

VICINITY MAP

NOT TO SCALE

GENERAL NOTES:

- OWNER/APPLICANT: PONDEROSA HOMES II, INC. 5020 FRANKLIN DRIVE, STE. 200 PLEASANTON, CA 94588 (925) 460-8910 JEFF SCHROEDER
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 (925) 866-0322 JASON D. VOGAN, RCE 59299
- SOILS ENGINEER: ENGO, INC. 17278 GOLDEN VALLEY PARKWAY LATHROP, CA 95330 (925) 835-0610 STEVE HARRIS, RGE 2804
- TOPOGRAPHIC SOURCE: GEOMAPS INC. 3362 MATHER FIELD ROAD RANCHO CORDOVA, CA 95670 (916) 361-9133
- CONTOUR INTERVAL: 1 - FOOT BASED ON NGVD29 (EXISTING & PROPOSED)
- BENCHMARK: CONTRA COSTA COUNTY BENCHMARK #3164, SET BRASS TAG AND FASTENER IN SIDEWALK SOUTHEAST CORNER OF BRIDGE OVER MARCH CREEK ON DELTA ROAD, 0.7 MILES EAST OF HIGHWAY 4. ELEVATION = 42.027 FEET (NGVD29)
- EXISTING TOPOGRAPHY: AERIAL TOPOGRAPHY IS BASED ON PHOTOGRAPHY TAKEN ON AUGUST 19, 2022 AND PREPARED BY GEOMAPS. THE FLIGHT WAS SURVEY GROUND CONTROLLED BY CARLSON, BARBEE & GIBSON, INC.
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY WAS DETERMINED BY FOUND IRON PIPE MONUMENTS ON THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 31, T.2 N., R.3 E., M.D.B.&M.; THE BEARING BEING N01°02'10"W PER 72 PM 33 AND CONTRA COSTA COUNTY PRECISE TRAVERSE OF SELLERS AVENUE. THE BEARINGS SHOWN ARE ON THE CALIFORNIA COORDINATE SYSTEM ZONE III.
- FLOOD ZONE: ZONE X (SEE DATUM CONVERSION NOTE) REFER TO FLOOD INSURANCE RATE MAP PANEL 0601300360G (MARCH 21, 2017)
- ASSESSORS PARCEL NO: 033-140-020, 033-140-021 & 033-140-028
- PROPOSED SITE AREA: 50.44± AC
- EXISTING LAND USE: RESIDENTIAL LOW (RL) & RESIDENTIAL VERY LOW (RV)
- PROPOSED LAND USE: RESIDENTIAL LOW (RL) & RESIDENTIAL VERY LOW (RV)
- ZONING: P-1 PLANNED UNIT DEVELOPMENT WITH DEVELOPMENT PLAN (P-1) (ORDINANCE NO. 30-05)
- PROPOSED LOT SIZES: 60' X 100' - 6,000 SF MIN
70' X 110' - 7,500 SF MIN
- PROPOSED DENSITY: 176 DU / 50.44± AC = 3.5 DU/AC
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS WITHIN THE PROJECT BOUNDARY TO BE REMOVED.
- EXISTING UTILITIES: ALL EXISTING UTILITIES WITHIN THE PROJECT BOUNDARY TO BE REMOVED UNLESS OTHERWISE NOTED.
- EXISTING TREES: EXISTING TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED UNLESS OTHERWISE NOTED.
- WALLS AND FENCING: ALL WALLS AND FENCING WILL BE PRIVATELY OWNED AND PRIVATELY MAINTAINED EXCEPT LANDSCAPE PRIVACY WALLS ALONG SELLERS AVENUE WHICH WILL BE IN THE CITY RIGHT OF WAY.
- PUBLIC UTILITIES: ALL UTILITIES WITHIN THE PUBLIC RIGHT OF WAY OR WITHIN A PUBLIC UTILITY EASEMENT WILL BE PUBLIC AND WILL BE PUBLICLY OWNED AND MAINTAINED.
- UTILITY PROVIDER: SEWER: IRON HOUSE SANITARY DISTRICT
WATER: DIABLO WATER DISTRICT
STORM DRAIN: CITY OF OAKLEY
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST
- STREETS: ALL STREETS WILL BE PER CITY STANDARD AND DEDICATED TO THE CITY OF OAKLEY AS A PUBLICLY OWNED AND MAINTAINED STREET.
- GRADING: PROPOSED GRADING IS PRELIMINARY. FINAL GRADING IS SUBJECT TO FINAL DESIGN.
- BOUNDARY: THE BOUNDARY AND EASEMENTS SHOWN HEREON ARE BASED UPON RECORD TITLE INFORMATION AS LISTED AND DESCRIBED IN THE PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, DATED APRIL 14, 2022, ORDER NUMBER 0131-625476. NO ADDITIONAL TITLE RESEARCH HAS BEEN PERFORMED TO COMPLETE THIS PACKAGE.
- PHASING: PROJECT MAY BE CONSTRUCTED IN PHASES.
- FINAL MAP: MULTIPLE FINAL MAPS MAY BE FILED UPON APPROVAL OF THE VESTING TENTATIVE SUBDIVISION MAP.
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL MAP.

DATUM CONVERSION NOTE
EXISTING TOPOGRAPHIC INFORMATION SHOWN IS BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). FEMA FLOOD ZONE AND BASE FLOOD ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
ALL NGVD29 ELEVATIONS CAN BE CONVERTED TO NAVD88 BY ADDING 2.37 FEET. FOR EXAMPLE, ELEVATION 31.00 (NGVD29) + 2.37 (CONVERSION FACTOR) = ELEVATION 33.37 (NAVD88).

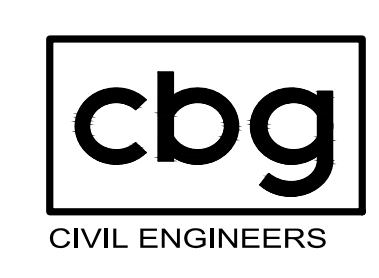
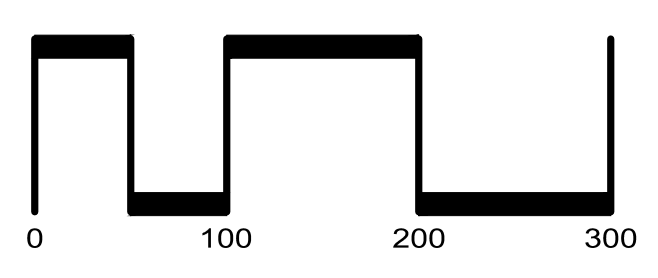
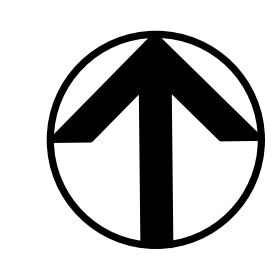
PARCEL / LOT	LAND USE	AREA	OWNER
LOTS 1-176	RESIDENTIAL	30.63 AC	PRIVATE
PARCEL A	HCP BUFFER / OPEN SPACE	1.00 AC	CITY
PARCEL B	PARK	2.43 AC	CITY
PARCEL C	STORMWATER DETENTION BASIN & WATER QUALITY	2.67 AC	CITY
PARCEL D	OPEN SPACE	0.01 AC	CITY
N/A	PUBLIC RIGHT OF WAY	13.70 AC	CITY
TOTAL:		50.44 AC	

Sheet Number	Sheet Title
1	GENERAL NOTES & SHEET INDEX
2	EXISTING CONDITIONS
3	DIMENSION SITE PLAN (WEST)
4	DIMENSION SITE PLAN (EAST)
5	PRELIMINARY GRADING PLAN (WEST)
6	PRELIMINARY GRADING PLAN (EAST)
7	PRELIMINARY UTILITY PLAN (WEST)
8	PRELIMINARY UTILITY PLAN (EAST)
9	PRELIMINARY STORM WATER CONTROL PLAN

City of Oakley
Planning Division
SEP 28, 2023
RECEIVED

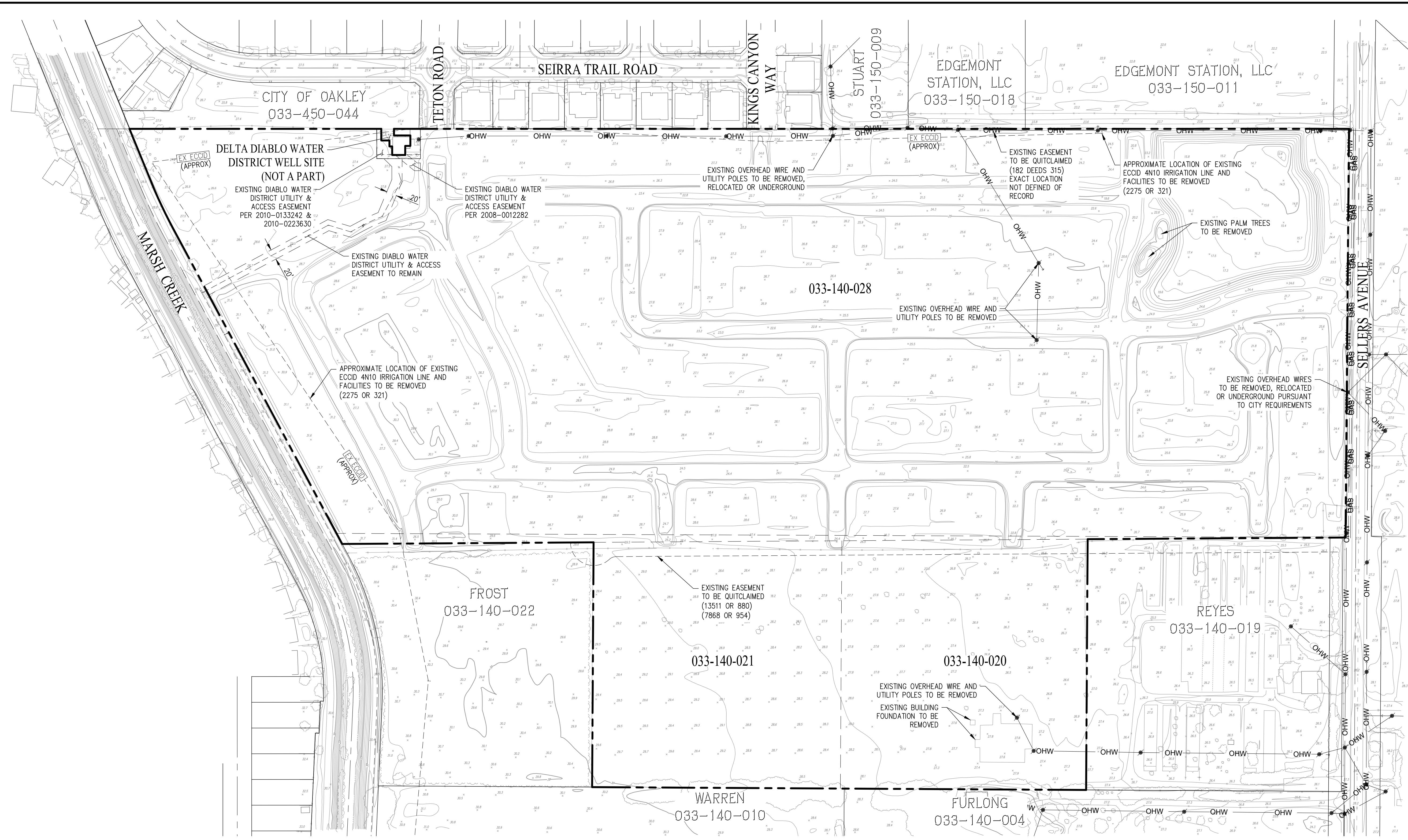
GENERAL NOTES & SHEET INDEX
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1"=100' DATE: SEPTEMBER 25, 2023



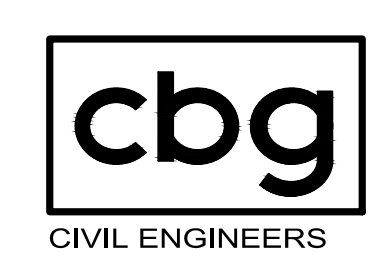
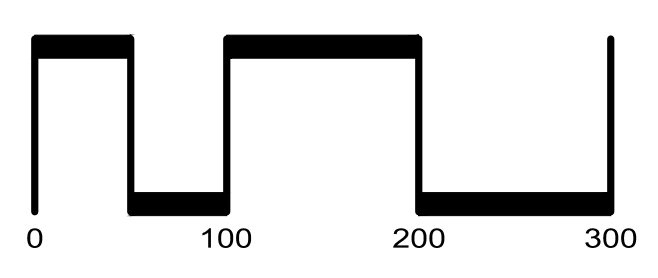
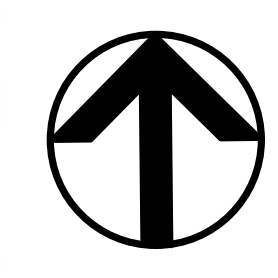
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ROSEVILLE (916) 788-4456
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SHEET NO.
1
OF 9 SHEETS



**EXISTING CONDITIONS
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647**

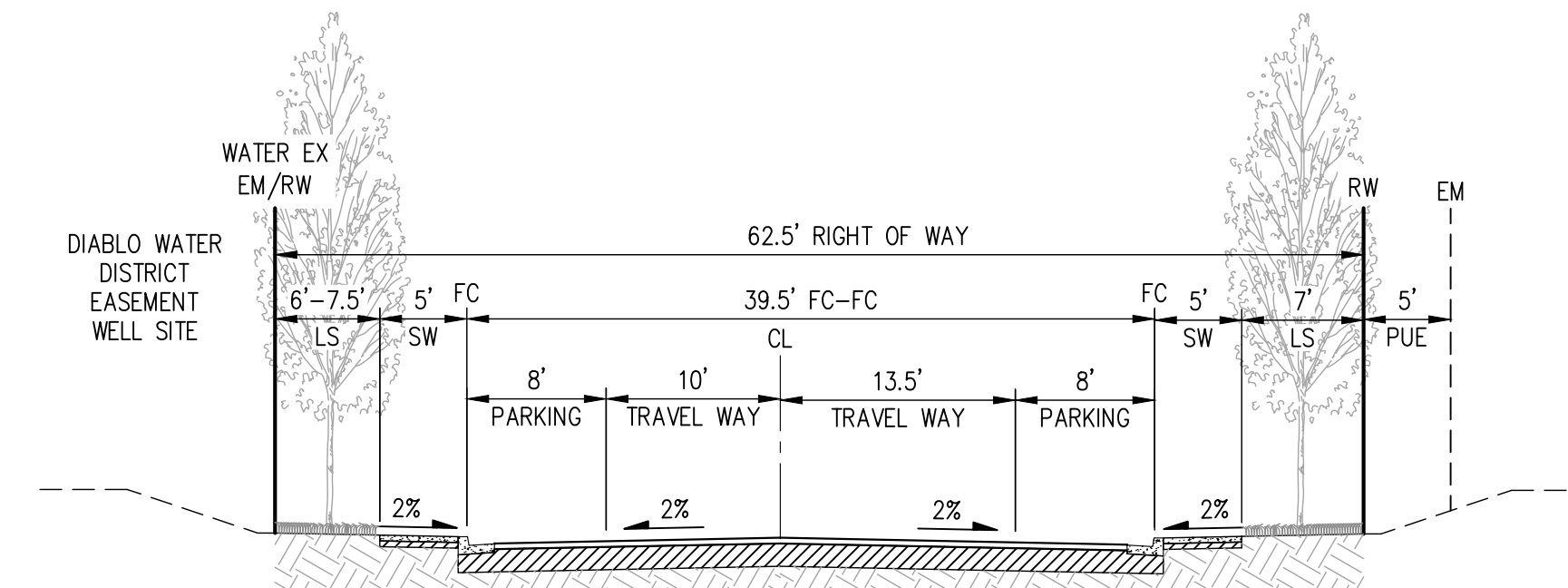
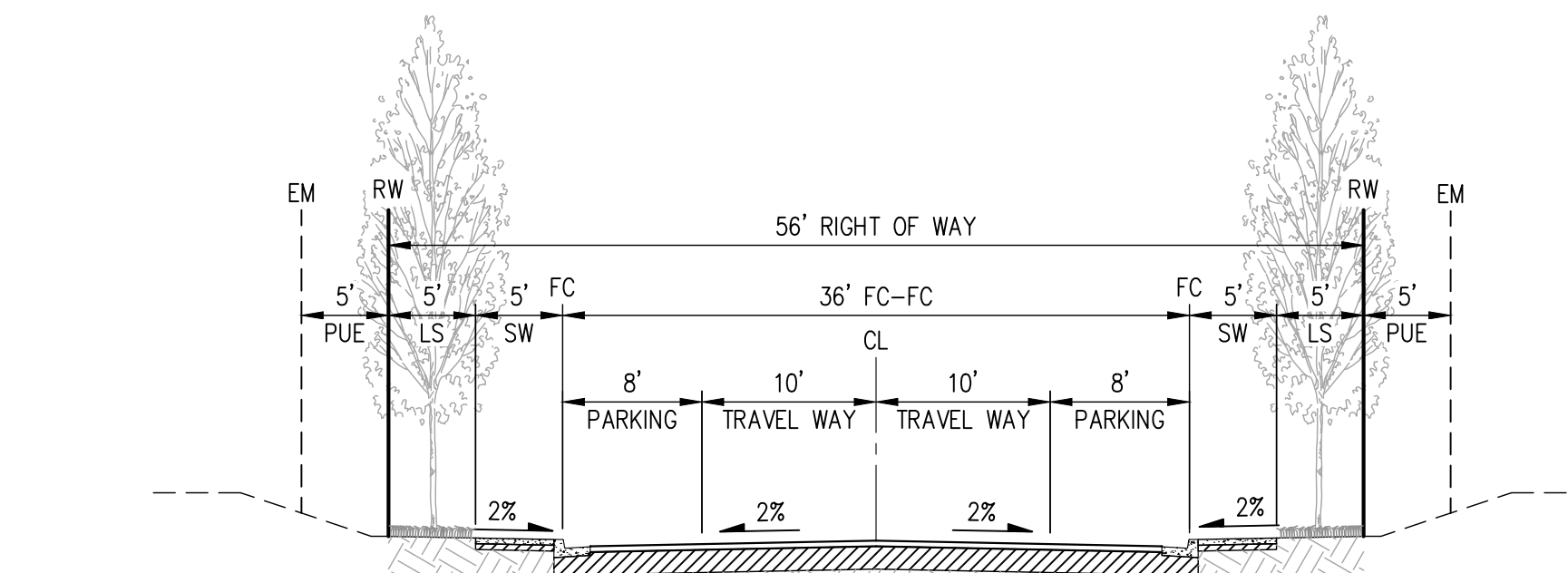
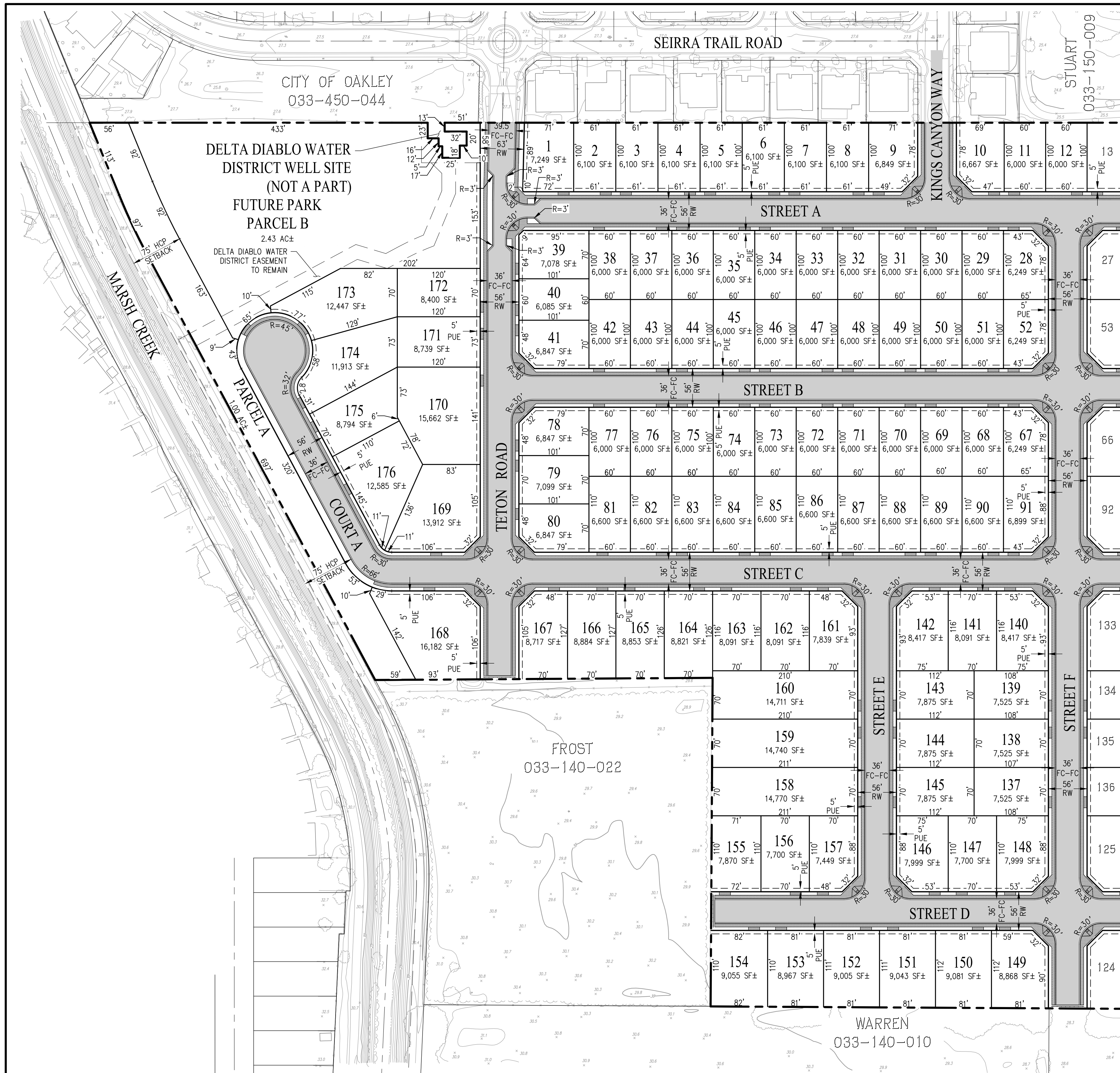
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SHEET NO.
2
OF 9 SHEETS

JOB NO.: 1216-010



LEGEND

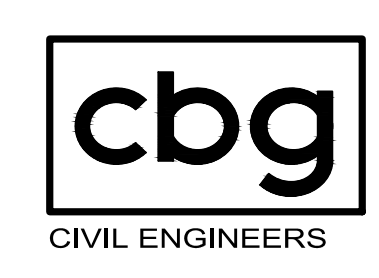
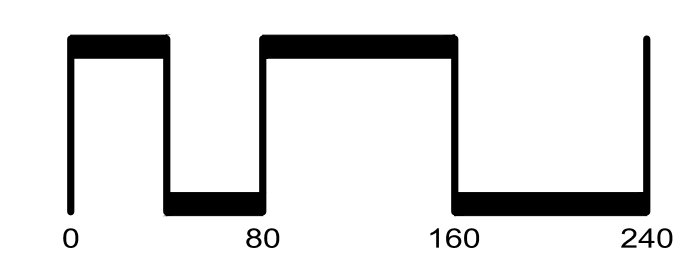
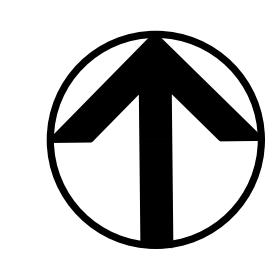
EXISTING	PROPOSED	DESCRIPTION
---	---	PROJECT BOUNDARY
---	---	LOT LINE
---	---	TOP OF CURB
---	---	EASEMENT
---	---	CENTERLINE
---	---	SIDEWALK
---	---	AC PAVEMENT

ABBREVIATIONS

FC	FACE OF CURB
HCP	HABITAT CONSERVATION PLAN
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT OF WAY
R	RADIUS
SF	SQUARE FEET

DIMENSION SITE PLAN (WEST)
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1"=80' DATE: SEPTEMBER 25, 2023

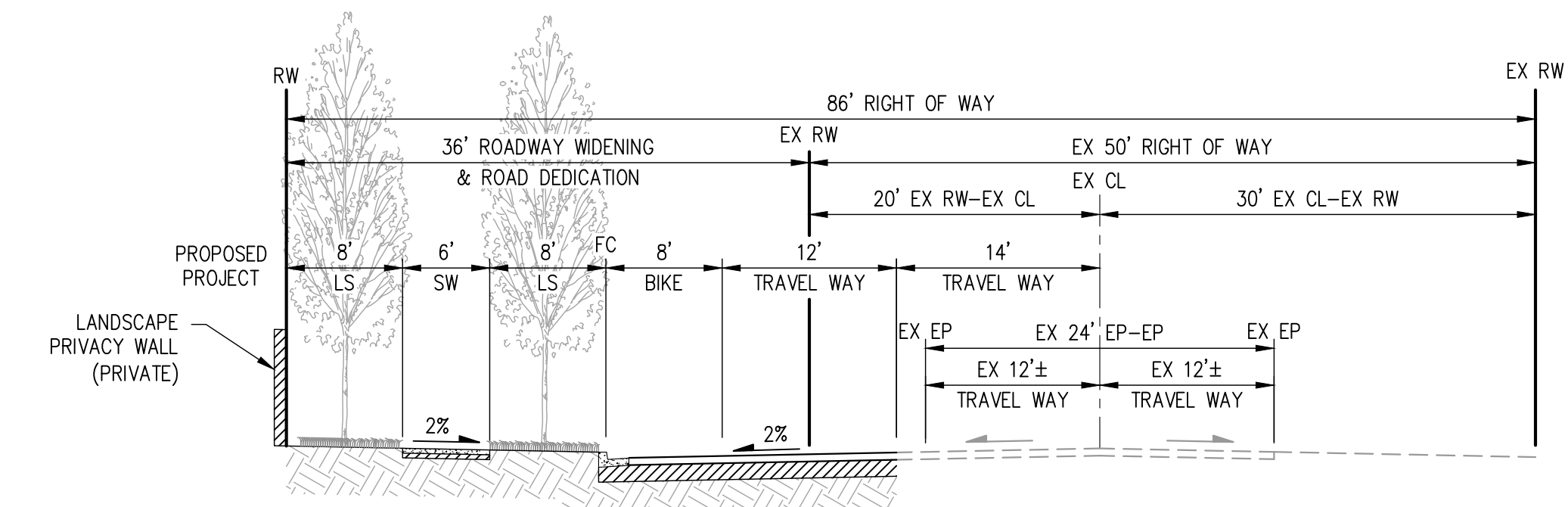
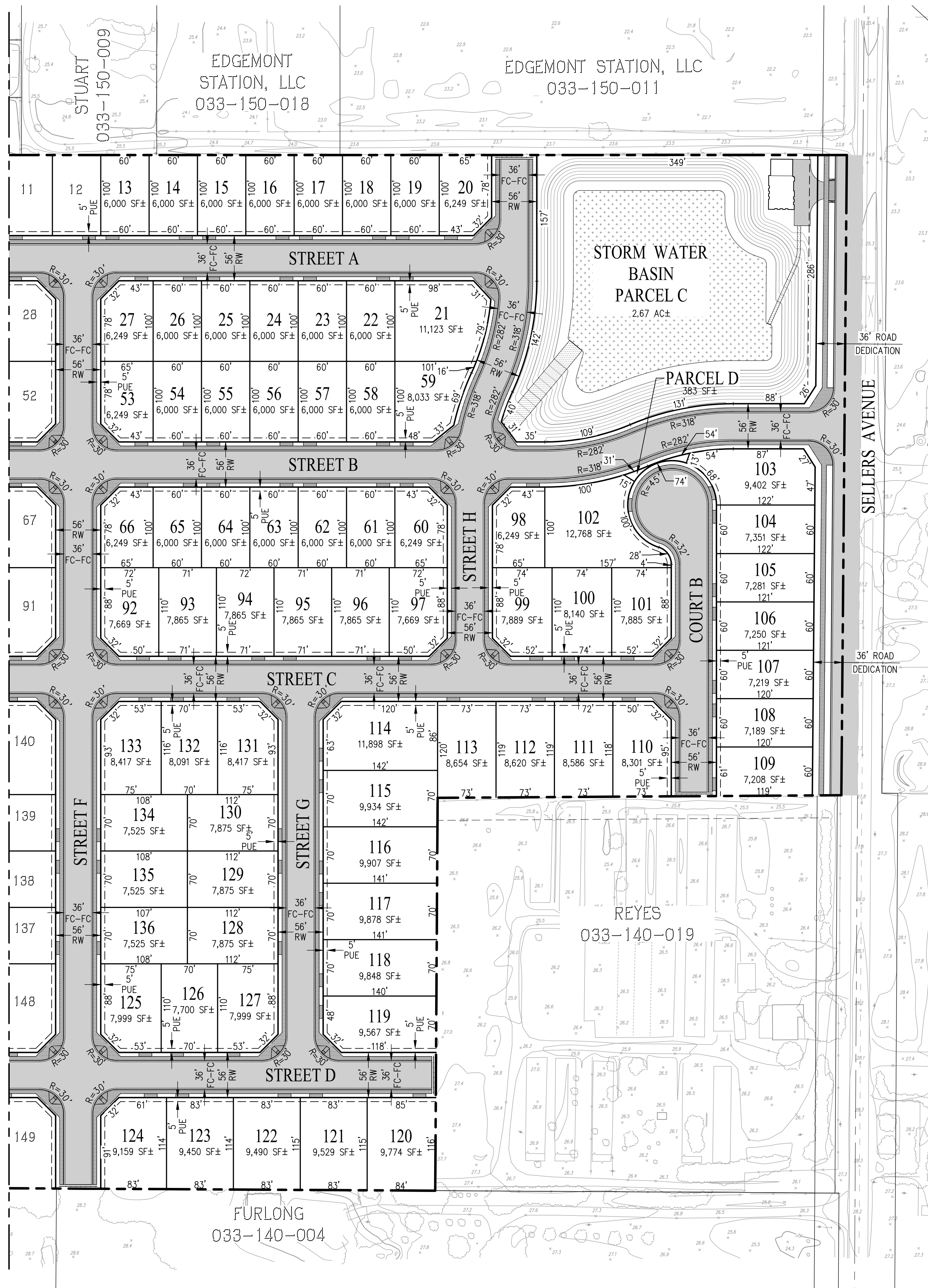


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SHEET NO.
3
OF 9 SHEETS

JOB NO.: 1216-010

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**SELLERS AVENUE ROADWAY WIDENING
(4-LANE UNDIVIDED COLLECTOR)**
NOT TO SCALE

LEGEND

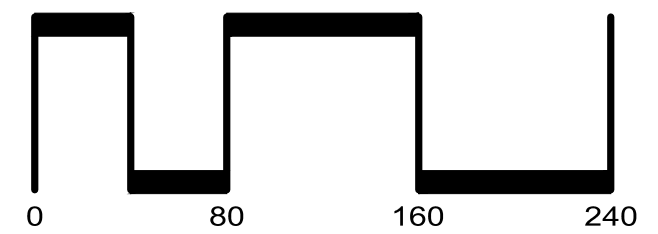
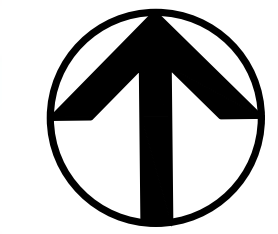
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ABBREVIATIONS

FC	FACE OF CURB
HCP	HABITAT CONSERVATION PLAN
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT OF WAY
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**DIMENSION SITE PLAN (EAST)
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647**

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
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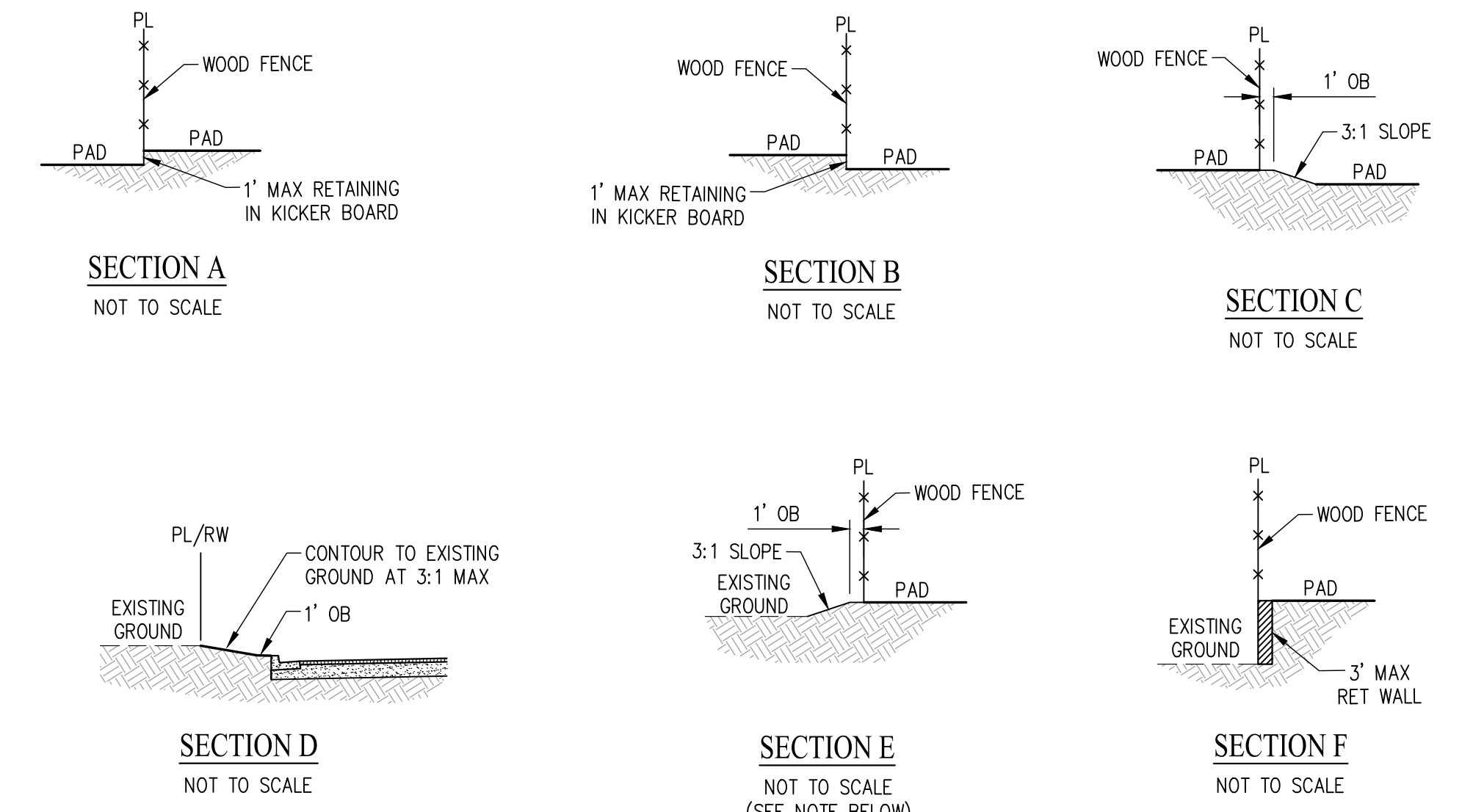
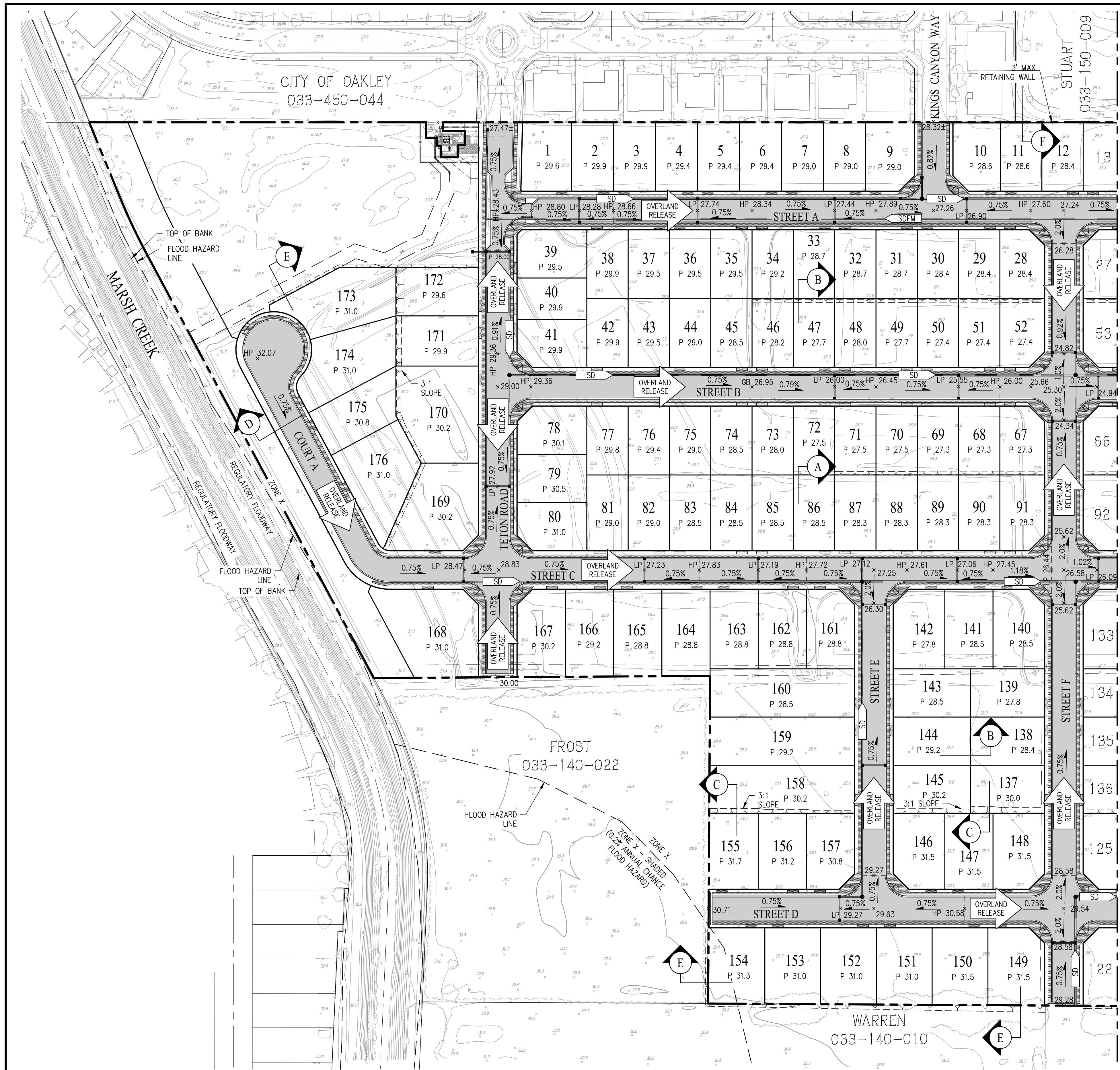


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SHEET NO.
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OF 9 SHEETS

JOB NO.: 1216-010

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EDGE GRADING NOTE
 IF TEMPORARY CONSTRUCTION EASEMENT CANNOT BE OBTAIN TO GRADE ONTO ADJACENT PROPERTY, A RETAINING WALL WILL BE REQUIRED.

PAD ELEVATION NOTE - MARSH CREEK EDGE
 PAD ELEVATIONS ADJACENT TO MARSH CREEK ARE ESTABLISHED TO ENSURE THAT THE FINISH FLOOR ELEVATION FOR EACH BUILDING WILL BE A MINIMUM 1-FOOT ABOVE THE CREEK'S BASE FLOOD ELEVATION IN CONFORMANCE WITH THE CITY'S FLOODPLAIN MANAGEMENT ORDINANCE.

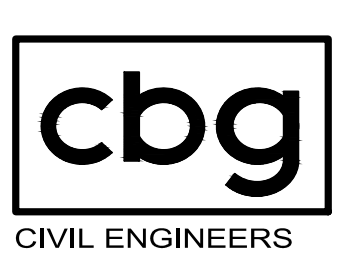
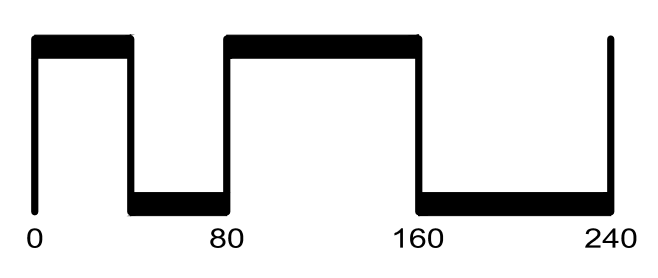
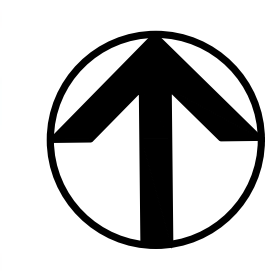
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LEGEND

EXISTING	PROPOSED	DESCRIPTION	ABBREVIATIONS
---	---	PROJECT BOUNDARY	BD BOUNDARY
---	---	LOT LINE	BW BACK OF WALK
---	---	FLOOD HAZARD LINE	CL CENTERLINE
---	---	TOP OF CURB	EX EXISTING
---	---	EASEMENT	FC FACE OF CURB
---	---	CENTERLINE	HP HIGH POINT
---	---	SIDEWALK	LP LOW POINT
---	---	AC PAVEMENT	OB OVERBUILD
---	---	BIORETENTION	P PAD
---	---	STORM DRAIN PIPE	PL PROPERTY LINE
---	---	CATCH BASIN	PUE PUBLIC UTILITY EASEMENT
---	---	FIELD INLET	RET RETAINING
---	---	MANHOLE	RW RIGHT OF WAY
---	---		SD STORM DRAIN
---	---		SDFM STORM DRAIN FORCE MAIN
---	---		TSM TOP OF SOIL MIX
---	---		TYP TYPICAL

**PRELIMINARY GRADING PLAN (WEST)
 VESTING TENTATIVE MAP
 STONECREEK - SUBDIVISION 9647**

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1"=80' DATE: SEPTEMBER 25, 2023

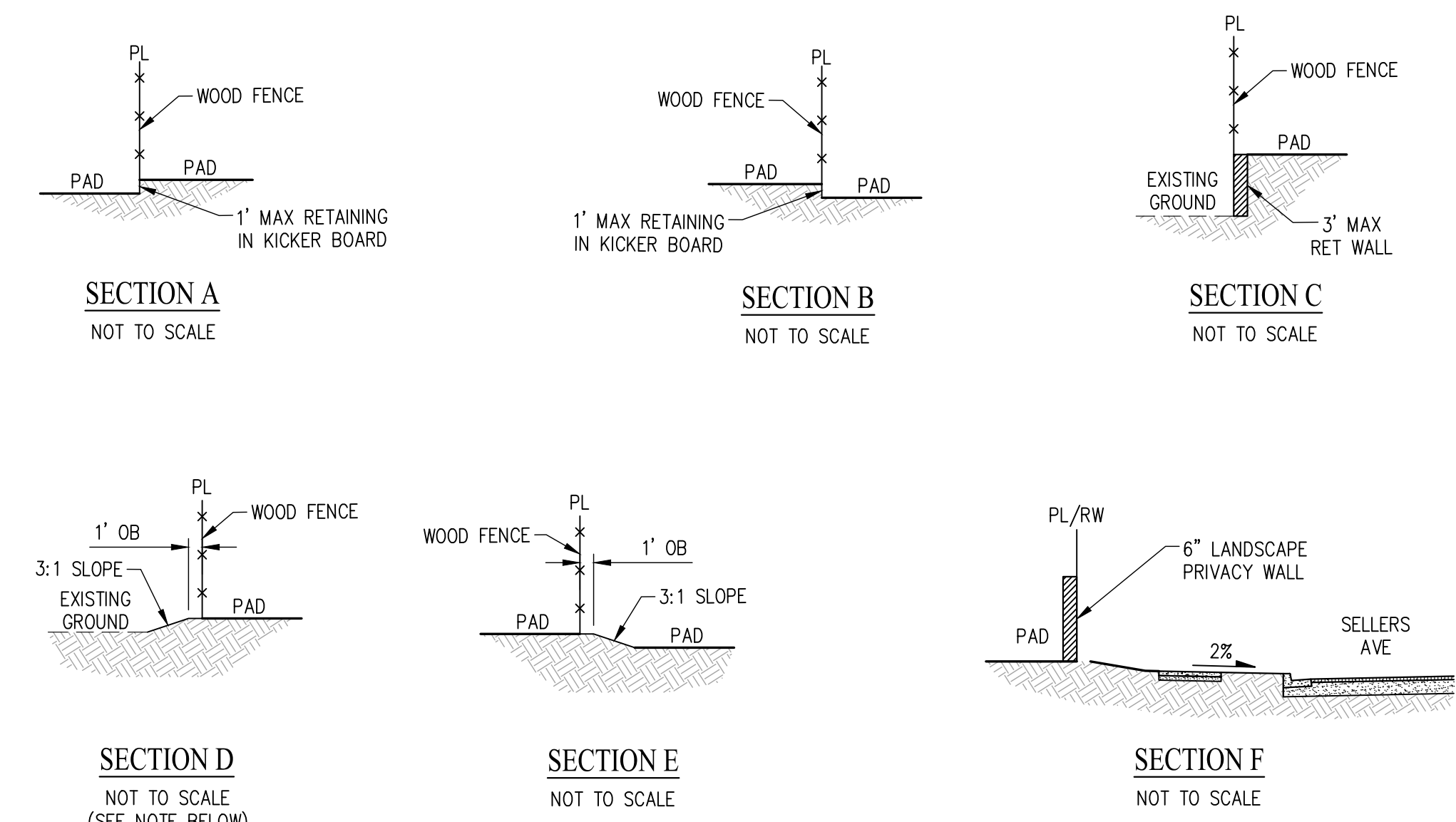


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SHEET NO.
5
 OF 9 SHEETS

JOB NO: 1216-010

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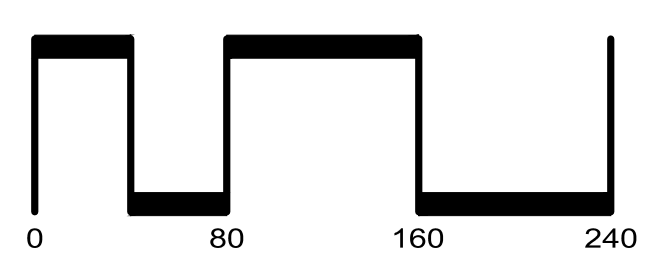
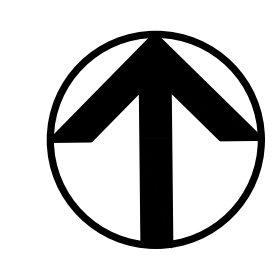


EDGE GRADING NOTE
 IF TEMPORARY CONSTRUCTION EASEMENT CANNOT BE OBTAIN TO GRADE ONTO ADJACENT PROPERTY, A RETAINING WALL WILL BE REQUIRED.

EXISTING	PROPOSED	DESCRIPTION	ABBREVIATIONS
---	---	PROJECT BOUNDARY	BD BOUNDARY
---	---	LOT LINE	BW BACK OF WALK
---	---	TOP OF CURB	CL CENTERLINE
---	---	EASEMENT	EX EXISTING
---	---	CENTERLINE	FC FACE OF CURB
---	---	SIDEWALK	HP HIGH POINT
---	---	AC PAVEMENT	LP LOW POINT
---	---	BIORETENTION	OB OVERBUILD
---	---	STORM DRAIN PIPE	P PAD
---	---	CATCH BASIN	PL PROPERTY LINE
---	---	FIELD INLET	PUE PUBLIC UTILITY EASEMENT
---	---	MANHOLE	RET RETAINING
---	---		RW RIGHT OF WAY
---	---		SD STORM DRAIN
---	---		SDFM STORM DRAIN FORCE MAIN
---	---		TSM TOP OF SOIL MIX
---	---		TYP TYPICAL

PRELIMINARY GRADING PLAN (EAST) VESTING TENTATIVE MAP STONECREEK - SUBDIVISION 9647

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1"=80' DATE: SEPTEMBER 25, 2023



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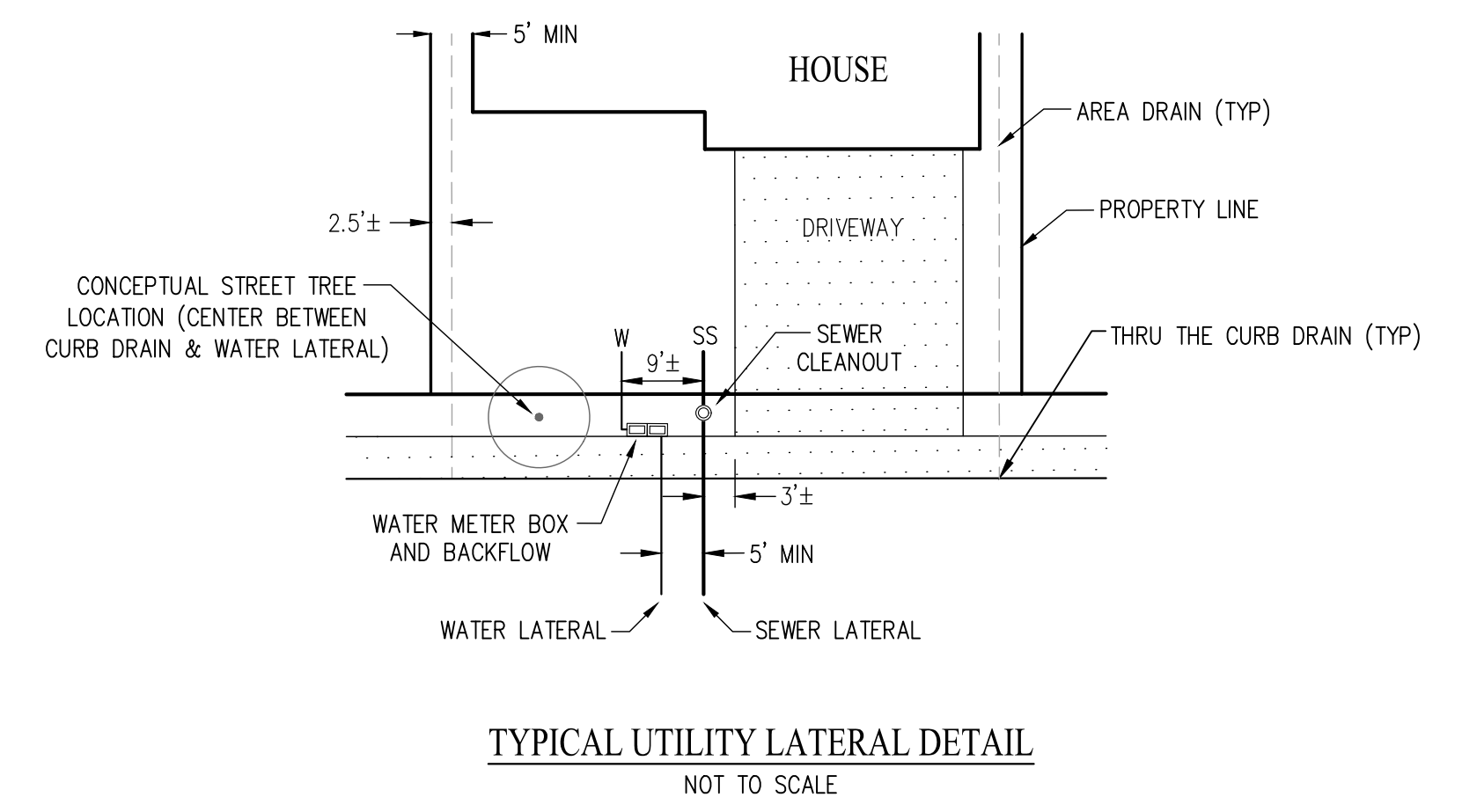
SHEET NO.
6
 OF 9 SHEETS

JOB NO.: 1216-010

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SEE SHEET 8

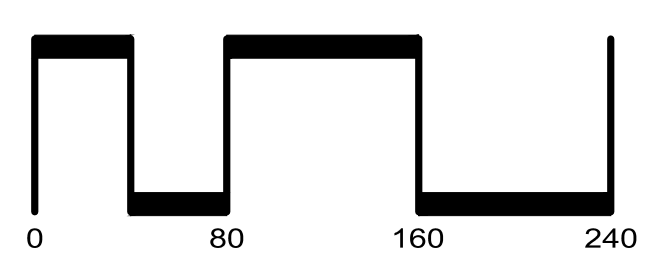
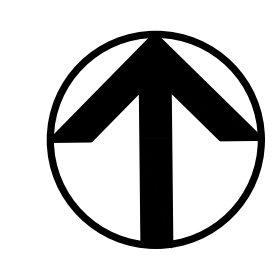


LEGEND

EXISTING	PROPOSED	DESCRIPTION	ABBREVIATIONS
---	---	PROJECT BOUNDARY	AC ASPHALT CONCRETE
---	---	LOT LINE	AD AREA DRAIN
---	---	TOP OF CURB	BD BOUNDARY
---	---	EASEMENT	BO BLOWOFF
---	---	CENTERLINE	BW BACK OF WALK
---	---	SIDEWALK	CB CATCH BASIN
---	---		CL CENTERLINE
---	---		EX EXISTING
---	---		FC FACE OF CURB
---	---		FH FIRE HYDRANT
---	---		FI FIELD INLET
---	---		INV INVERT
---	---		JT JOINT TRENCH
---	---		OB OVERBUILD
---	---		PUE PUBLIC UTILITY EASEMENT
---	---		R RADIUS
---	---		SF SQUARE FEET
---	---		SD STORM DRAIN
---	---		SDFM STORM DRAIN FORCE MAIN
---	---		SDMH STORM DRAIN MANHOLE
---	---		SS SANITARY SEWER
---	---		SSFM SANITARY SEWER FORCE MAIN
---	---		SSMH SANITARY SEWER MANHOLE
---	---		SW SIDEWALK
---	---		TC TOP OF CURB
---	---		TSM TOP OF SOIL MIX
---	---		TYP TYPICAL
---	---		W WATER

**PRELIMINARY UTILITY PLAN (WEST)
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647**

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
SCALE: 1"=80' DATE: SEPTEMBER 25, 2023

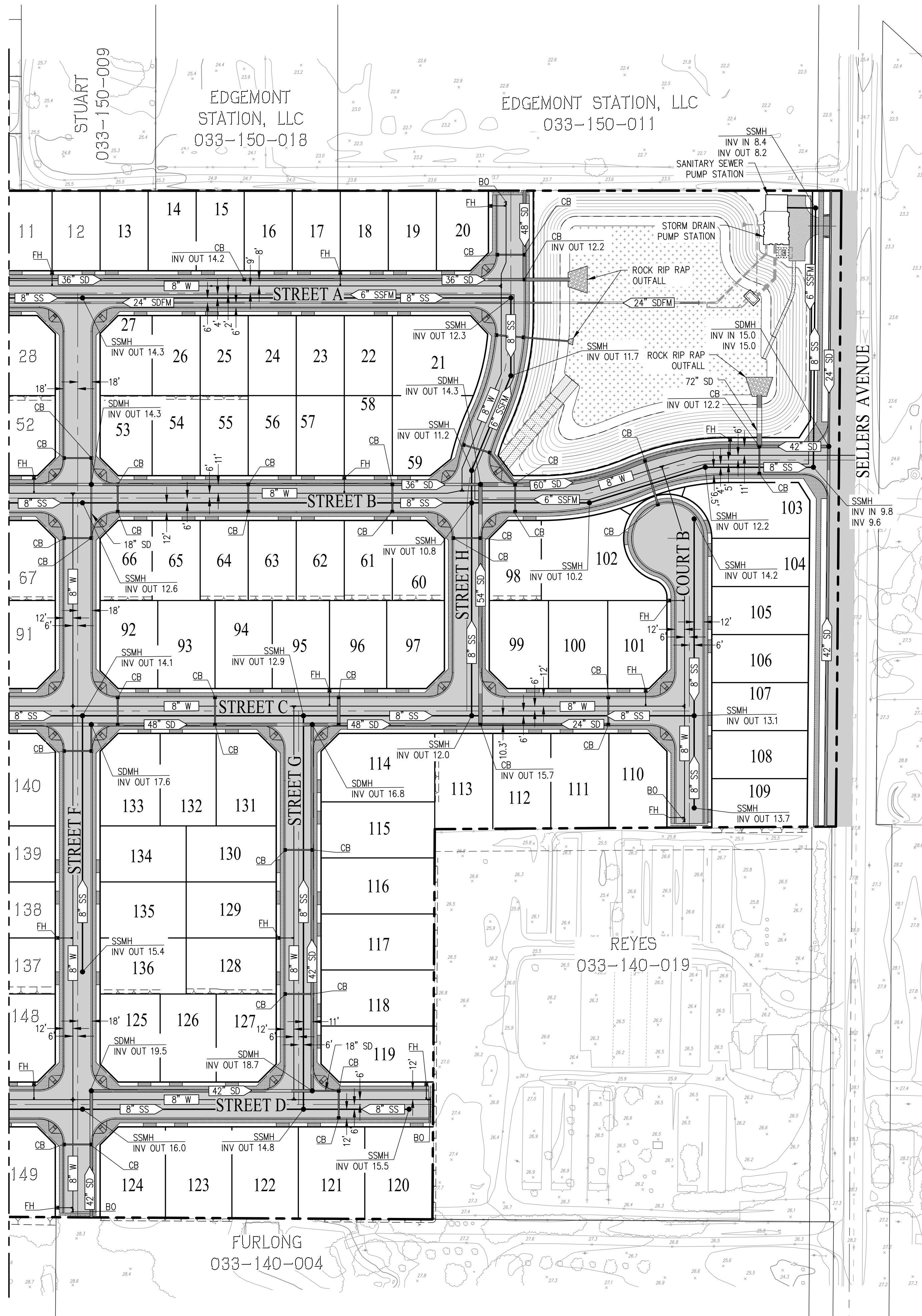


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SHEET NO.
7
OF 9 SHEETS

JOB NO.: 1216-010

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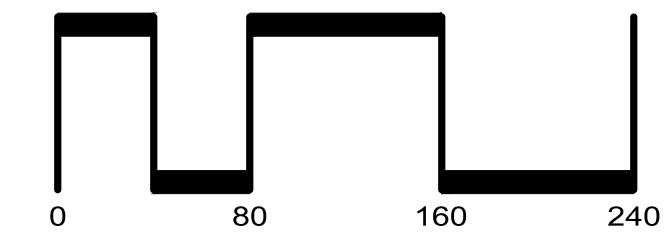
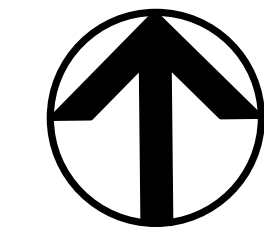
SEE SHEET 7

LEGEND

EXISTING	PROPOSED	DESCRIPTION	ABBREVIATIONS
---	---	PROJECT BOUNDARY	AC ASPHALT CONCRETE
---	---	LOT LINE	AD AREA DRAIN
---	---	TOP OF CURB	BD BOUNDARY
---	---	EASEMENT	BO BLOWOFF
---	---	CENTERLINE	BW BACK OF WALK
---	---	SIDEWALK	CB CATCH BASIN
---	---		CL CENTERLINE
---	---		EX EXISTING
---	---		FC FACE OF CURB
---	---		FH FIRE HYDRANT
---	---		FI FIELD INLET
---	---		INV INVERT
---	---		JT JOINT TRENCH
---	---		OB OVERBUILD
---	---		PUE PUBLIC UTILITY EASEMENT
---	---		R RADIUS
---	---		SF SQUARE FEET
---	---		SD STORM DRAIN
---	---		SDFM STORM DRAIN FORCE MAIN
---	---		SDMH STORM DRAIN MANHOLE
---	---		SS SANITARY SEWER
---	---		SSFM SANITARY SEWER FORCE MAIN
---	---		SSMH SANITARY SEWER MANHOLE
---	---		SW SIDEWALK
---	---		TC TOP OF CURB
---	---		TSM TOP OF SOIL MIX
---	---		TYP TYPICAL
---	---		W WATER

**PRELIMINARY UTILITY PLAN (EAST)
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647**

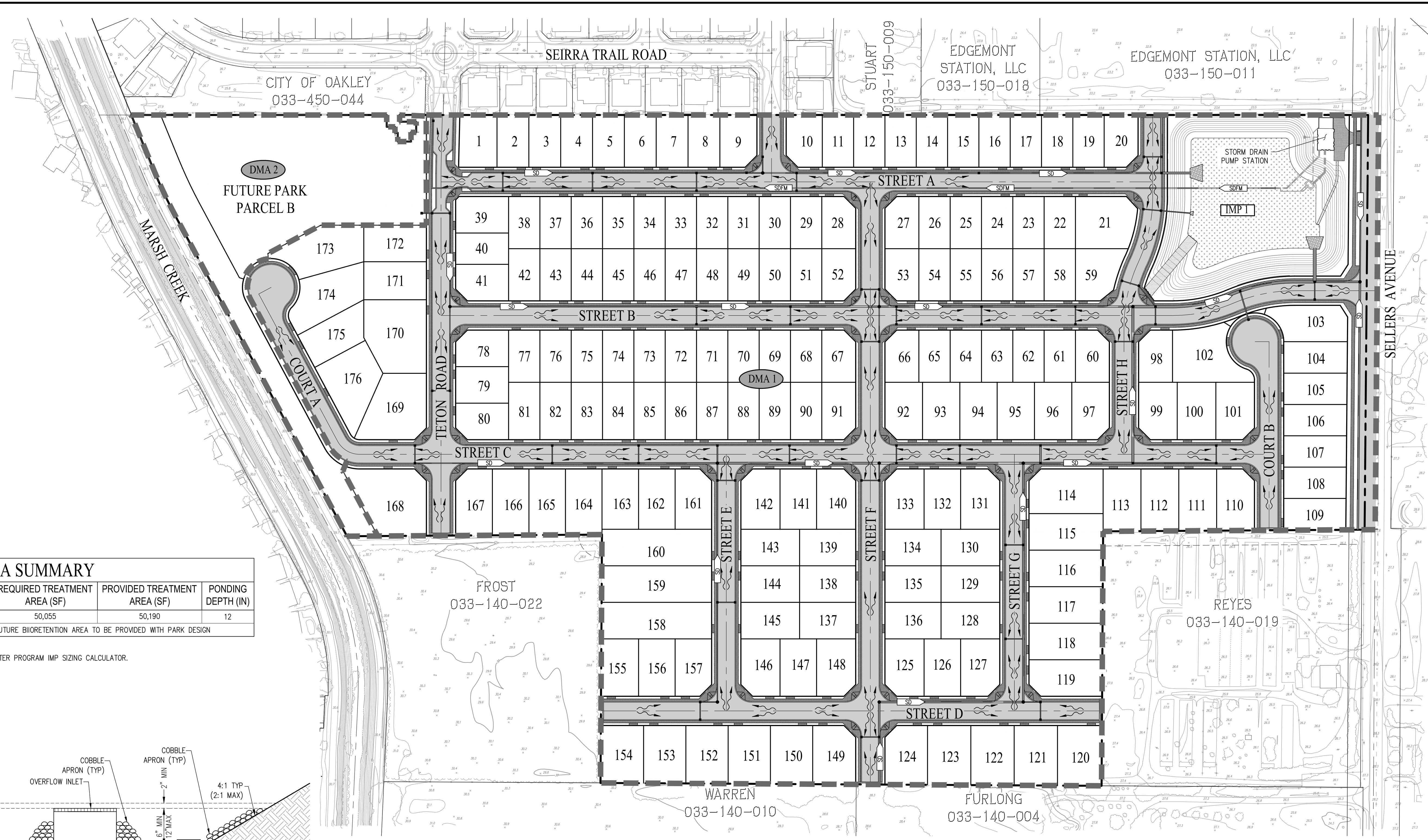
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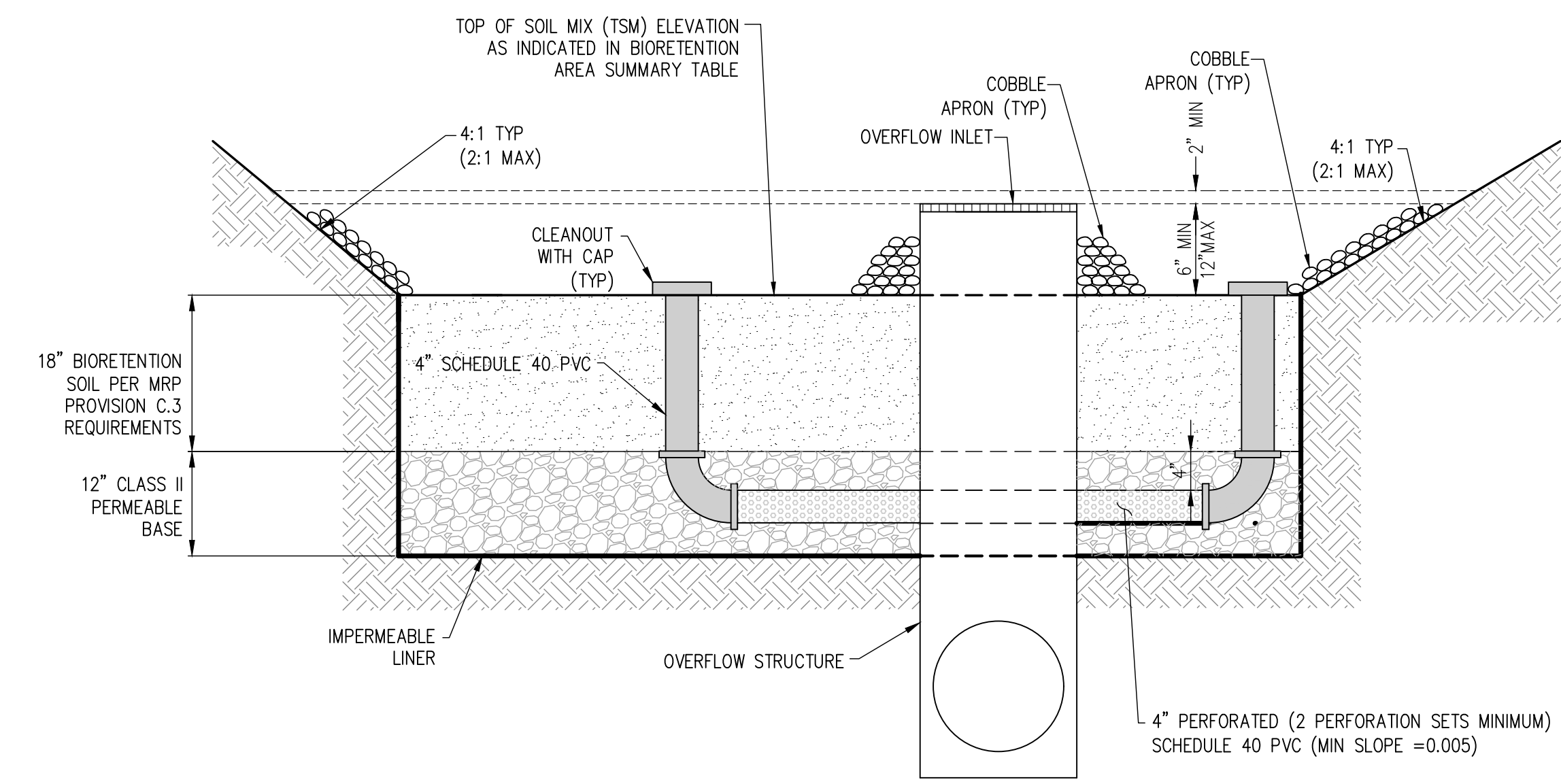
SHEET NO.
8
OF 9 SHEETS

JOB NO.: 1216-010



BIORETENTION AREA SUMMARY						
DMA	DRAINAGE MANAGEMENT AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	PONDING DEPTH (IN)
DMA 1	2,059,305	1,167,134	841,981	50,055	50,190	12
DMA 2	153,453	SELF-RETAINING AREA OR FUTURE BIORETENTION AREA TO BE PROVIDED WITH PARK DESIGN				

NOTES:
 1. ALL BIORETENTION AREAS HAVE BEEN SIZED PER THE CONTRA COSTA COUNTY CLEANWATER PROGRAM IMP SIZING CALCULATOR.



BIORETENTION AREA
 NOT TO SCALE

BIORETENTION AREA NOTES:

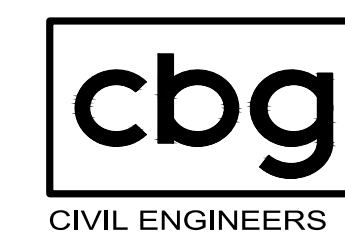
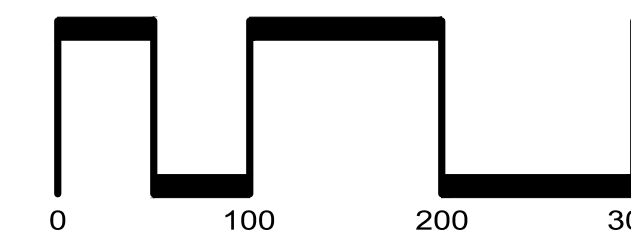
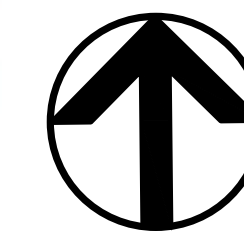
- INSTALL A 6" DEEP 3"x3" GROUDED COBBLE OFFFALL AT ALL DRAIN OUTLETS AND SWALE CONNECTION LOCATIONS TO BIORETENTION.
- ALL COBBLES SHALL BE 3"-6" IN DIAMETER.
- MINIMUM SLOPE OF ALL PERFORATED PIPE TO BE 0.005.
- ALL PERFORATED DRAIN PIPES TO HAVE 8" MINIMUM OF DRAIN ROCK ABOVE THE PIPE.
- CONTRACTOR TO PROVIDE AT LEAST 3 INCHES OF COMPOSTED NON-FLOATING MULCH ON ANY EXPOSED EARTH WITHIN THE BIORETENTION AREA.

LEGEND

- PROJECT BOUNDARY
- LOT NUMBER
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- PROPOSED FACE OF CURB
- LIMIT OF DRAINAGE MANAGEMENT AREA (DMA)
- GRADE BREAK
- BIORETENTION AREA
- STORM DRAIN PIPE
- OVERLAND FLOW DIRECTION
- DRAINAGE MANAGEMENT AREA
- INTEGRATED MANAGEMENT PRACTICE - BIORETENTION AREA

PRELIMINARY STORM WATER CONTROL PLAN
VESTING TENTATIVE MAP
STONECREEK - SUBDIVISION 9647

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1"=100' DATE: SEPTEMBER 25, 2023



SAN RAMON (925) 866-0322
 ROSEVILLE (916) 788-4456
 WWW.CBANDG.COM

CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.
9
 OF 9 SHEETS

JOB NO.: 1216-010