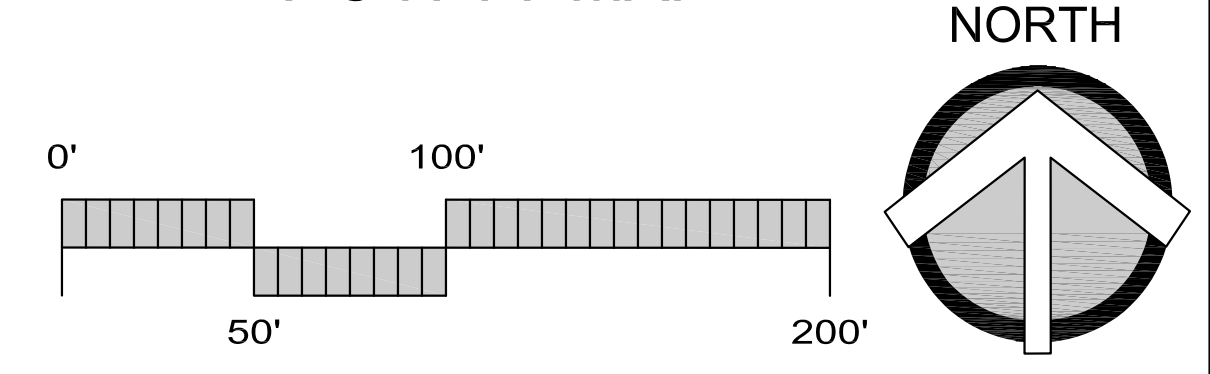
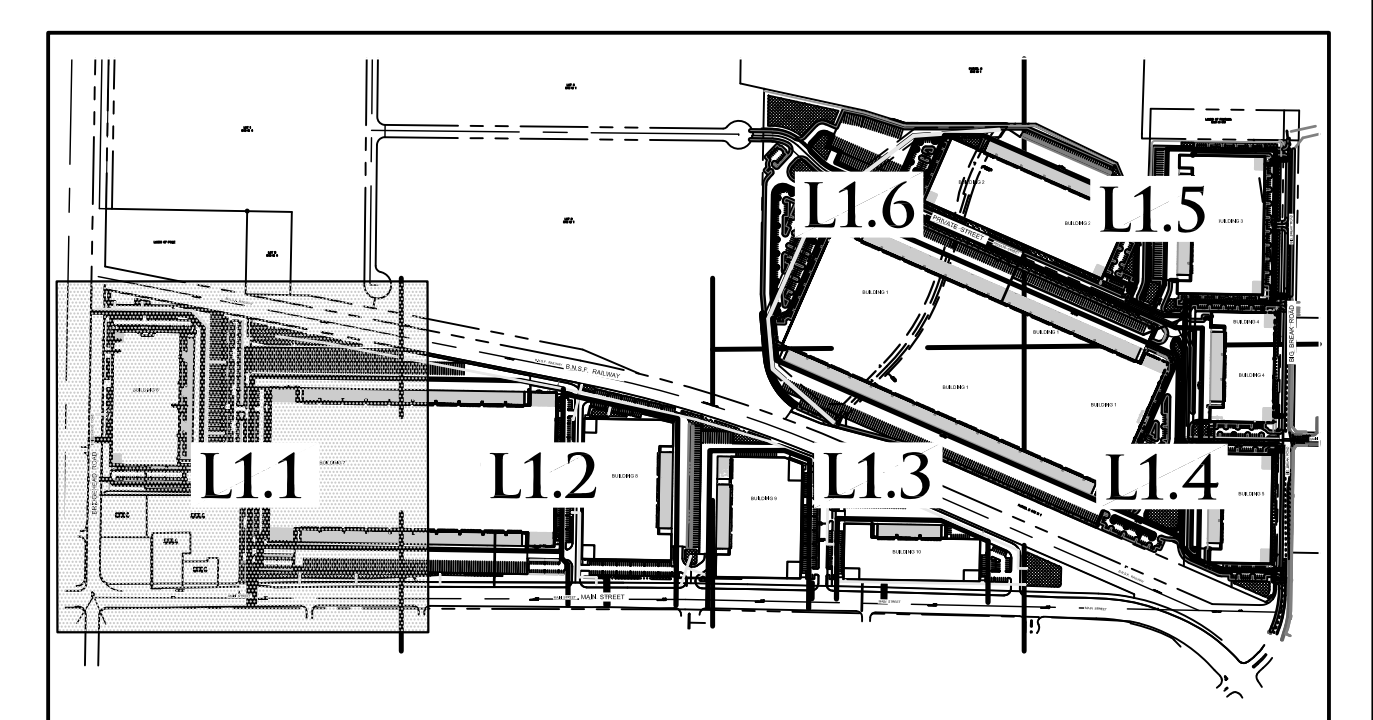
THE PROJECT COMPLIES WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE. THE GUIDELINES HAVE BEEN APPLIED FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNATURE _____ DATE 12/4/23

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	ACE OCT	Acer rubrum 'October Glory' / October Glory Red Maple
	CED DEO	Cedrus deodara / Deodar Cedar
	CER FOR	Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud
	COR CHI	Cornus florida 'Cherokee Chief' / Cherokee Chief Dogwood
	EUC NIC	Eucalyptus nicholii / Nichol's Willow-leaved Peppermint
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Grape Myrtle
	LAU XSA	Laurus x 'Saratoga' / Saratoga Hybrid Laurel
	PIN CAN	Pinus canariensis / Canary Island Pine
	PIN ELD	Pinus eldarica / Afghan Pine
	PIS RED	Pistacia x 'Red Push' / Red Push Pistache
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree
	QUE WIS	Quercus wislizenii / Interior Live Oak
	RHA MAJ	Rhaphiolepis x 'Montic' / Majestic Beauty Indian Hawthorn
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm
	ZEL VIL	Zelkova serrata 'Village Green' / Village Green Sawleaf Zelkova

SEE SHEET L1.7 FOR FULL PLANT SCHEDULE



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AUBURN, CALIFORNIA 95603
530.885.0040
www.yamasaki-la.com

LANDSCAPE DEVELOPMENT PLANS

BRIDGEHEAD INDUSTRIAL

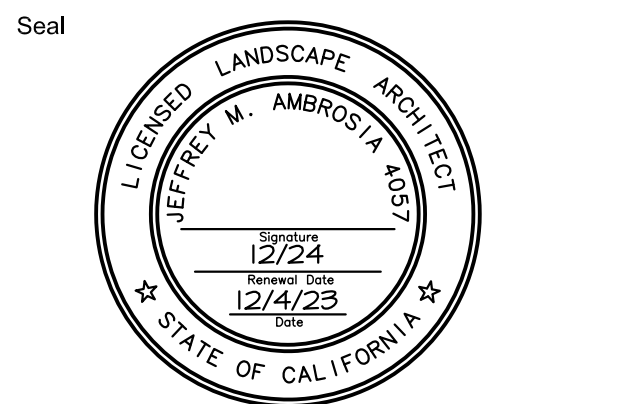
OAKLEY, CALIFORNIA

Client/Subconsultant

Project Mgr: JMA
Drawn By: JMA
Scale: 1"=50'-0"
Date: 12/4/23
File Name: PB PL

No. Date Revision
12/4/23 1st Planning Submittal

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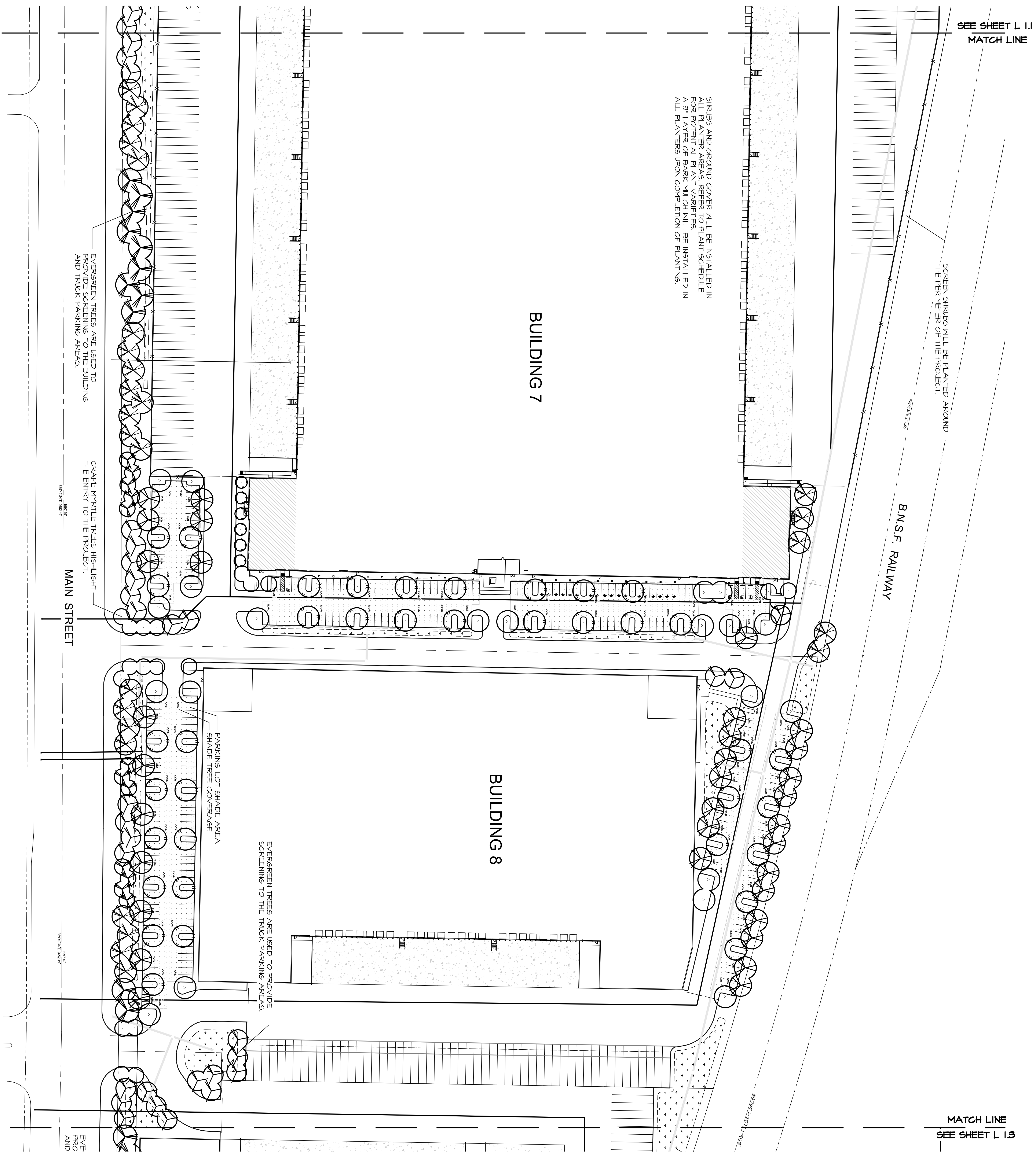
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PLANTING PLAN A

Sheet No.

L1.1

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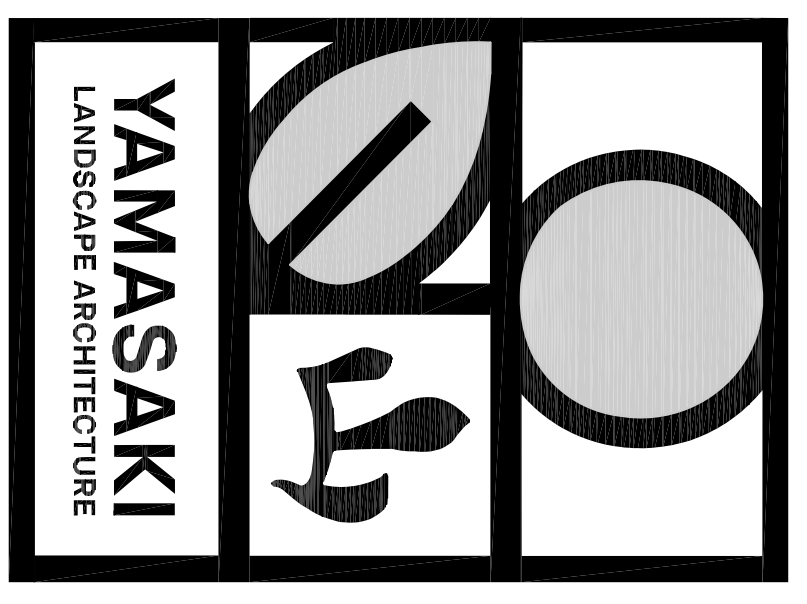
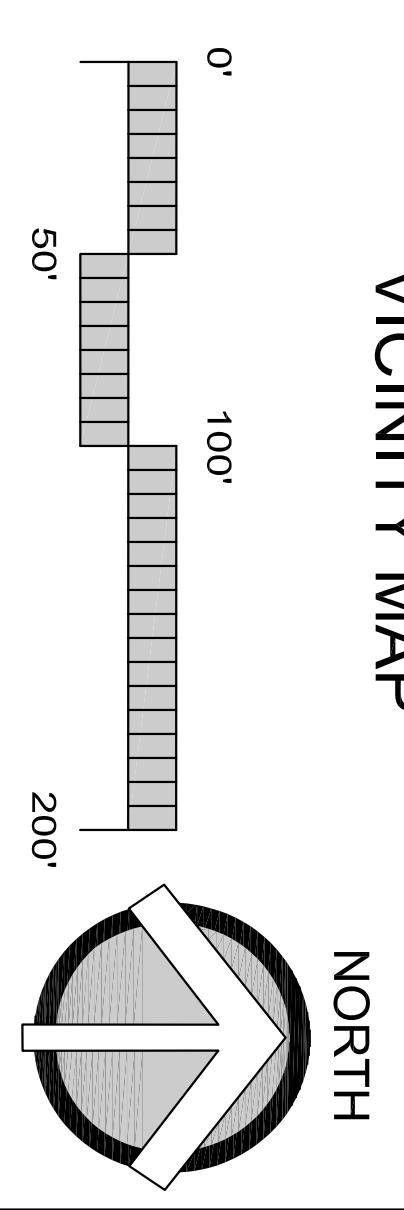
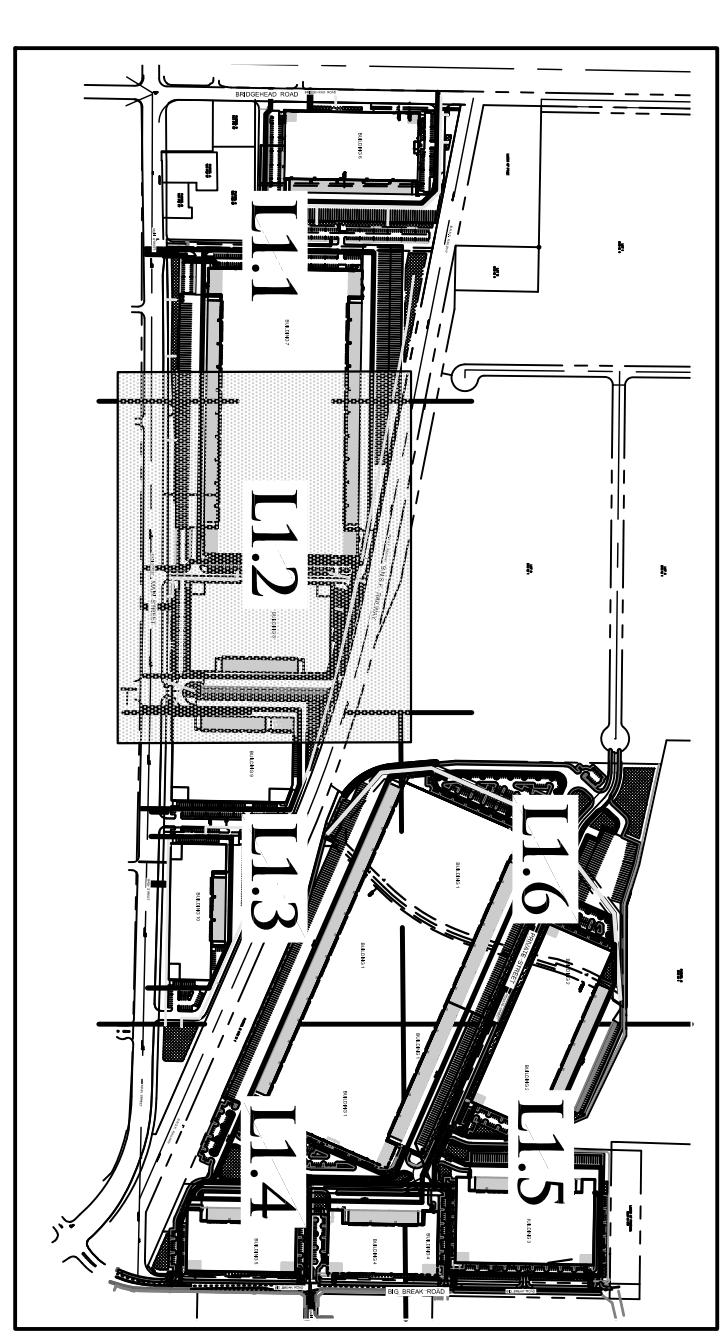
SEE SHEET L 1.1
MATCH LINE

MATCH LINE
SEE SHEET L 1.3

PLANT SCHEDULE

TREES	CODE
	AGE OCT
	CED DEO
	CER FOR
	COR CHI
	ELC NIC
	LAG NAT
	LAU XSA
	PIN CAN
	PIN ELD
	PIS RED
	PLA COL
	QUE WIS
	RIA MAJ
	ULM DRA
	ZEL VIL

SEE SHEET L1.7 FOR FULL PLANT SCHEDULE



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505.855.0040
www.yamasakiha.com

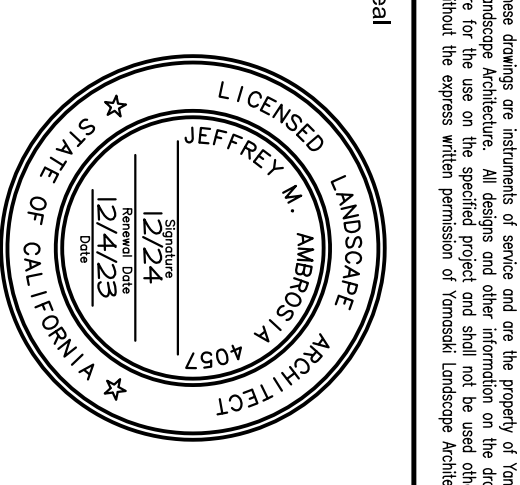
LANDSCAPE DEVELOPMENT PLANS

BRIDGEHEAD INDUSTRIAL

OAKLEY, CALIFORNIA

Client/Subcontract

Project Mgr: JMA	Date: 12/23	Revision: 1st Planning Schedule
Drawn By: JMA	Date: 12/23	
Scale: 1"=50'-0"	Date: 12/23	
File Name: FB PL		
No. 12/23	Date: 12/23	



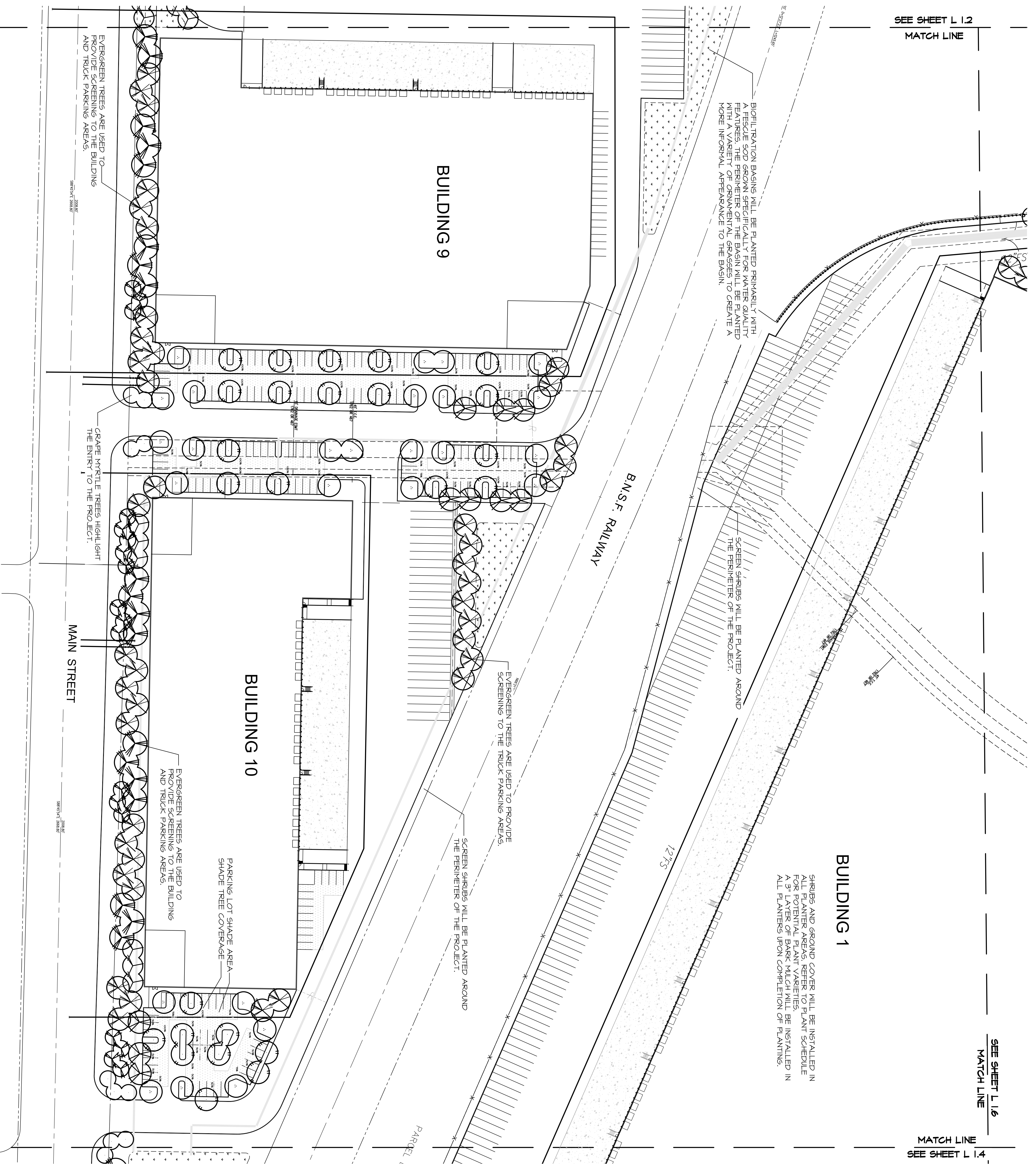
PLANTING PLAN B

L1.2

SEE SHEET L 1.2
MATCH LINE

SEE SHEET L 1.6
MATCH LINE

MATCH LINE
SEE SHEET L 1.4



BUILDING 1

BUILDING 9

BUILDING 10

B.N.S.F. RAILWAY

MAIN STREET

SHRUBS AND GROUND COVER WILL BE INSTALLED IN FOUR LAYER PLANT MATERIAL PLANT SCHEDULE IN A 3" LAYER OF BARK MULCH WILL BE INSTALLED IN ALL PLANTERS UPON COMPLETION OF PLANTING.

EVERGREEN TREES ARE USED TO PROVIDE SCREENING TO THE TRUCK PARKING AREAS.

EVERGREEN TREES ARE USED TO PROVIDE SCREENING TO THE BUILDING AND TRUCK PARKING AREAS.

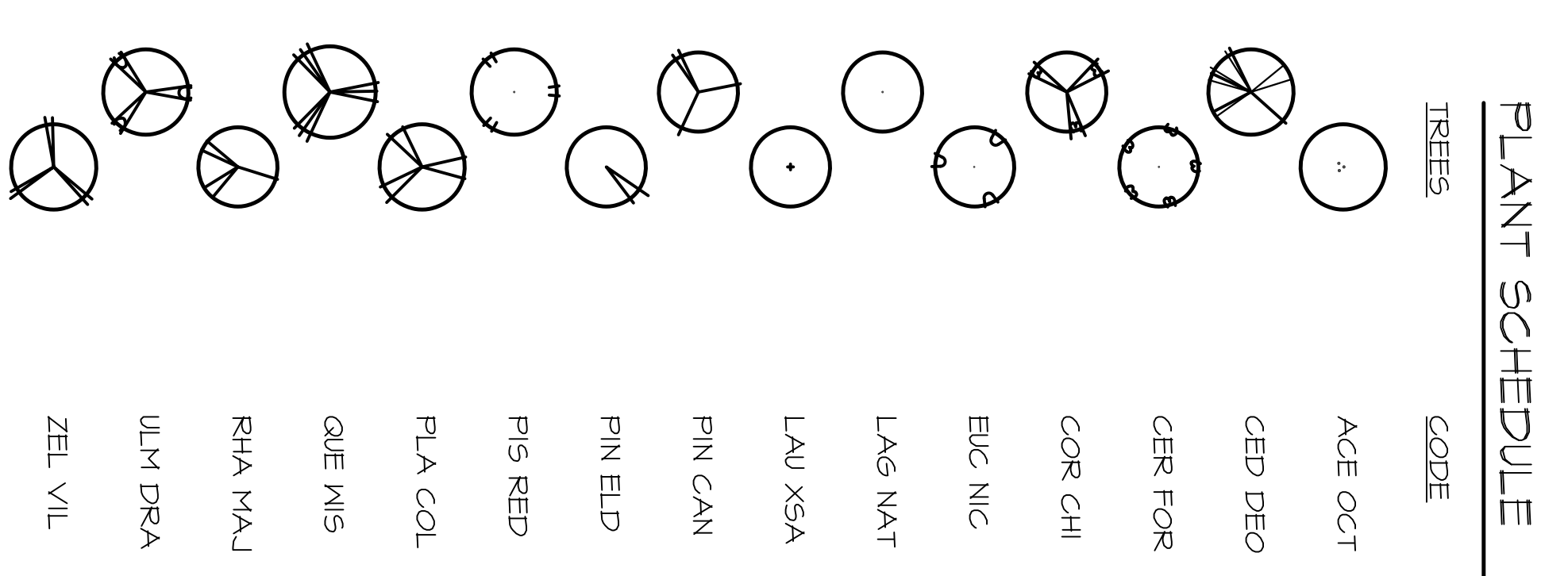
EVERGREEN TREES ARE USED TO PROVIDE SCREENING TO THE BUILDING AND TRUCK PARKING AREAS.

CRAPE MYRTLE TREES HIGHLIGHT THE ENTRY TO THE PROJECT.

SCREEN SHRUBS WILL BE PLANTED AROUND THE PERIMETER OF THE PROJECT.

SCREEN SHRUBS WILL BE PLANTED AROUND THE PERIMETER OF THE PROJECT.

PARKING LOT SHADE AREA SHADE TREE COVERAGE



PLANT SCHEDULE

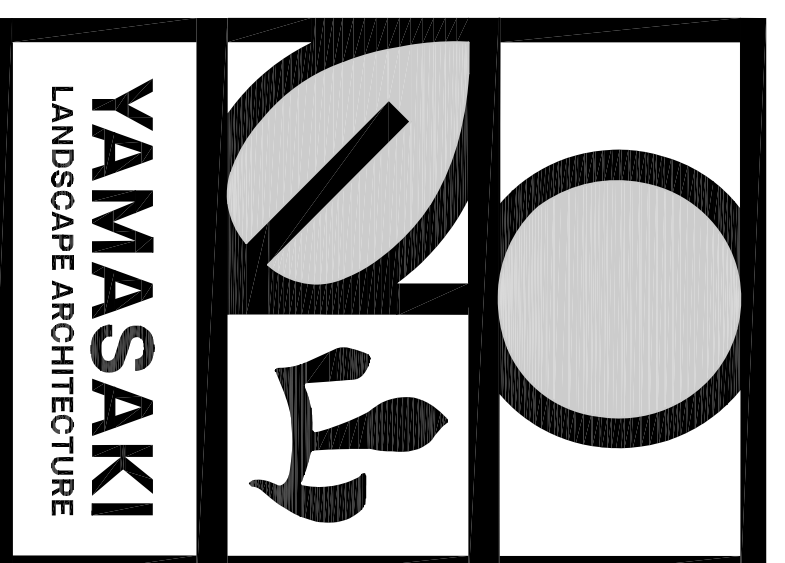
TREES

CODE

- AGE OCT
- CEP DEO
- CER FOR
- COR CHI
- ELC NIC
- LAG NAT
- LAU XSA
- PIN CAN
- PIN ELD
- PIS RED
- PLA COL
- QUE WIS
- RIA MAJ
- ULM DRA
- ZEL VIL

SEE SHEET L1.7 FOR FULL PLANT SCHEDULE

BRIDGEHEAD INDUSTRIAL
OAKLEY, CALIFORNIA



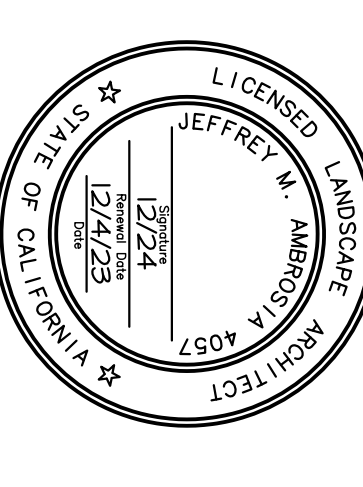
1223 HIGH STREET
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LANDSCAPE DEVELOPMENT PLANS

Client/Submitted

Project Mgr: JMA
Drawn By: JMA
Scale: 1"=50'-0"
Date: 12/14/23
File Name: PB PL
No. Date Revision
12/14/23 1st Printing Submitted

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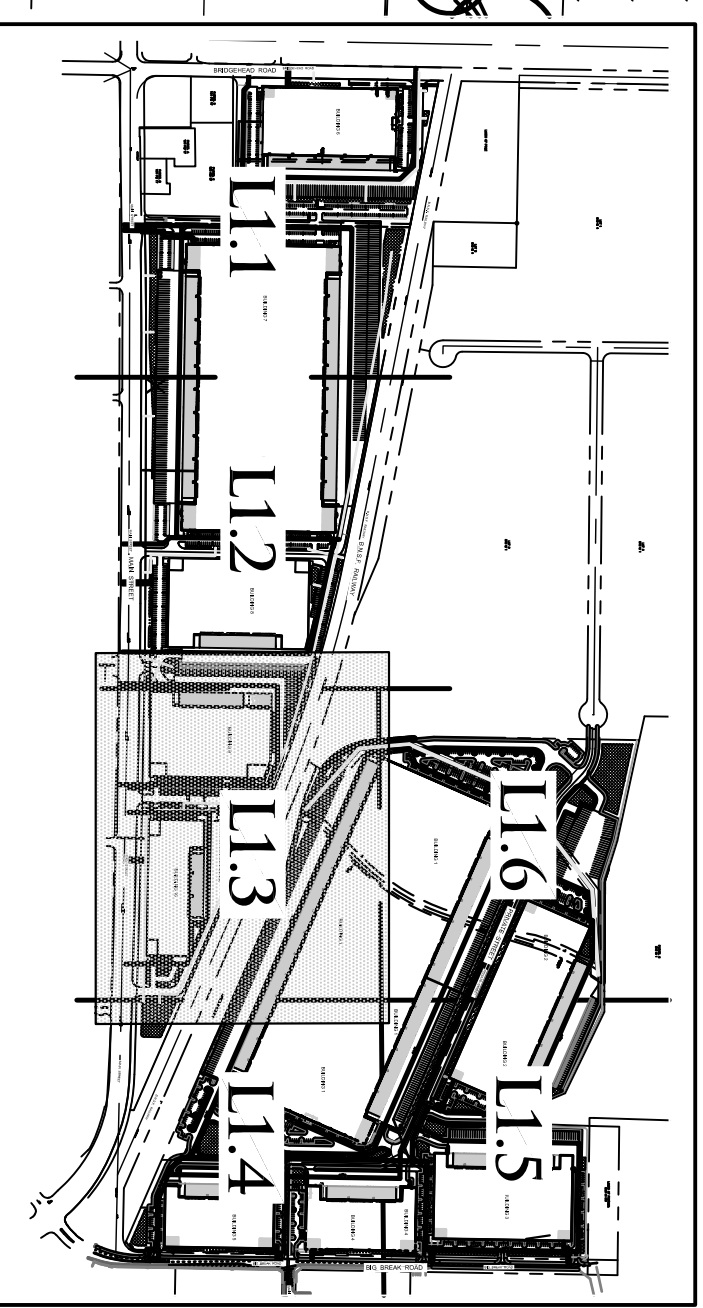
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PLANTING PLAN C

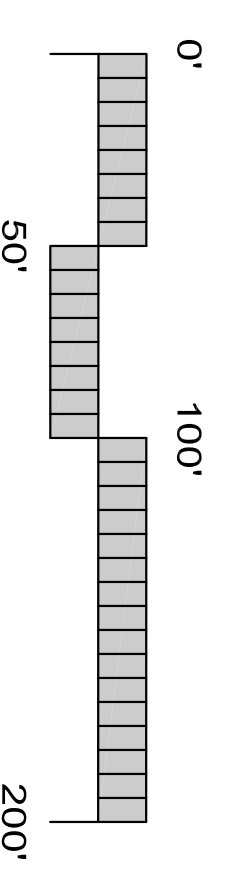
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L1.3

VICINITY MAP



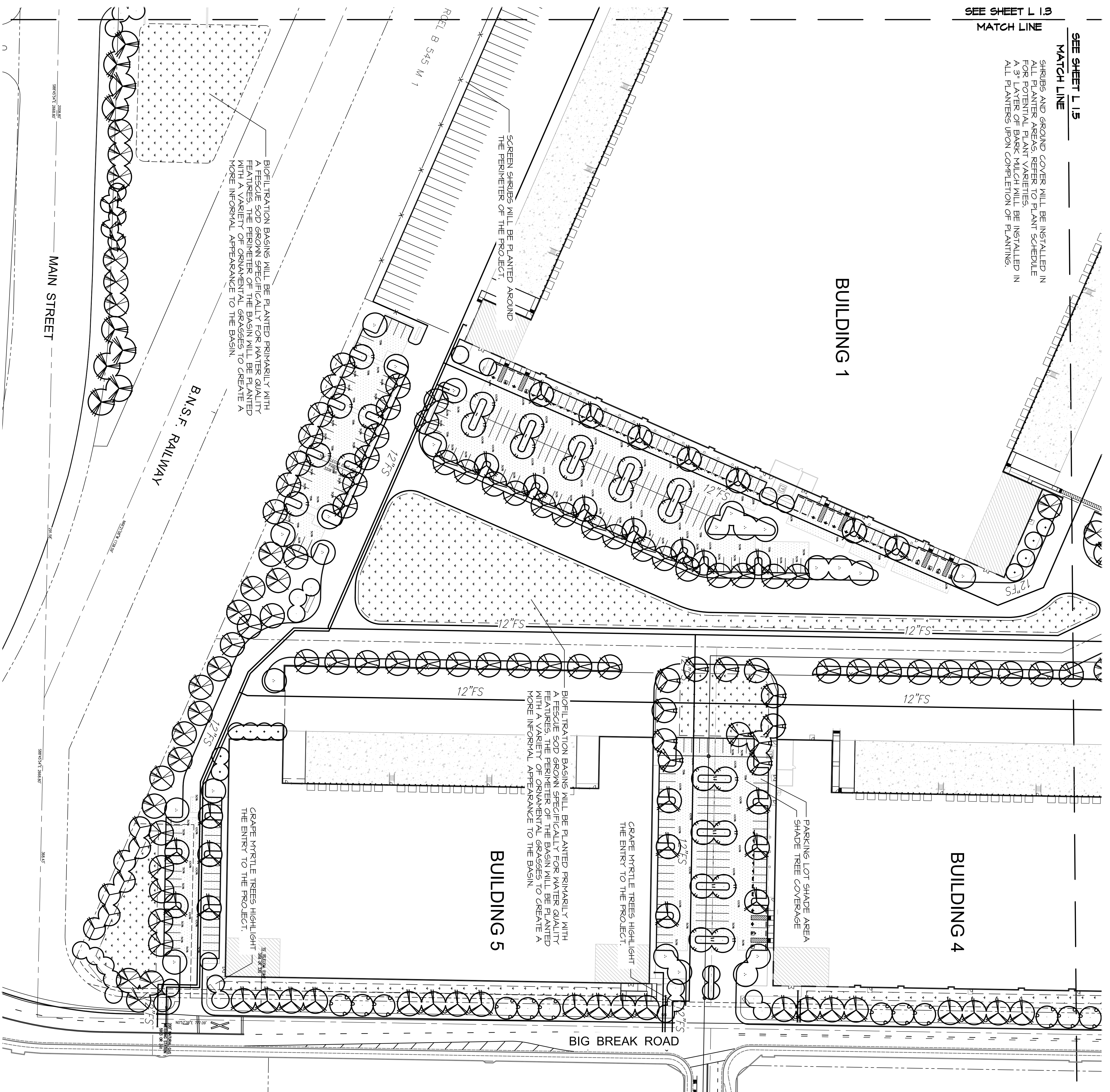
NORTH



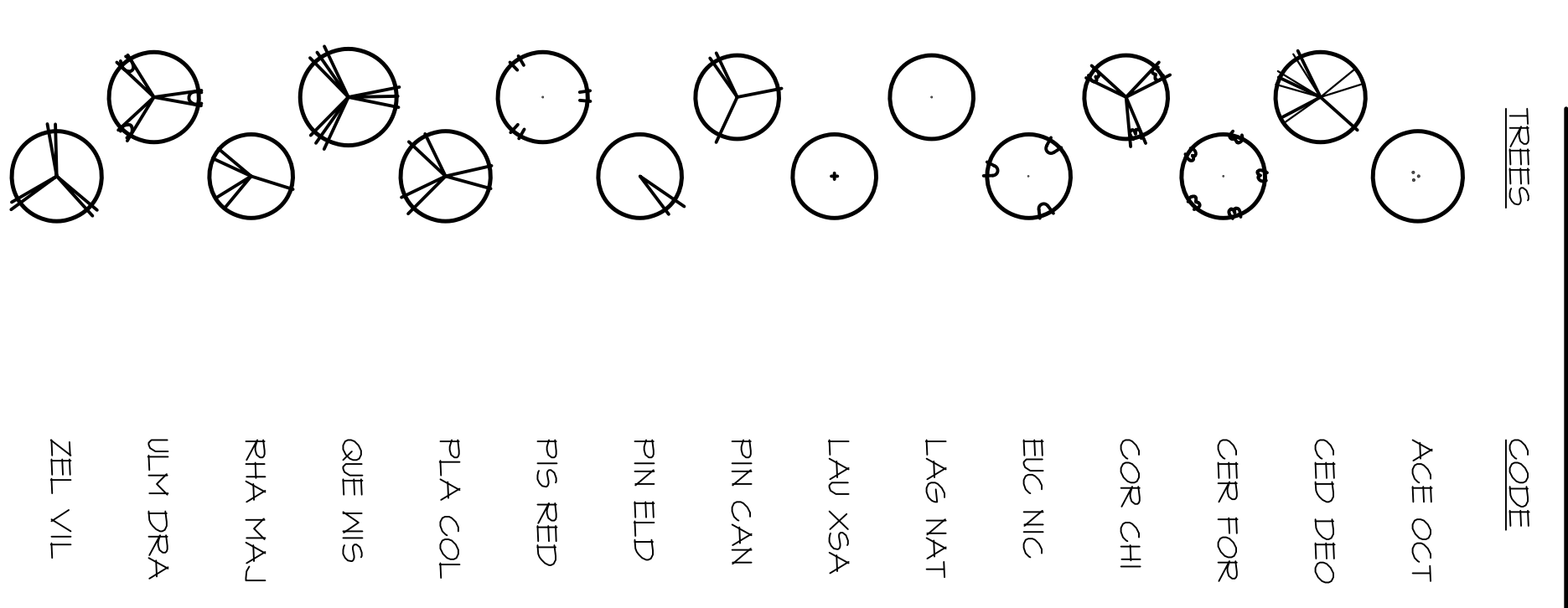
SEE SHEET L 1.3
MATCH LINE

SEE SHEET L 1.5
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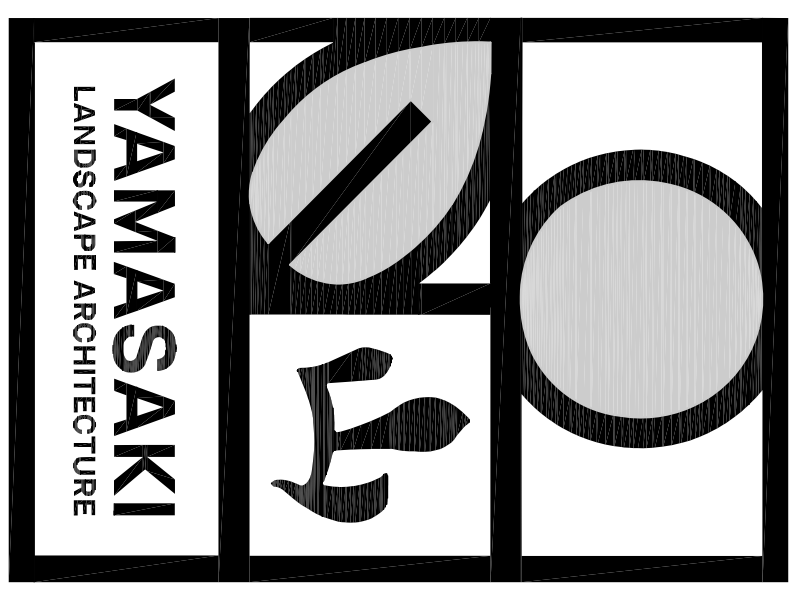
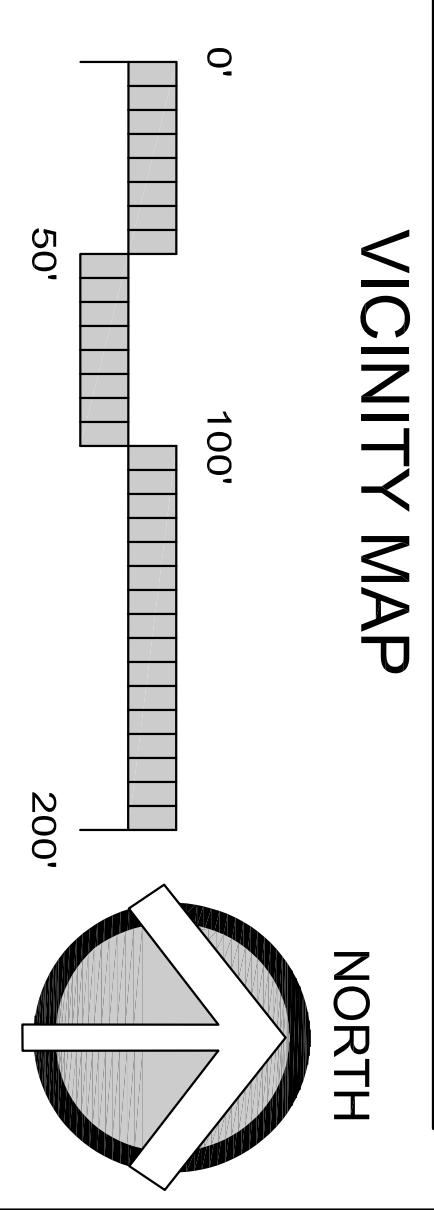
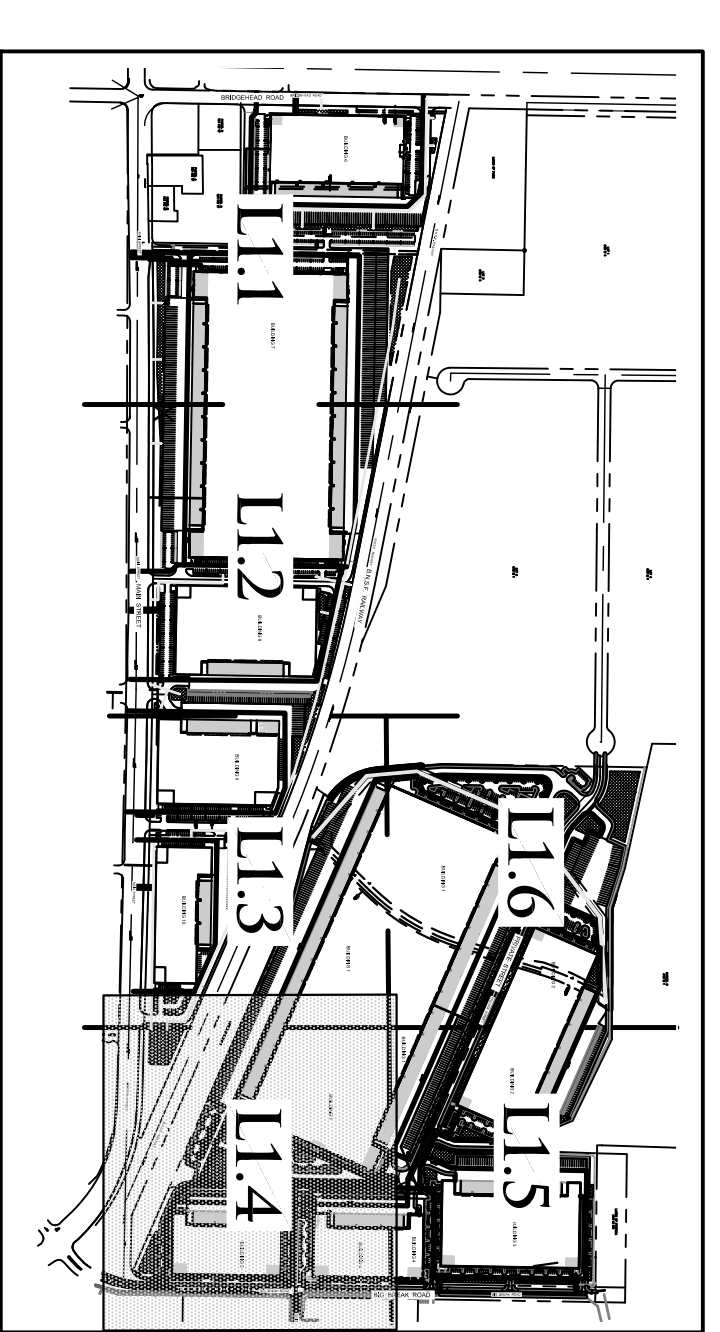
SHRUBS AND GROUND COVER WILL BE INSTALLED IN
FOR PLANTING AREAS NOT SETTER'S
A 3" LAYER OF BARK MULCH WILL BE INSTALLED IN
ALL PLANTERS UPON COMPLETION OF PLANTING.



PLANT SCHEDULE



SEE SHEET L1.7 FOR FULL
PLANT SCHEDULE



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LANDSCAPE DEVELOPMENT PLANS

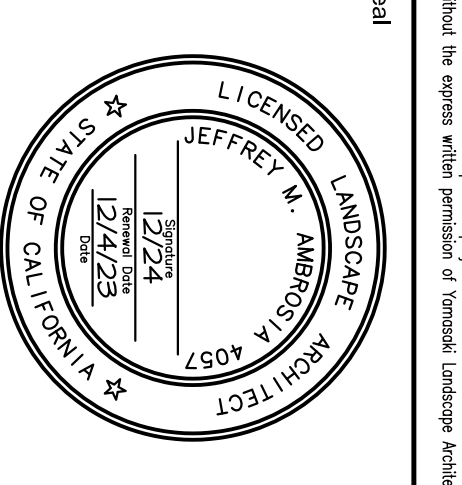
BRIDGEHEAD
INDUSTRIAL

OAKLEY, CALIFORNIA

Client/Subcontractor

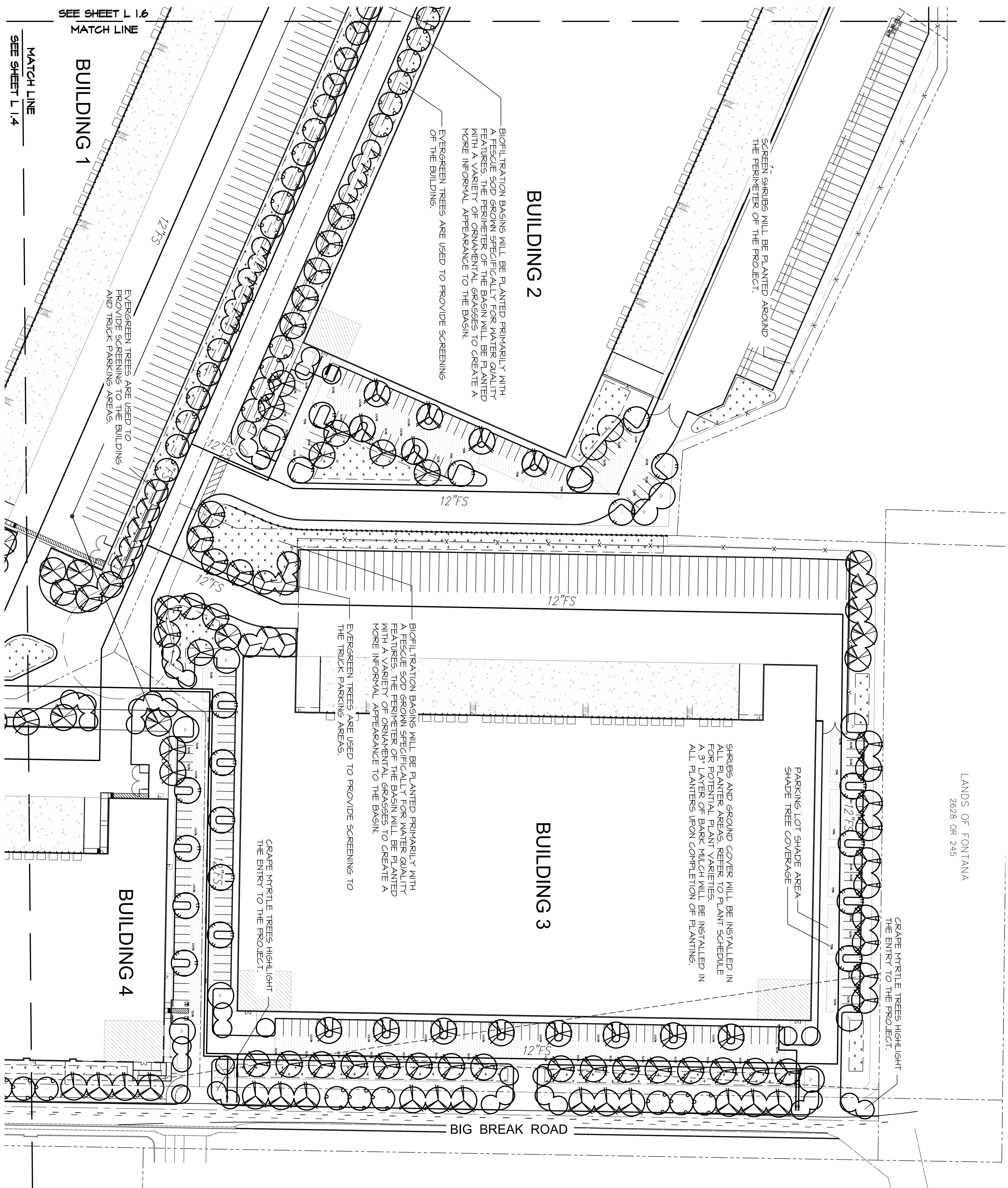
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Date: 12/4/23
File Name: PB PL

No. Date Revision
12/4/23 1st Planning Schedule



PLANTING PLAN D

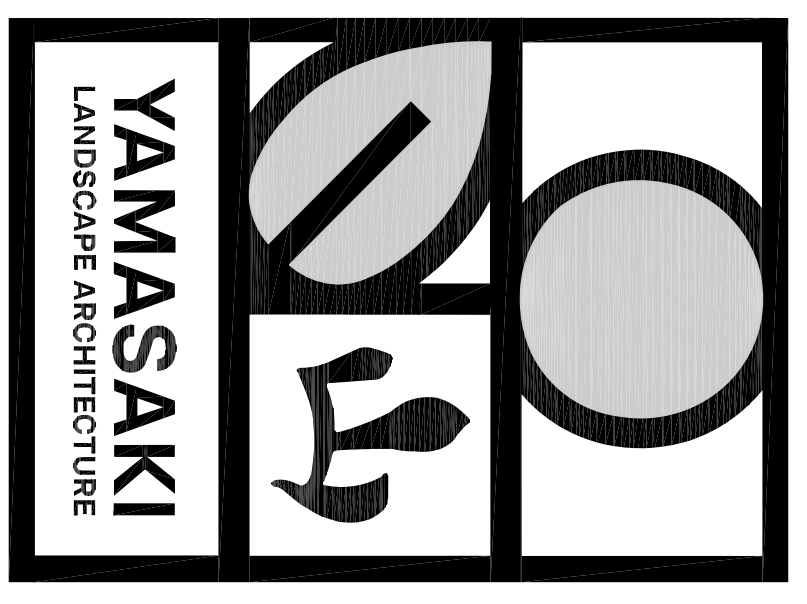
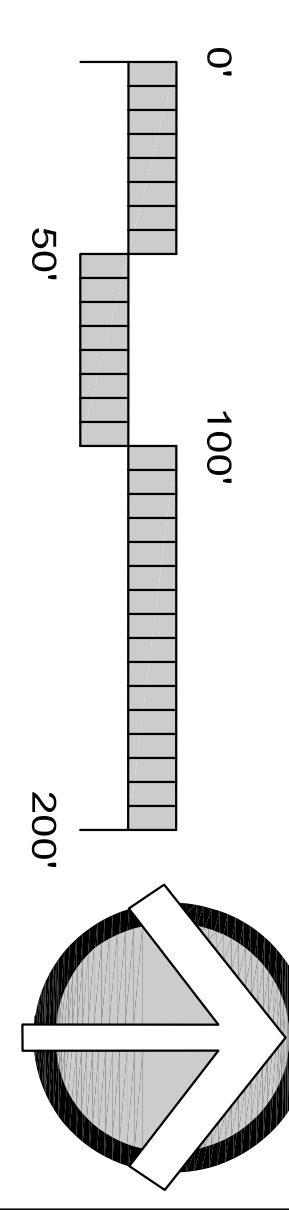
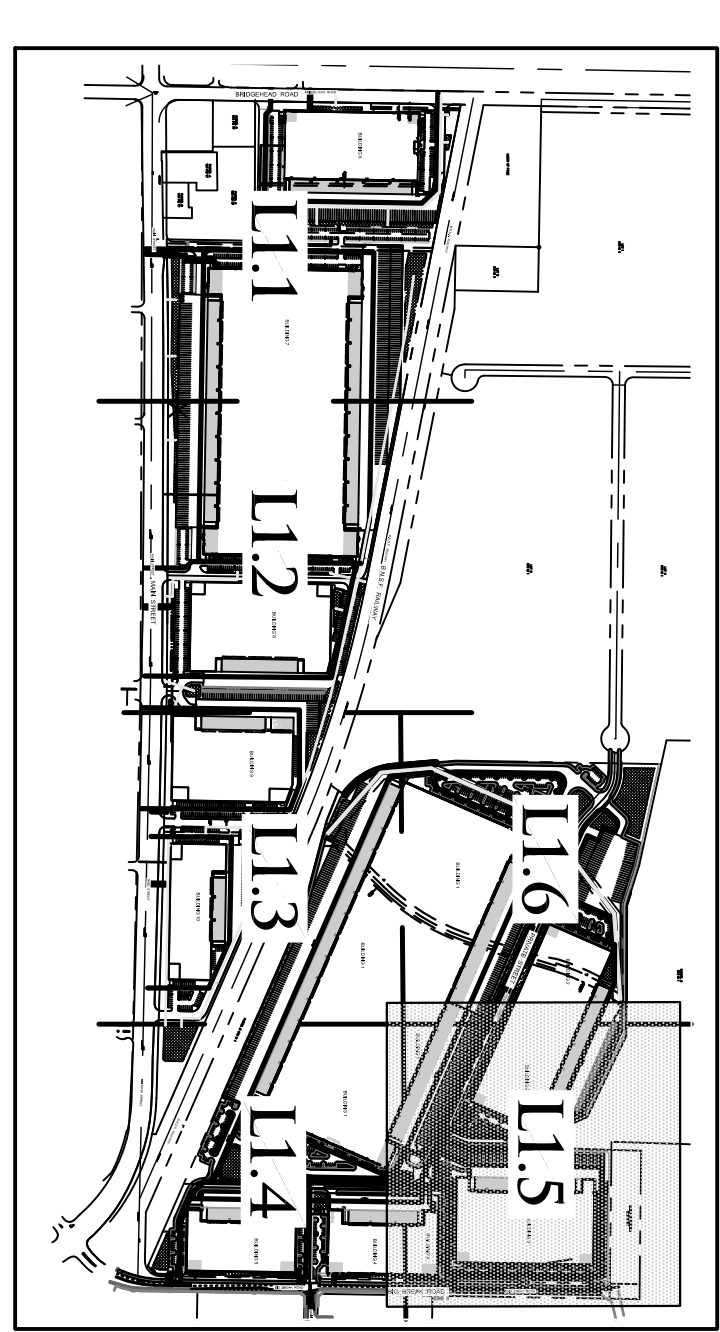
L1.4



PLANT SCHEDULE

TREES	CODE
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	CEP DEO
	CER FOR
	COR CHI
	ELC NIC
	LAG NAT
	LAV XSA
	PIN CAN
	PIN ELD
	PIS RED
	PLA COL
	QUE MIS
	RIA MAJ
	ULM DRA
	ZEL VIL

SEE SHEET L1.7 FOR FULL PLANT SCHEDULE



1223 HIGH STREET
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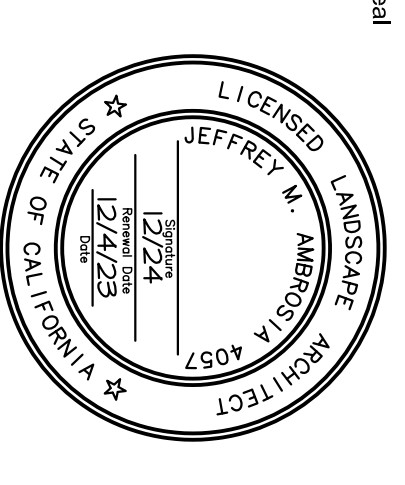
LANDSCAPE DEVELOPMENT PLANS

BRIDGEHEAD INDUSTRIAL

OAKLEY, CALIFORNIA

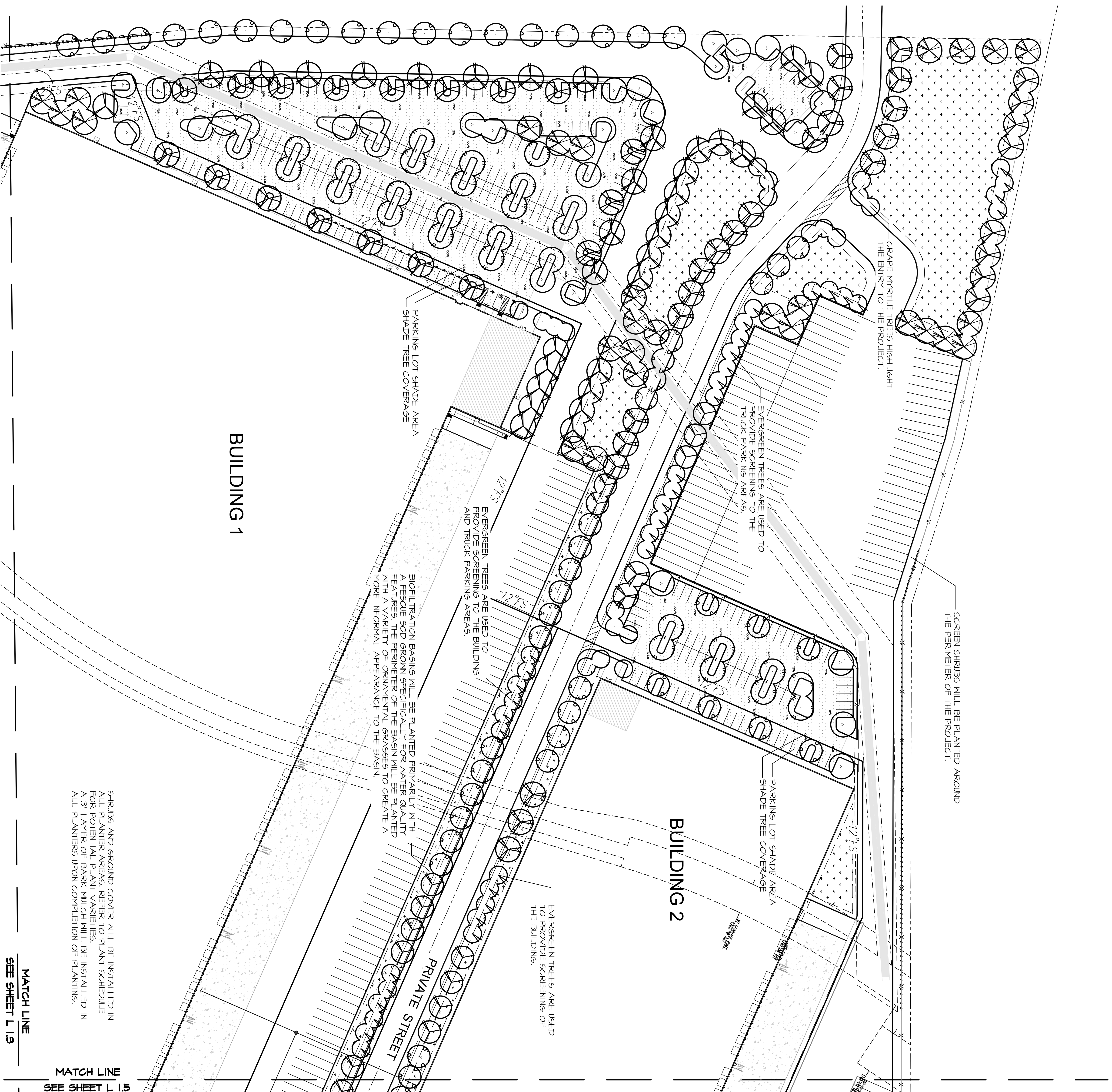
Client/Consultant

Project Mgr:	JMA	
Drawn By:	JMA	
Scale:	1"=50'-0"	
Date:	12/4/23	
File Name:	P8 PL	
No.	Date	Revision
1	12/4/23	1st Printing Submitted



PLANTING PLAN E

Sheet No. **L1.5**



SHRUBS AND GROUND COVER WILL BE INSTALLED IN ALL PLANTER AREAS. REFER TO PLANT SCHEDULE FOR POTENTIAL PLANT VARIETIES. A 3" LAYER OF BARK MULCH WILL BE INSTALLED IN ALL PLANTERS UPON COMPLETION OF PLANTING.

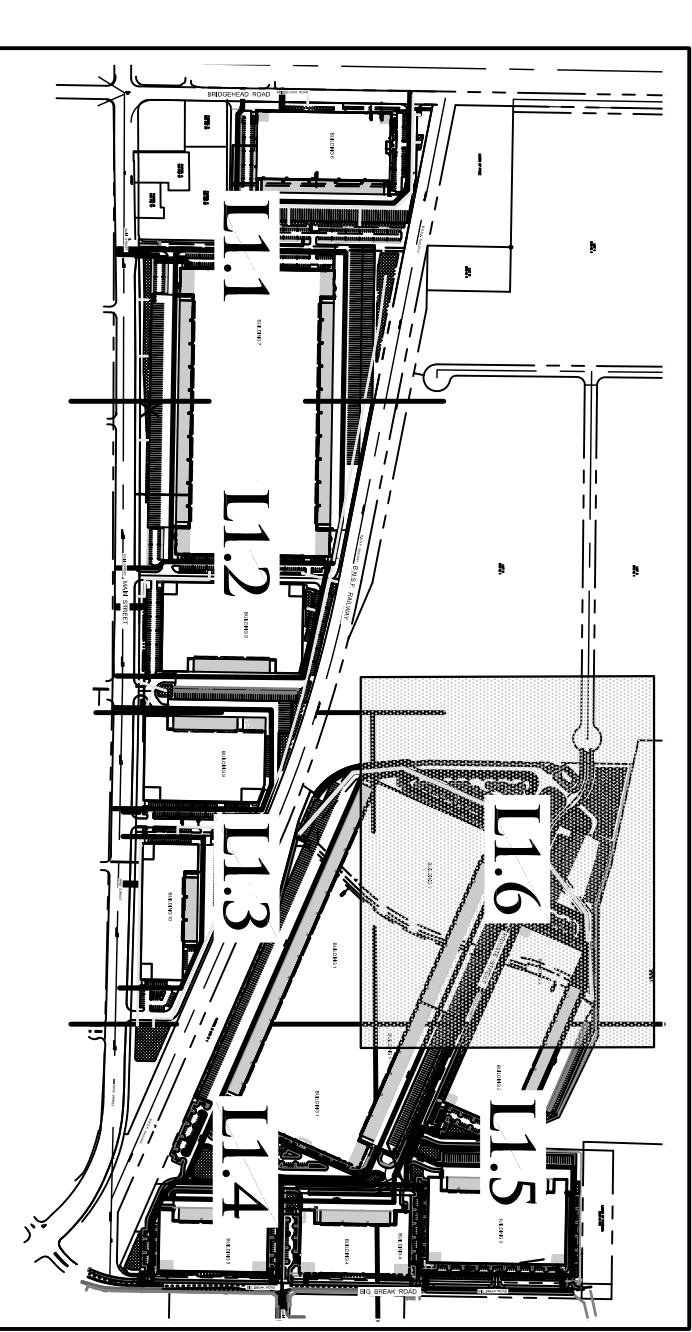
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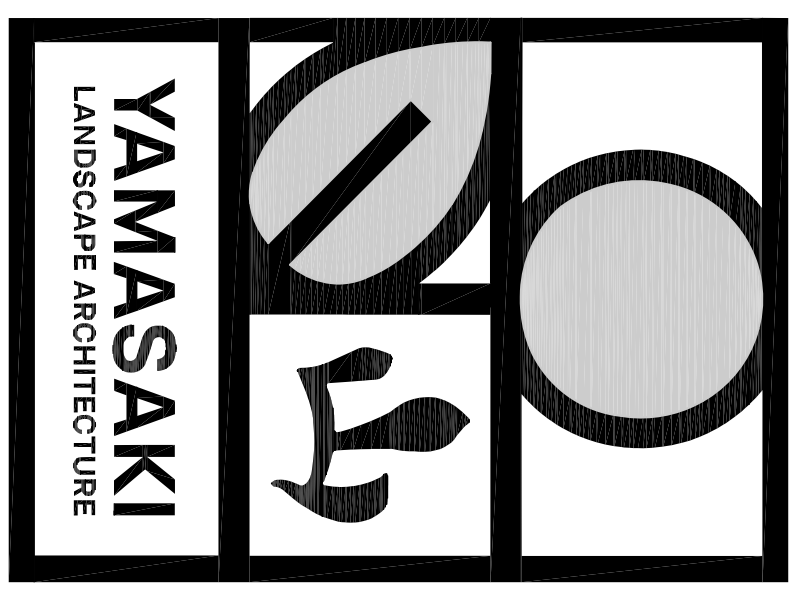
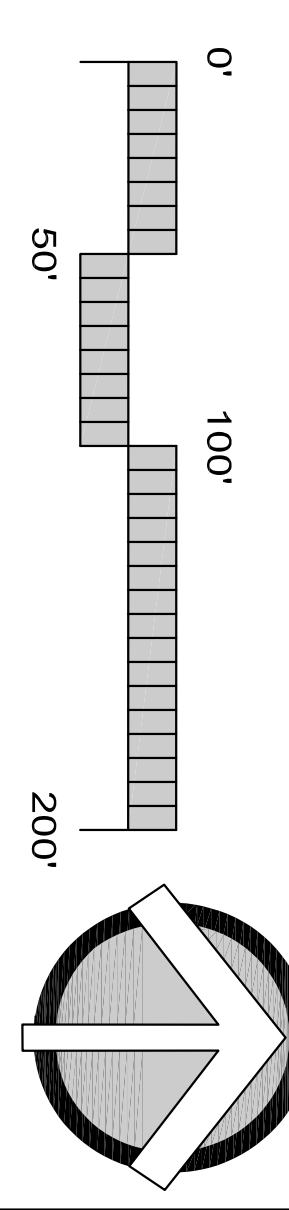
PLANT SCHEDULE

TREES	CODE
	ACE OCT
	CEJ DEO
	CER FOR
	COR CHI
	ELC NIC
	LAG NAT
	LAU XSA
	PN CAN
	PN ELD
	PN5 REP
	PLA COL
	QUE MIS
	RHA MAJ
	ULM DRA
	ZEL VIL

SEE SHEET L1.7 FOR FULL PLANT SCHEDULE



VICINITY MAP



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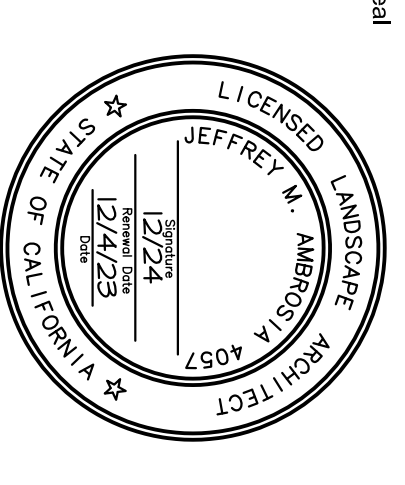
LANDSCAPE DEVELOPMENT PLANS

BRIDGEHEAD
INDUSTRIAL

OAKLEY, CALIFORNIA

Client/Submitted

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Drawn By: JMA
Scale: 1"=50'-0"
Date: 12/14/23
File Name: FB PL
No. Date Revision
12/14/23 1st Planning Schedule



PLANTING PLAN F

L1.6

PLANT SCHEDULE

TREES	CODE	BOTANICAL /COMMON NAME	SIZE
	ACE OCT	Acer rubrum 'October Glory' / October Glory Red Maple	24" box
	CEE DEO	Cedrus deodora / Deodar Cedar	15 gal
	CER FOR	Carlia canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud	24" box
	COR CHI	Cornus Florida Cherokee Chief / Cherokee Chief Dogwood	24" box
	ELC NIC	Eucalyptus nicholii / Nichol's Willow-leaved Peppermint	15 gal
	LAG NAT	Lagerstroemia indica x Faunei Natchez / Natchez Crepe Myrtle	24" box
	LAU XSA	Laurus x Serralago / Serralago Hybrid Laurel	24" box
	FIN CAN	Pinus canadensis / Canary Island Pine	15 gal
	FIN ELD	Pinus eldenrica / Aitken Pine	15 gal
	PI5 REP	Patocia x 'Red Push' / Red Push Platocia	15 gal
	FLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal
	QUE MIS	Quercus mistazinii / Interior Live Oak	15 gal
	RHA MAJ	Rhaphiolepis x Montic / Majestic Beauty Indian Hawthorn	24" box
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal
	ZEL VIL	Zelkova serrata Village Green / Village Green Sawleaf Zelkova	15 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	CAL DVA	Callistemon viminalis Little John / Dwarf Weeping Bottlebrush	5 gal
	CIS PUR	Cistus x purpureus / Orchid Rockrose	5 gal
	COL SUN	Coloereema pulchrum 'Sunset Gold' / Golden Breeze Of Heaven	5 gal
	DIE YEG	Dietes vegeta / African Iris	1 gal
	ELA HAC	Elaeagnus pungens 'Maculata' / Elaeagnus	5 gal
	GRE NOE	Grevillia x Noeilli / Grevillia	5 gal
	LAU LIT	Laurus nobilis Little Rags / Emerald Wave Sweet Bay	5 gal
	MAH AQJ	Makonia aquifolium / Oregon Grape	5 gal
	MAH SOF	Makonia eurhydractea Soft Carress / Soft Carress Makonia	5 gal
	NAN GUL	Nandina domestica 'Suff Stream' TM / Heavenly Bamboo	5 gal
	PIT VAR	Pittosporum tobira Variegata / Variegated Mock Orange	5 gal
	PRU COM	Prunus caroliniana Compacta / Compact Carolina Laurel Cherry	5 gal
	RHA EVE	Rhamnus californica Eve Case / California Coffeeberry	5 gal
	RHA BAL	Rhaphiolepis indica Boliermor / Boliermor Indian Hawthorn	1 gal
	RHA LNC	Rhaphiolepis indica 'Jack Evans' / Bolierma Indian Hawthorn	5 gal
	SAL BEE	Saxiva x Bees Bliss / Bees Bliss Sage	5 gal
	VIB DAY	Viburnum davidii / David Viburnum	5 gal
	XYL COM	Xyloasma congestum Compacta / Compact Xyloasma	5 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	MUH CAP	Muhlenbergia capillaris Regal Mist TM / Misty	1 gal
	MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal
	PER BIN	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	FIG PLM	Ficus pumila / Creeping Fig	5 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	ACA LOW	Acacia redolens 'Low Boy' / Low Boy Bank Catclaw	1 gal
	ARC ECP	Arctostaphylos x Emerald Carpet / Emerald Carpet Manzanita	1 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	COT LOW	Cotoneaster dammeri 'Lowrise' / Lowrise Bearberry Cotoneaster	1 gal
	CODE	BOTANICAL /COMMON NAME	SIZE
	BIO HTP	Biofiltration Hydraseed / Drought Tolerant Fescue Blend	Hydraseed

BUILDING 1 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	COUNT	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	17	75%	530	4010
ACE-OCT	6	100%	462	5772
ACE-OCT	17	50%	354	6016
CEE-DEO	2	50%	461	462
LAG-NAT	1	25%	74	74
LAG-NAT	3	50%	157	471
PI5-RED	6	75%	722	4332
PI5-RED	21	100%	462	29474
PLA-COL	18	100%	462	17316
ZEL-VIL	4	75%	462	4620
ZEL-VIL	17	50%	461	2938
TOTAL	102341		481	2938

PARKING LOT AREA 155,036 s.f.
SHADE REQUIRED (50%) 77518 s.f.
TOTAL SHADE 100,241 s.f.
PERCENT SHADE 65%

BUILDING 2 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	COUNT	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	3	75%	530	1540
ACE-OCT	5	50%	354	1170
ELC-NIC	7	100%	441	3437
LAG-NAT	106	50%	706	2824
PI5-RED	6	100%	462	5772
PI5-RED	5	50%	461	2405
PI5-RED	5	75%	722	2405
PLA-COL	2	50%	461	2405
ZEL-VIL	2	75%	462	1444
ZEL-VIL	4	100%	462	3848
TOTAL	2105		462	3848

PARKING LOT AREA 51,730 s.f.
SHADE REQUIRED (50%) 25,865 s.f.
TOTAL SHADE 24,105 s.f.
PERCENT SHADE 56%

BUILDING 3 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	COUNT	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	1	75%	530	530
ACE-OCT	3	50%	354	1262
LAG-NAT	1	50%	157	157
PI5-RED	4	100%	462	3848
PI5-RED	5	75%	722	3610
PLA-COL	8	100%	461	3848
ULM-DRA	24	50%	461	11544
ULM-DRA	1	25%	177	177
TOTAL	177		462	24716

PARKING LOT AREA 44,144 s.f.
SHADE REQUIRED (50%) 22,072 s.f.
TOTAL SHADE 24,716 s.f.
PERCENT SHADE 56%

BUILDING 4 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	COUNT	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	3	50%	354	1062
PI5-RED	1	50%	461	461
PI5-RED	7	100%	462	6134
PLA-COL	2	50%	461	462
ULM-DRA	1	75%	354	530
ULM-DRA	2	50%	354	709
ZEL-VIL	3	100%	462	2856
TOTAL	19		462	19363

PARKING LOT AREA 22,241 s.f.
SHADE REQUIRED (50%) 11,120 s.f.
TOTAL SHADE 19,363 s.f.
PERCENT SHADE 60%

BUILDING 5 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	4	50%	354	1416
LAG-NAT	1	50%	157	157
PI5-RED	3	100%	462	2856
PI5-RED	1	50%	461	461
ULM-DRA	1	75%	354	530
ZEL-VIL	8	100%	462	1646
TOTAL	18		462	19166

PARKING LOT AREA 24,016 s.f.
SHADE REQUIRED (50%) 12,008 s.f.
TOTAL SHADE 19,166 s.f.
PERCENT SHADE 55%

BUILDING 6 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
LAG-NAT	1	50%	157	157
PLA-COL	7	50%	461	3367
ACE-OCT	4	50%	354	1366
PI5-RED	16	100%	462	15942
TOTAL	24		462	22102

PARKING LOT AREA 32,678 s.f.
SHADE REQUIRED (50%) 16,339 s.f.
TOTAL SHADE 22,102 s.f.
PERCENT SHADE 68%

BUILDING 7 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	1	75%	530	530
ACE-OCT	25	50%	354	8850
PI5-RED	35	100%	462	33670
LAG-NAT	4	50%	157	628
PLA-COL	24	50%	461	11544
TOTAL	24		461	55222

PARKING LOT AREA 113440 s.f.
SHADE REQUIRED (50%) 56720 s.f.
TOTAL SHADE 55,222 s.f.
PERCENT SHADE 48%

NOTE: PARKING LOT SHADE FALLS SHORT OF 50% AS SHADE TREES ARE PROHIBITED OVER PIPELINE EASEMENT.

BUILDING 8 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	8	50%	354	2832
PI5-RED	18	100%	462	18278
PLA-COL	26	50%	461	12506
TOTAL	52		461	33616

PARKING LOT AREA 40,480 s.f.
SHADE REQUIRED (50%) 20,240 s.f.
TOTAL SHADE 33,616 s.f.
PERCENT SHADE 83%

BUILDING 9 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	4	50%	354	3186
PI5-RED	10	100%	462	4620
PLA-COL	3	50%	461	1443
TOTAL	17		461	14249

PARKING LOT AREA 24,412 s.f.
SHADE REQUIRED (50%) 12,206 s.f.
TOTAL SHADE 14,249 s.f.
PERCENT SHADE 59%

BUILDING 10 PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	Count	PERCENT SHADE	SHADE AREA	TOTAL
ACE-OCT	3	75%	530	1540
PI5-RED	7	50%	354	2478
PLA-COL	8	100%	461	3367
PI5-RED	8	100%	462	7646
ACE-OCT	15	50%	354	5310
TOTAL	36		461	20441

PARKING LOT AREA 31,540 s.f.
SHADE REQUIRED (50%) 15,770 s.f.
TOTAL SHADE 20,241 s.f.
PERCENT SHADE 64%

PLANTING STATEMENT

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

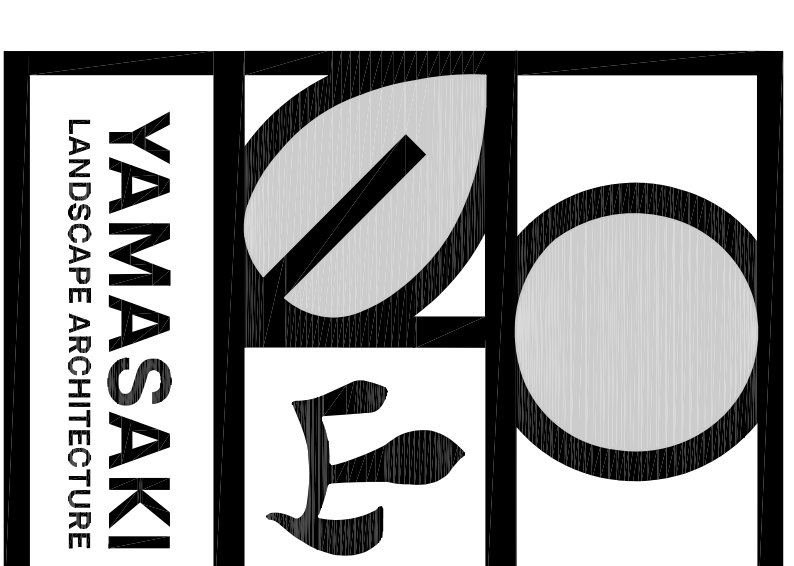
Shrubs and groundcover are minimum #1 size. Trees are minimum #1/5 size. Plant materials shall be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.

IRRIGATION STATEMENT

The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume point source drip irrigation. Proposed trees shall utilize bubbler irrigation with a water timer and a weather sensor. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

LANDSCAPE AREA

NORTH SITE LANDSCAPE AREA	381344 S.F.
LANDSCAPE PERCENTAGE	522586 S.F. 13.7%
SOUTH SITE LANDSCAPE AREA	832847 S.F.
LANDSCAPE PERCENTAGE	15.5%
TOTAL PROJECT LANDSCAPE AREA	1,442,239 S.F.
TOTAL LANDSCAPE %	1,037,404 S.F. 15%



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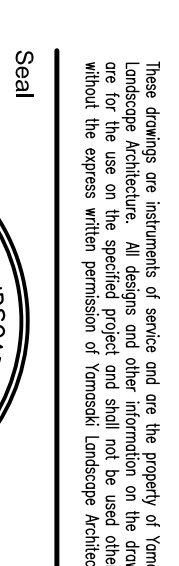
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Sheet Title

PLANT SCHEDULE, NOTES & CALCULATIONS