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2999 OAK ROAD  
WALNUT CREEK, CA 94597  
CONTACT: DREW SANCHEZ  
(650) 350-9471

**CIVIL ENGINEER** CORE STATES GROUP  
4240 EAST JURUPA STREET, SUITE 402  
ONTARIO, CA 91761  
CONTACT: TRAVIS VINCENT  
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**ARCHITECT** CORE STATES GROUP  
4240 EAST JURUPA STREET, SUITE 402  
ONTARIO, CA 91767  
CONTACT: MIKE YAO  
(909) 467-8937

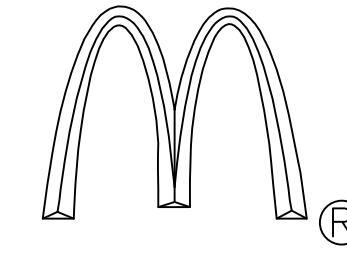
**SURVEYOR** PLBA, INC.  
981 CORPORATE CENTER DRIVE, SUITE 150  
POMONA, CA 91768  
CONTACT: CARLOS UREÑA  
888-714-9642 EXT. 4001

**GOVERNING AGENCIES CONTACTS:**

**PLANNING SERVICES** PLANNING DIVISION  
3231 MAIN ST.  
OAKLEY, CA 94561  
(925) 625-7000

**BUILDING AND SAFETY** BUILDING DIVISION  
3231 MAIN ST.  
OAKLEY, CA 94561  
(925) 625-7005

# CONSTRUCTION PLANS FOR

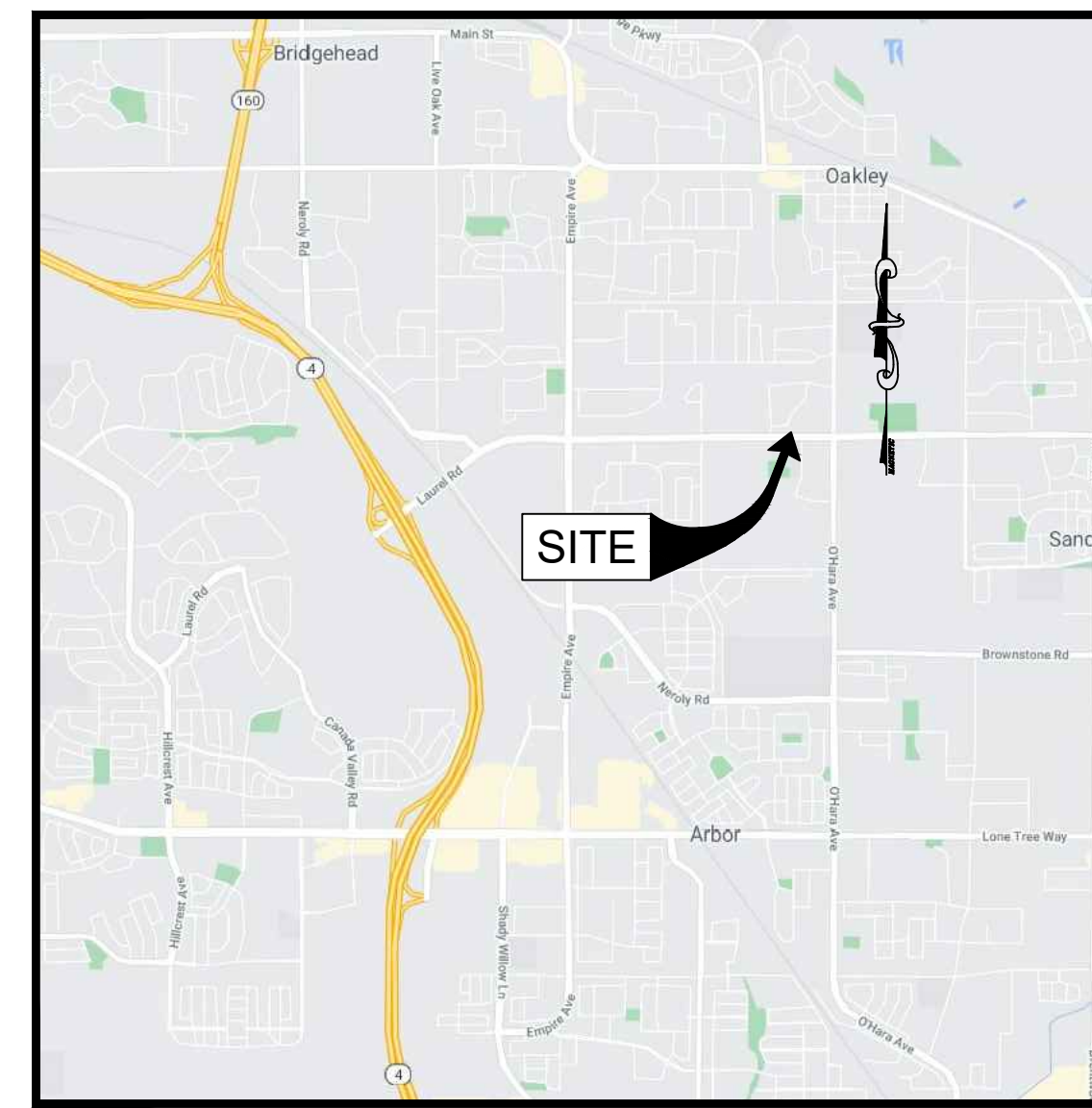


# McDonald's Corporation

## McDONALD'S - STORE No. 004-5010

LAUREL ROAD,  
OAKLEY, CA 94561

McDONALD'S DRIVE-THROUGH QUICK SERVE  
RESTAURANT AT LAUREL PLAZA (CUP 03-20, DR 09-20)



VICINITY MAP

SHEET INDEX				
SHEET	SHEET TITLE	PREPARED BY	REVISION	
C1	COVER SHEET	CORE STATES		
C5	SITE PLAN	CORE STATES		
C6	TRUCK PLAN	CORE STATES		
C7	GRADING PLAN	CORE STATES		
LP1	LANDSCAPE PLAN	EVERGREEN DESIGN		
-	PHOTOMETRIC PLAN	SECURITY LIGHTING		
A2.0	ELEVATIONS	CORE STATES		
A2.1	ELEVATIONS	CORE STATES		
-	2D COLOR RENDERING	CORE STATES		
-	LINE OF SITE DIAGRAM	CORE STATES		
-	LINE OF SITE DIAGRAM	CORE STATES		

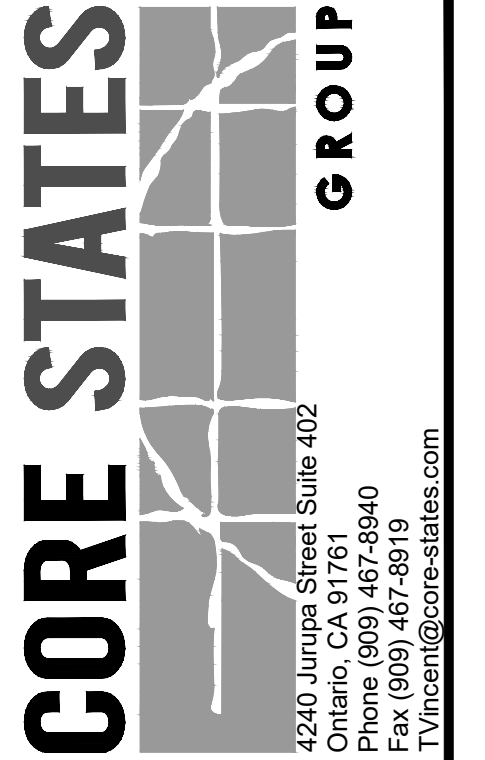
City of Oakley

FEB 8, 2022

RECEIVED

**ALERT TO CONTRACTOR:**

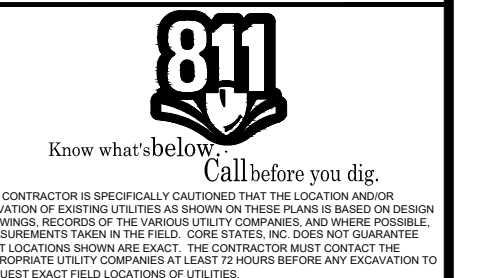
1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.



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**CLIENT**  
McDonald's USA, LLC

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REVISIONS			
REV	DATE	COMMENT	BY

**DOCUMENT**  
CIVIL  
CONSTRUCTION  
PLANS FOR  
MCDONALDS AT  
OAKLEY, CA

**SITE LOCATION**  
LAUREL RD,  
OAKLEY, CA 94561  
  
(004-5010)

**ENGINEER SEAL**

**SHEET TITLE**  
COVER SHEET

**JOB #:** MCD.26879  
**DATE:** 2/8/22  
**SCALE:** N.T.S.  
**DRAWN BY:** KC  
**CHECKED BY:** ZM

**SHEET NO.**  
**C1**

PARCEL A  
DOC # 2017-0089927 O.R.  
O'HARA PROPERTIES, LLC  
APN: 035-510-010  
ZONED 'RB'

LOT 2  
508 MAPS 24  
EXISTING BANK

APN: 035-510-003  
ZONED 'RB'

SEE ENLARGED  
DRIVE-THRU INSET  
THIS SHEET.

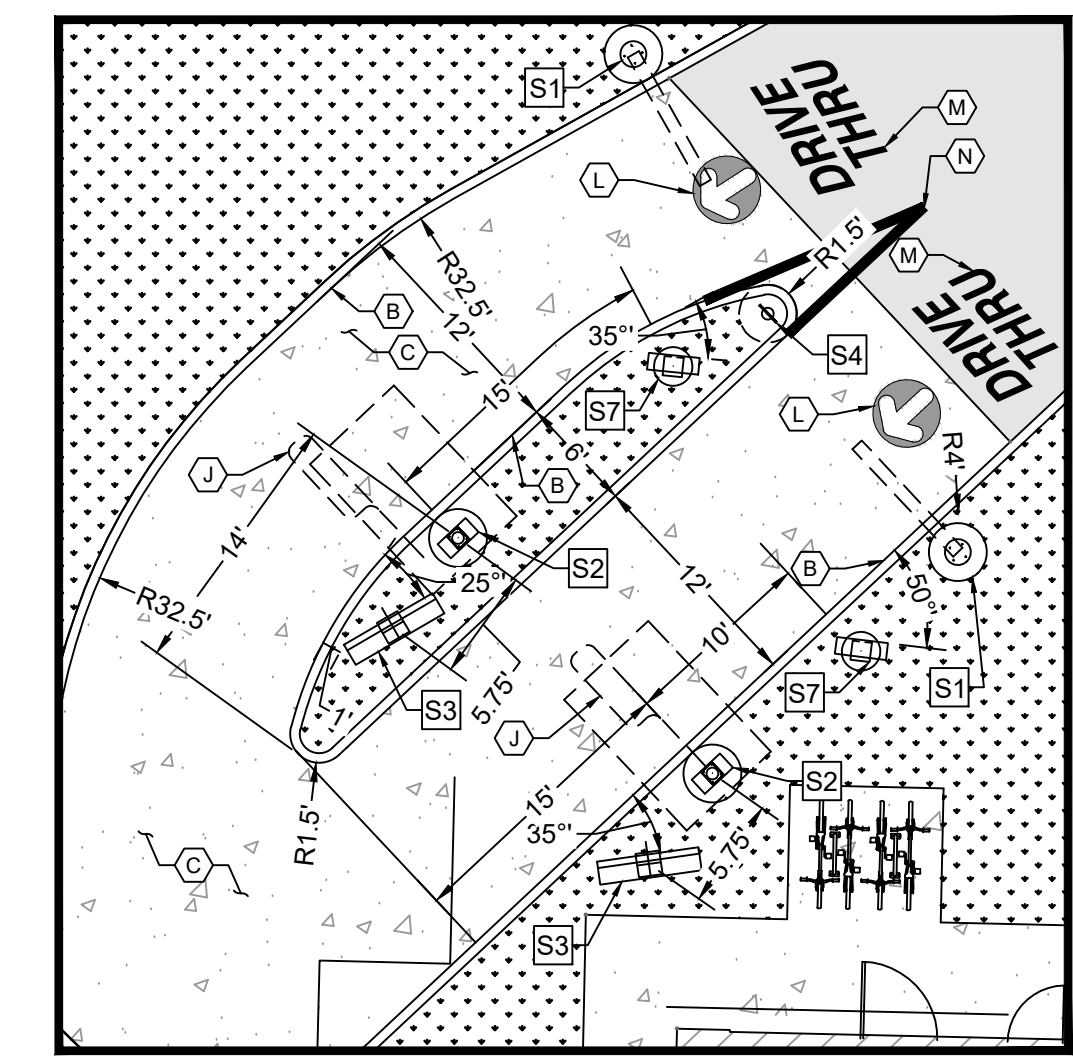
O'HARA PROPERTIES, LLC

VACANT PARCEL

PROPOSED SELF  
SERVICE CAR WASH

PARCEL B  
DOC # 2017-0089927 O.R.  
O'HARA PROPERTIES, LLC  
APN: 035-510-009  
ZONED 'RB'

LAUREL ROAD (110' R/W)



ENLARGED DRIVE-THRU  
SCALE: 1"=10'

SIGN LEGEND

- S1 WELCOME POINT GATEWAY (FOR REFERENCE ONLY)
- S2 DRIVE-THRU CANOPY WITH BUILT IN COD (FOR REFERENCE ONLY)
- S3 DIGITAL OUTDOOR MENU BOARD. REFER TO SHEET CD-1 FOR FOUNDATION DETAIL.
- S4 "ANY LANE ANY TIME" SIGN (FOR REFERENCE ONLY)
- S5 DIRECTIONAL SIGN (FOR REFERENCE ONLY)
- S6 PULL FORWARD SIGN (FOR REFERENCE ONLY)
- S7 DIGITAL PRE-BROWSE BOARD. REFER TO SHEET CD-1 FOR FOUNDATION DETAIL.
- S8 MOBILE ORDER PICKUP SIGNS (FOR REFERENCE ONLY)

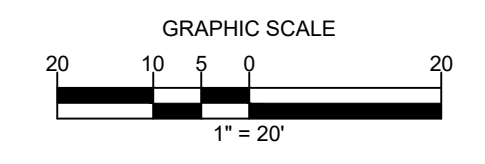
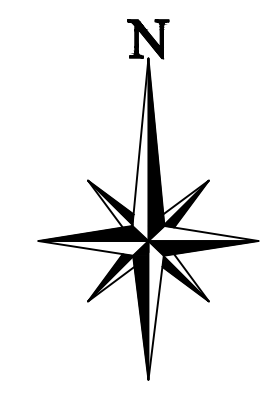
- SIGNAGE NOTES:
- UNLESS OTHERWISE NOTED, REFER TO SIGN PLAN SET BY OTHERS FOR DETAILS AND FOOTINGS.
  - CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT AND WIRING PER THE MANUFACTURES SPECIFICATIONS.
  - VERIFY SIGNAGE WITH SIGN ORDER REQUEST FORM.
  - VERIFY ALL SIGNAGE LOCATIONS WITH MCDONALD'S REPRESENTATIVE BEFORE INSTALLATION.

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- EXISTING CURB
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- PROPOSED CURB AND GUTTER
- PROPOSED RIP RAP
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPE AREA
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED PARKING COUNT

SITE KEY NOTES: ○

- A. PROPOSED MCDONALDS 4,597 BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- B. PROPOSED CONCRETE CURB PER CITY STANDARD PLAN NO. C-02.
- C. PROPOSED CONCRETE PAD. REFER TO CONSTRUCTION DETAIL SHEETS.
- D. PROPOSED ACCESSIBLE PARKING STRIPING. MUST BE LONG LIFE EPOXY. REFER TO CONSTRUCTION DETAIL SHEETS.
- E. PROPOSED PARKING STRIPING (TYP.). MUST BE LONG LIFE EPOXY. REFER TO CONSTRUCTION DETAIL SHEETS.
- F. PROPOSED RAISE PEDESTRIAN CROSSWALK. REFER TO CONSTRUCTION DETAIL SHEETS.
- G. PROPOSED ACCESSIBLE CURB RAMP WITH 3" DEEP DETECTABLE WARNING. REFER TO CONSTRUCTION DETAIL SHEETS.
- H. PROPOSED CONCRETE SIDEWALK. REFER TO CONSTRUCTION DETAIL SHEETS.
- I. PROPOSED ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAIL SHEETS.
- J. PROPOSED DETECTOR LOOP(S) TO BE INSTALLED / REPLACED AT EXISTING DRIVE THRU WINDOWS AS DIRECTED BY MCDONALD'S CONSTRUCTION MANAGER. REFER TO CONSTRUCTION DETAIL SHEETS.
- K. PROPOSED GUARDRAIL/HANDRAIL WITH PICKETS. REFER TO CONSTRUCTION DETAIL SHEETS.
- L. PROPOSED YELLOW DRIVE-THRU DIRECTION PAVEMENT MARKINGS. REFER TO CONSTRUCTION DETAIL SHEETS.
- M. PROPOSED YELLOW "DRIVE THRU" PAVEMENT MARKINGS. REFER TO CONSTRUCTION DETAIL SHEETS.
- N. PROPOSED 6" WIDE YELLOW STRIPE. REFER TO CONSTRUCTION DETAIL SHEETS.
- O. PROPOSED YELLOW "THANK YOU" PAVEMENT PARKING. REFER TO CONSTRUCTION DETAIL SHEETS.
- P. PROPOSED TRAFFIC FLOW ARROWS. REFER TO CONSTRUCTION DETAIL SHEETS.
- Q. PROPOSED LANDSCAPE AREA PER LANDSCAPE PLANS.
- R. PROPOSED TRASH ENCLOSURE. REFER TO SHEETS FD1 AND FD2.
- S. PROPOSED DEPRESSED CURB SECTION. REFER TO CONSTRUCTION DETAIL SHEETS.
- T. PROPOSED TYPE III LANDSCAPE INLET PER CITY ST. PLAN NO. SD-10.
- U. PROPOSED MITERED END SECTION PIPE CUT GROUTED WITH RIP RAP.
- V. PROPOSED RIP RAP PROTECTIVE APRON. REFER TO CONSTRUCTION DETAIL SHEETS.
- W. PROPOSED SCREENING WALL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- X. PROPOSED BIKE RACKS. REFER TO CONSTRUCTION DETAIL SHEETS.
- Y. EXISTING LANDSCAPE PLANTER TO REMAIN.
- Z. APPLY SEAL COAT TO EXISTING ASPHALT. PAVEMENT TO REMAIN.
- AA. PROPOSED THREE-FOOT WIDE CONCRETE V-GUTTER PER CITY STANDARD PLAN NO. SD-02.
- AB. PROPOSED LIGHT POLE. REFER FOR SHEET CD-2 FOR FOUNDATION DETAILS AND PHOTOMETRIC PLAN FOR LIGHT FIXTURE HEAD DETAILS.
- AC. PROPOSED PARKING STALL ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAIL SHEETS.
- AD. PROPOSED ADA SIGN, "MINIMUM FINE \$250" SIGN, AND POST. REFER TO CONSTRUCTION DETAIL SHEETS.
- AE. PROPOSED ADA SIGN, "VAN ACCESSIBLE" & "MINIMUM FINE \$250" SIGN. REFER TO CONSTRUCTION DETAIL SHEETS.
- AF. PROPOSED DELIVERY RAMP.



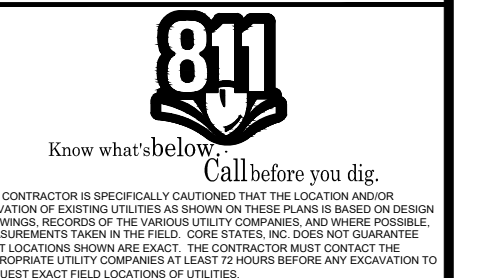
**CORE STATES GROUP**

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TVincen@core-states.com

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**CLIENT**  
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REVISIONS

REV	DATE	COMMENT	BY

**DOCUMENT**  
CIVIL  
CONSTRUCTION  
PLANS FOR  
MCDONALDS AT  
OAKLEY, CA

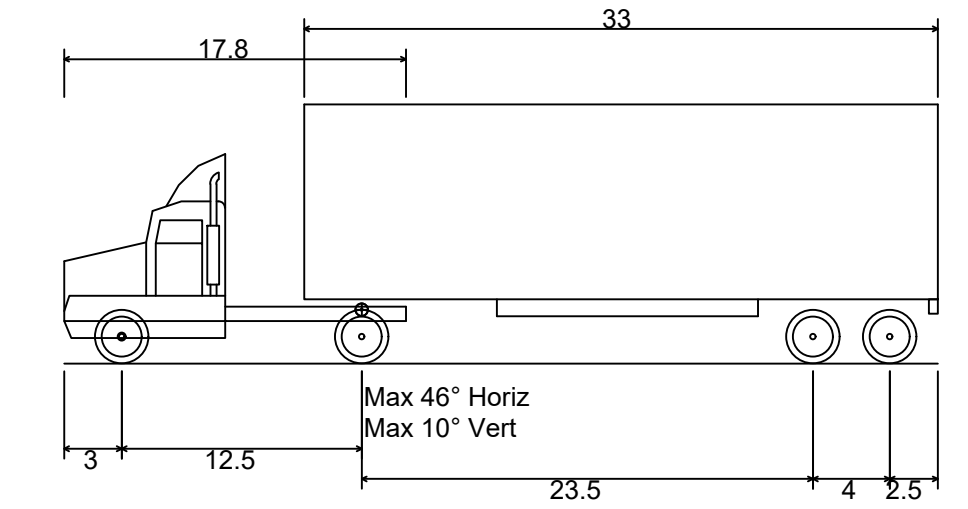
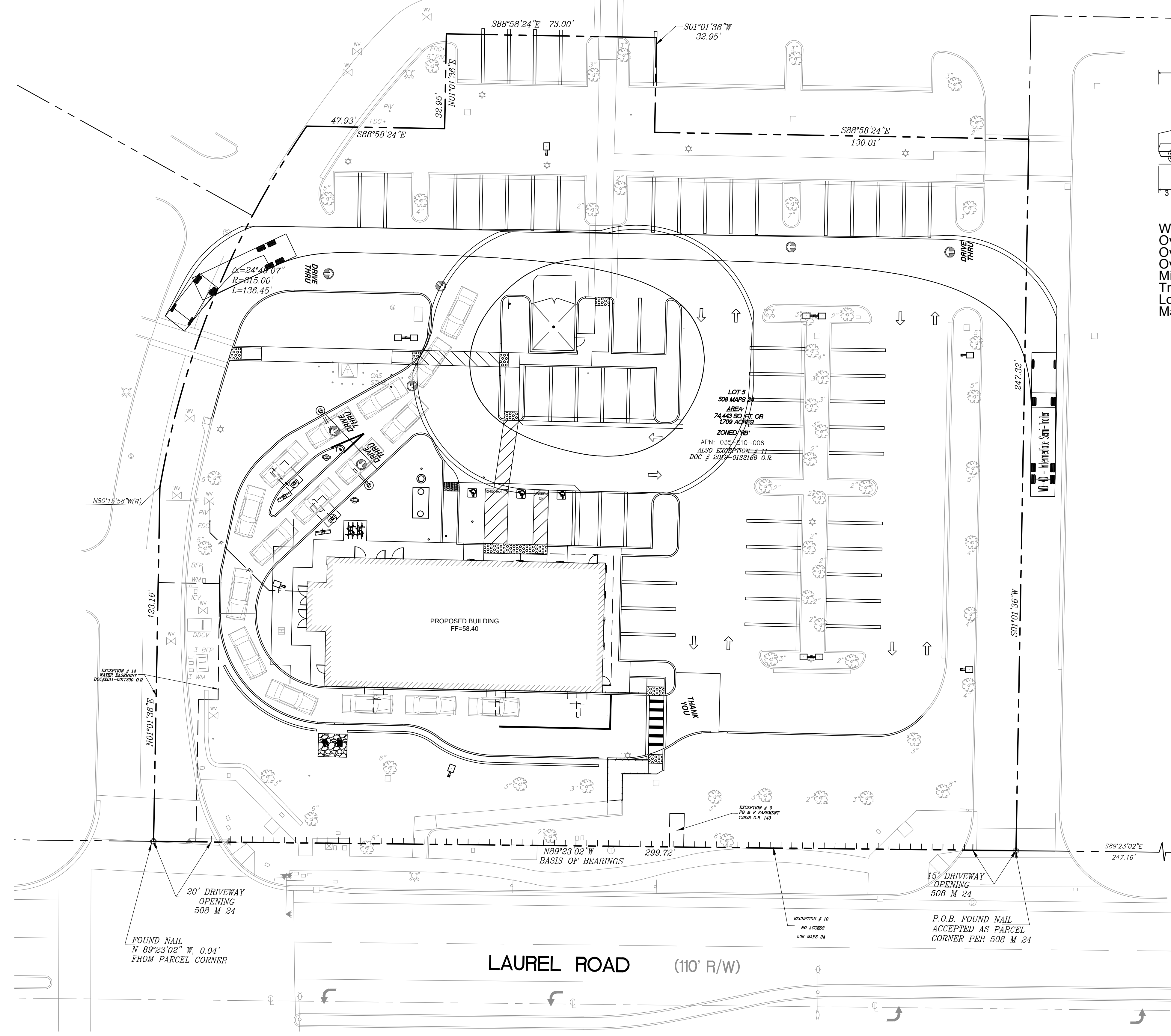
**SITE LOCATION**  
LAUREL RD.  
OAKLEY, CA 94561  
(004-5010)

ENGINEER SEAL

SHEET TITLE  
SITE PLAN

JOB #: MCD26879  
DATE: 2/8/22  
SCALE: 1" = 20'  
DRAWN BY: KC  
CHECKED BY: ZM

SHEET NO.  
**C5**



WB-40 - Intermediate Semi-Trailer  
 Overall Length 45.499ft  
 Overall Width 8.000ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.334ft  
 Track Width 8.000ft  
 Lock-to-lock time 4.00s  
 Max Steering Angle (Virtual) 20.30°

**CORE STATES GROUP**

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**811** Call before you dig.

Know what's below.

The contractor is specifically cautioned that the location and location of existing utilities shown on these drawings are based on the information provided to the engineer. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES.

REVISIONS

REV	DATE	COMMENT	BY

**SITE LEGEND**

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- PROPOSED SAWCUT LINE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED BUILDING
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT

**DOCUMENT**

CIVIL CONSTRUCTION PLANS FOR MCDONALDS AT OAKLEY, CA

**SITE LOCATION**

LAUREL RD, OAKLEY, CA 94561

(004-5010)

**ENGINEER SEAL**

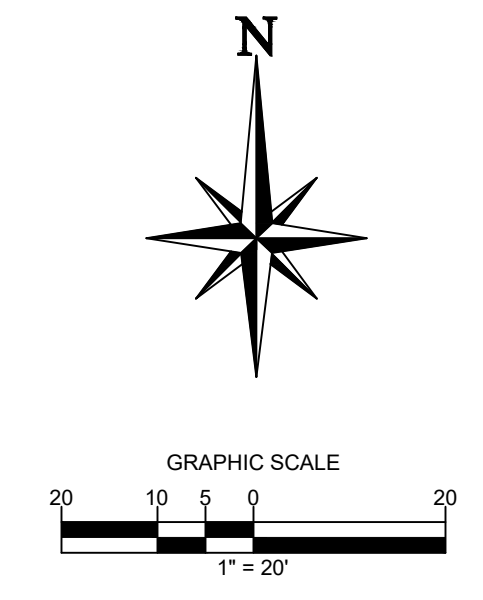
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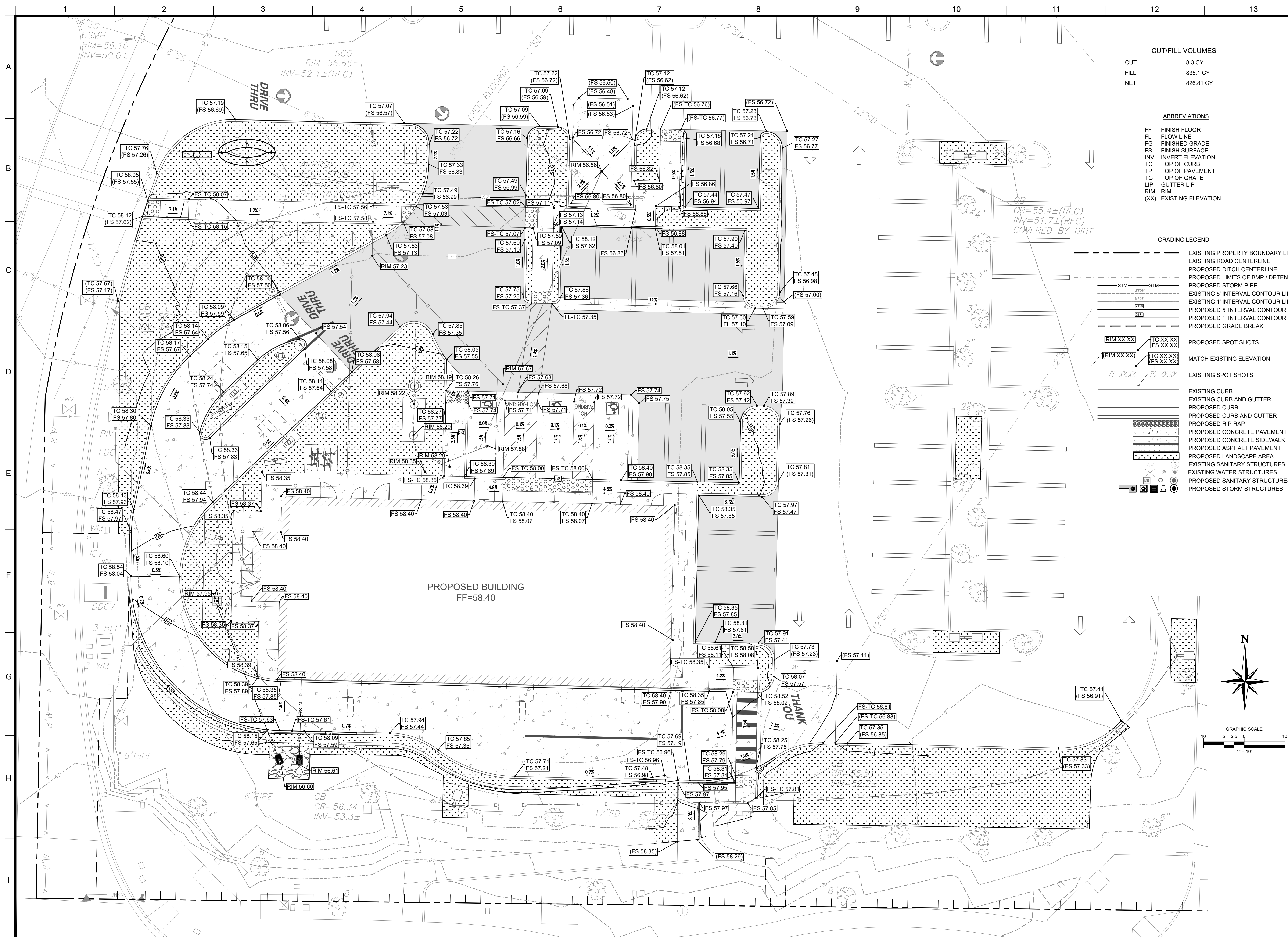
TRUCK PLAN

JOB #: MCD.26879  
 DATE: 2/8/22  
 SCALE: 1" = 20'  
 DRAWN BY: KC  
 CHECKED BY: ZM

SHEET NO.  
**C6**

BOUNDARY & TOPOGRAPHIC SURVEY  
 APN: 035-510-006, LOT 5  
 OAKLEY  
 CONTRA COSTA COUNTY, STATE OF CALIFORNIA  
 PREPARED BY: ZIEBATECH LAND SURVEYING  
 DATED: 02/27/2020





CUT/FILL VOLUMES  
 CUT 8.3 CY  
 FILL 835.1 CY  
 NET 826.81 CY

ABBREVIATIONS  
 FF FINISH FLOOR  
 FL FLOW LINE  
 FS FINISHED GRADE  
 FS FINISH SURFACE  
 INV INVERT ELEVATION  
 TC TOP OF CURB  
 TP TOP OF PAVEMENT  
 TG TOP OF GRAVE  
 LIP GUTTER LIP  
 RIM RIM  
 (XX) EXISTING ELEVATION

GRADING LEGEND  
 --- EXISTING PROPERTY BOUNDARY LINE  
 --- EXISTING ROAD CENTERLINE  
 --- PROPOSED DITCH CENTERLINE  
 --- PROPOSED LIMITS OF BMP / DETENTION  
 --- PROPOSED STORM PIPE  
 --- EXISTING 5' INTERVAL CONTOUR LINE  
 --- EXISTING 1' INTERVAL CONTOUR LINE  
 --- PROPOSED 5' INTERVAL CONTOUR LINE  
 --- PROPOSED 1' INTERVAL CONTOUR LINE  
 --- PROPOSED GRADE BREAK  
 --- PROPOSED SPOT SHOTS  
 --- MATCH EXISTING ELEVATION  
 --- EXISTING SPOT SHOTS  
 --- EXISTING CURB  
 --- EXISTING CURB AND GUTTER  
 --- PROPOSED CURB  
 --- PROPOSED CURB AND GUTTER  
 --- PROPOSED RIP RAP  
 --- PROPOSED CONCRETE PAVEMENT  
 --- PROPOSED CONCRETE SIDEWALK  
 --- PROPOSED ASPHALT PAVEMENT  
 --- PROPOSED LANDSCAPE AREA  
 --- EXISTING SANITARY STRUCTURES  
 --- EXISTING WATER STRUCTURES  
 --- PROPOSED SANITARY STRUCTURES  
 --- PROPOSED STORM STRUCTURES

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**811**  
 Know what's below. Call before you dig.  
 The contractor is responsible for calling 811 to locate and mark all existing underground utilities before any excavation or construction work begins. Core States, Inc. does not guarantee the location or depth of any existing underground utilities. The contractor shall be responsible for obtaining all necessary permits and approvals for any excavation or construction work.

**REVISIONS**

REV	DATE	COMMENT	BY

**DOCUMENT**  
 CIVIL CONSTRUCTION PLANS FOR MCDONALDS AT OAKLEY, CA

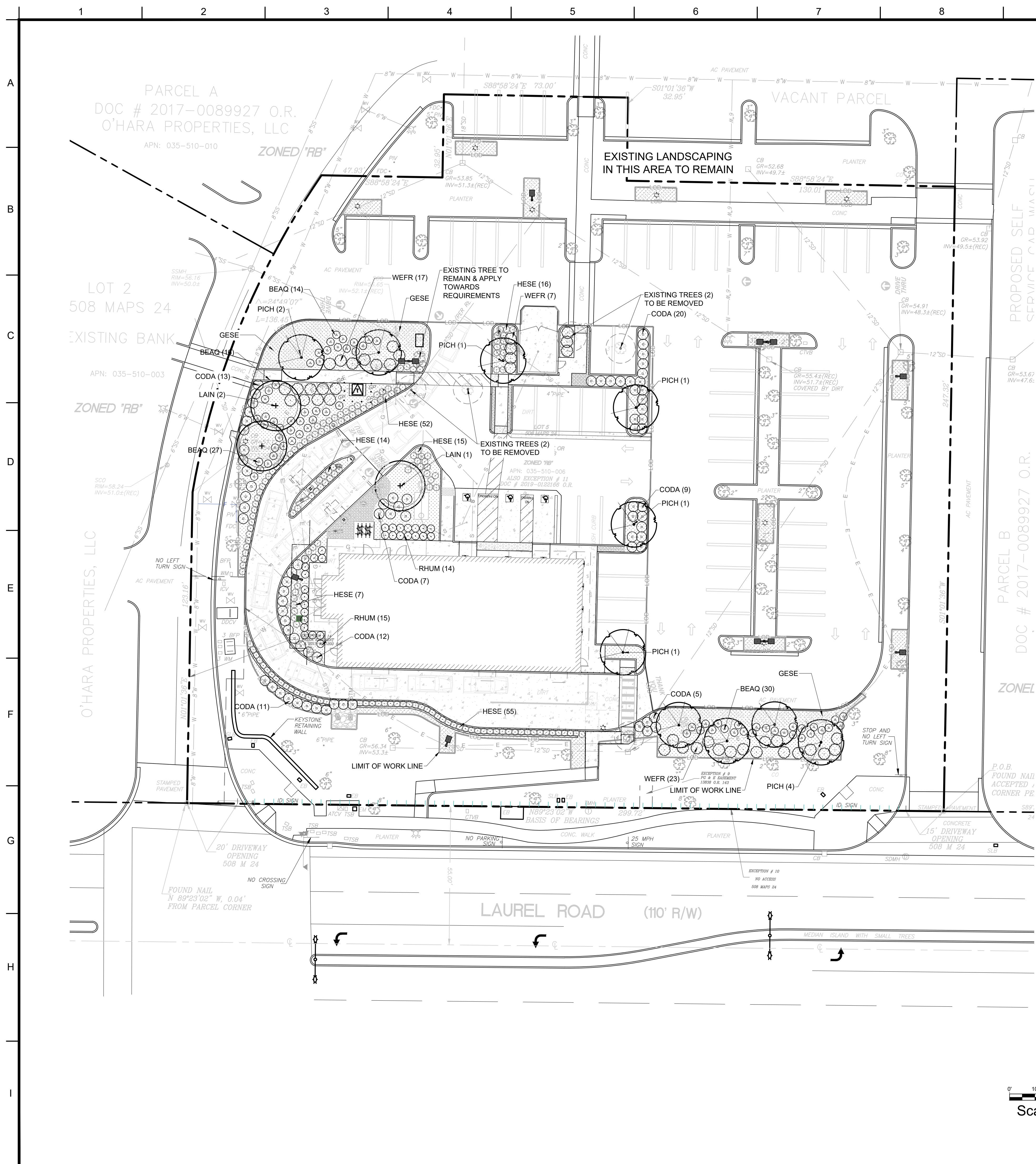
**SITE LOCATION**  
 LAUREL RD, OAKLEY, CA 94561  
 (004-5010)

**ENGINEER SEAL**

**SHEET TITLE**  
 GRADING PLAN

**JOB #:** MCD.26879  
**DATE:** 2/8/22  
**SCALE:** 1" = 10'  
**DRAWN BY:** KC  
**CHECKED BY:** ZM

**SHEET NO.**  
**C7**



**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	WUCOLS	QUANTITY	REMARKS
<b>TREES</b>							
LAIN	Lagerstroemia indica 'Natchez'	White Crepe Myrtle	24" Box	Per Plan	Low	3	1 1/2" caliper, 10'-12' high
PICH	Pistachia chinensis	Chinese Pistache	24" Box	Per Plan	Low	10	1 1/2" caliper, 10'-12' high
<b>SHRUBS &amp; ORNAMENTAL GRASSES</b>							
BEAQ	Berberis aquifolium 'Compacta'	Compact Oregon Grape	5 Gallon	4' o.c.	Low	67	
CODA	Cotoneaster dammeri 'Lowfast'	Lowfast Cotoneaster	5 Gallon	4' o.c.	Low	76	
HESE	Helictotrichon sempervirens	Blue Oat Grass	1 Gallon	2.5' o.c.	Low	164	
RHUM	Rhaphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	5 Gallon	3' o.c.	Low	30	
WEFR	Westringia fruticosa	Coast Rosemary	5 Gallon	5' o.c.	Low	41	Allow to grow naturally, shall not be sheared
<b>GROUND COVERS</b>							
	Gelsemium sempervirens	Carolina Jessamine	1 Gallon	3' o.c.	Low	---	
	Decomposed Granite, Tan Color, 3" Deep over Weed Barrier Fabric					---	
	Shredded Wood Mulch, All Planting Areas, 3" Deep					---	
	Replace disturbed landscape areas with like kind plants (ground cover, shrubs)						

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA:	74,443 SF			
SITE AREA FOR THIS PROJECT:	26,747 SF			
LANDSCAPE AREA REQUIRED (15%):	4,012 SF			
LANDSCAPE AREA PROVIDED:	7,457 SF (27.8% OF SITE AREA)			
<b>STREET TREES</b>				
STREETS TREES EXISTING, NOT A PART OF THIS PROJECT				
<b>INTERIOR TREES</b>				
TREES REQUIRED IN REQUIRED LANDSCAPE:	12 TREES (1 TREE PER 600 SF)			
TREES PROVIDED:	12 TREES (2 EXISTING TREES TO REMAIN) (10 NEW PISTACHE TREES)			
<b>TREES REQUIRED IN PARKING AREAS:</b>				
TREES PROVIDED IN PARKING AREAS:	3 TREES (1 PER 6 SPACES, 20 SPACES TOTAL)			
<b>SHADE CALCULATION FOR PARKING AREAS</b>				
TOTAL PARKING AREA ASPHALT:	3,369 SF			
REQUIRED SHADE AREA 50%:	1,685 SF			
PROVIDED MATURE TREE SHADE AREA:	2,234 SF			
PERCENTAGE:	66%			
		<b>SPECIES</b>	<b>QTY</b>	<b>MATURE SHADE AREA*</b>
		LAGERSTROEMIA	1	113 SF
		PISTACHE	3	707 SF
		<b>TOTAL PARKING AREA SHADE CALCULATION</b>		<b>2,234 SF</b>
		<b>*BASED ON SUNSET GARDEN BOOK</b>		

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SEE WATER EFFICIENT LANDSCAPE WORKSHEET FOR MWELO WATER USE CALCULATIONS.

**CORE STATES GROUP**  
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 Fax (909) 467-8919  
 TVincent@core-states.com

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**McDonald's USA, LLC**  
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**811**  
 Know what's below. Call before you dig.  
 The contractor is specifically cautioned that the location and depth of existing utilities shown on these drawings are based on records and field measurements taken in the field. CORE STATES, INC. does not guarantee the location or depth of any utilities. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

**REVISIONS**

REV	DATE	COMMENT	BY

**DOCUMENT**  
 CIVIL CONSTRUCTION PLANS FOR MCDONALDS AT OAKLEY, CA

**SITE LOCATION**  
 LAUREL RD, OAKLEY, CA 94561  
 (004-5010)

**ENGINEER SEAL**  
  
 Signature: Thomas L. Brant  
 Date: 2/20/22

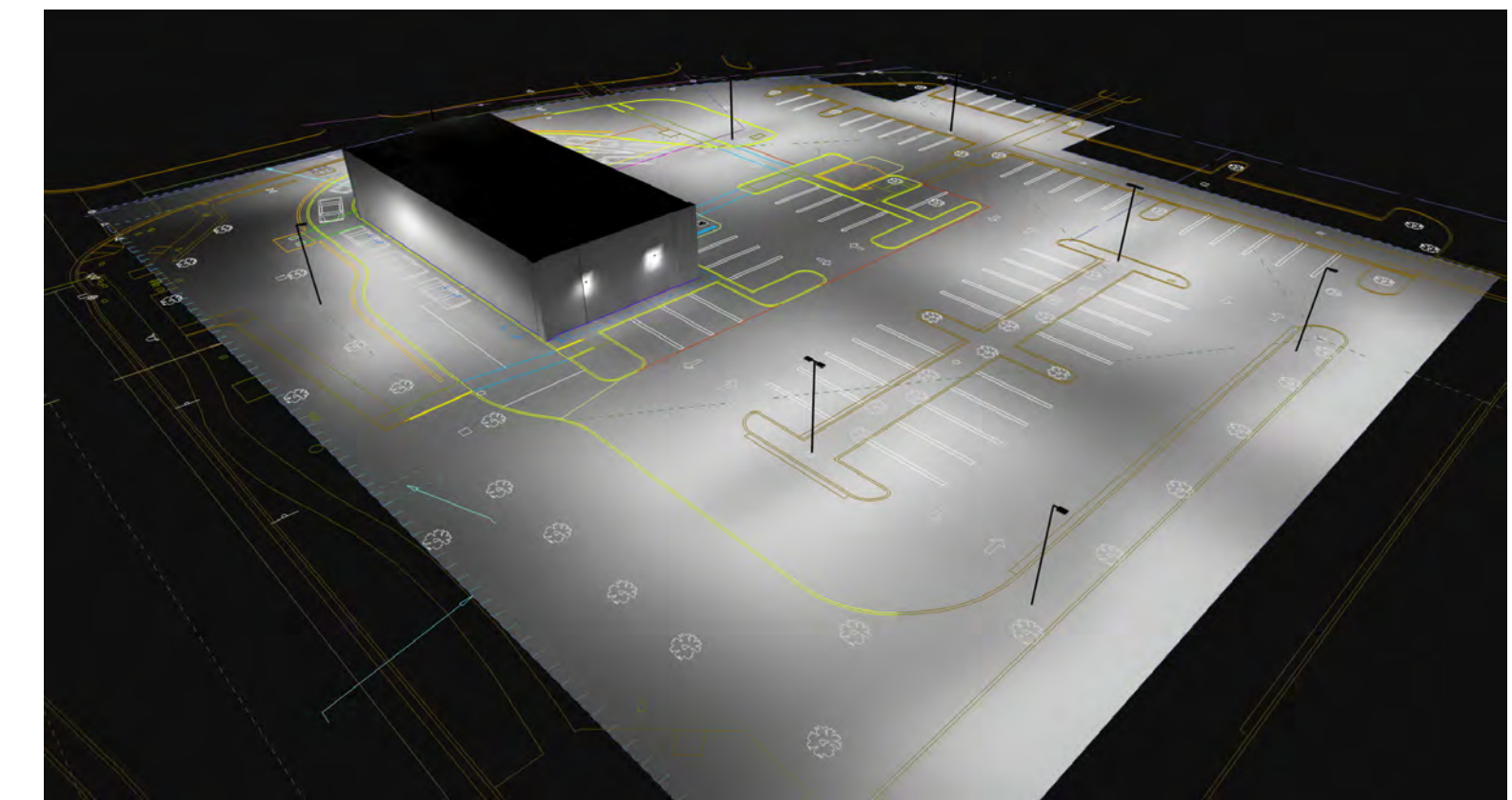
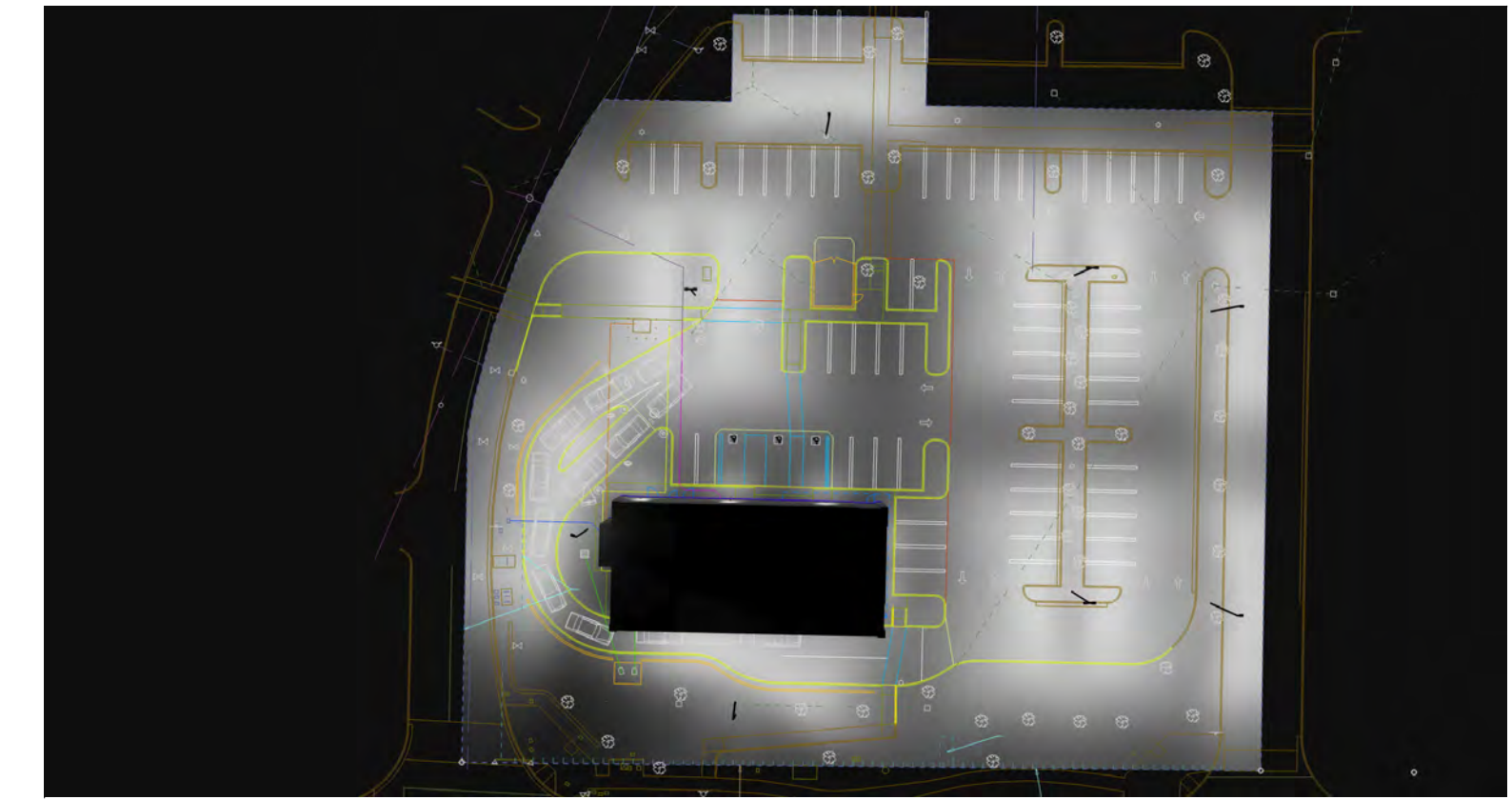
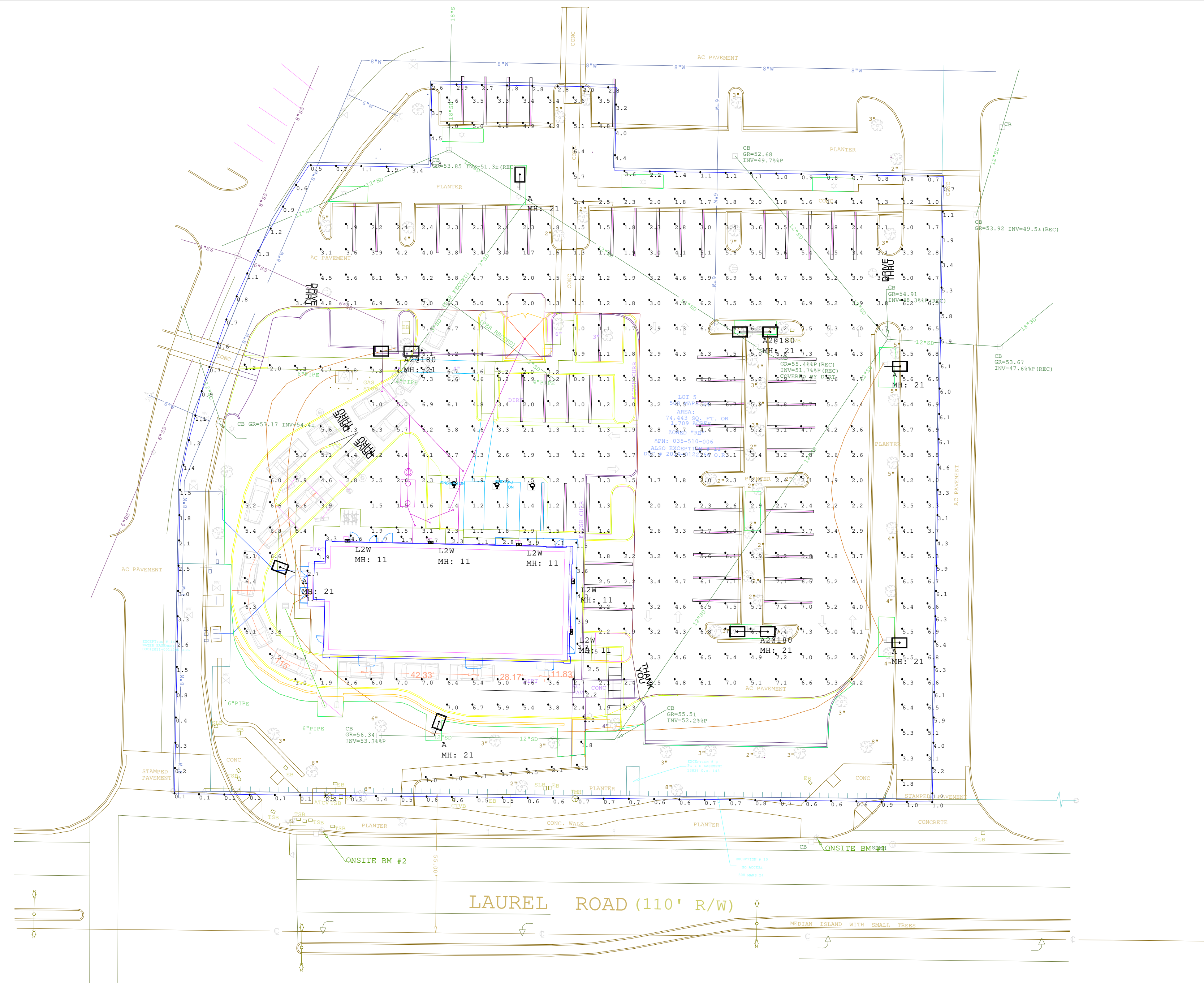
**SHEET TITLE**  
 Landscape Planting

**JOB #:** MCD.26879  
**DATE:** 02/04/2022  
**SCALE:** 1" = 20'  
**DRAWN BY:** DB  
**CHECKED BY:** ZM

**SHEET NO.**  
**LP-1**

**EVERGREEN DESIGN GROUP**  
 (800) 680-6630  
 11801 Pierce Street, Suite 200  
 Riverside, CA 92505  
 www.EvergreenDesignGroup.com

NOTES:  
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.  
 2. DISTANCE BETWEEN READINGS \_\_\_\_\_ 10'



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.04	7.7	0.9	4.49
PEDESTRIAN AREAS	Illuminance	Fc	2.97	7.3	1.0	2.97
PROPERTY LINE READINGS	Illuminance	Fc	2.07	6.4	0.1	20.70

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	5	A	SINGLE	0.900	RAR2-480L-240-5K7-4W-SCP/40F	226.9	.55	21	SES-18-40-1-GL-TA-xx (4')
	3	A2@180	BACK-BACK	0.900	RAR2-480L-240-5K7-4W-SCP/40F	226.9	1.1	21	SES-18-40-1-GL-TA-xx (4')
	5	L2W	SINGLE	0.900	RWSC-36L-5K-DO-U-WH-SCP/40F	14.4		11	

Mounting Height=24' (22' Pole + 2' Base)

\*\* - SPECIFY COLOR

\* PROJECT WIND LOAD CRITERIA BASED ON:  
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
 50 YEAR MEAN RECURRENCE INTERVAL  
 Allowed EPA 13.6 @  
 Wind Load 90MPH

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

Regional Drawing  
 # 004-5010

2000 Gulf Road, Suite 400, Rolling Meadows, IL 60008  
 1-800-544-6888

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

SCALE 1"=20' 0"

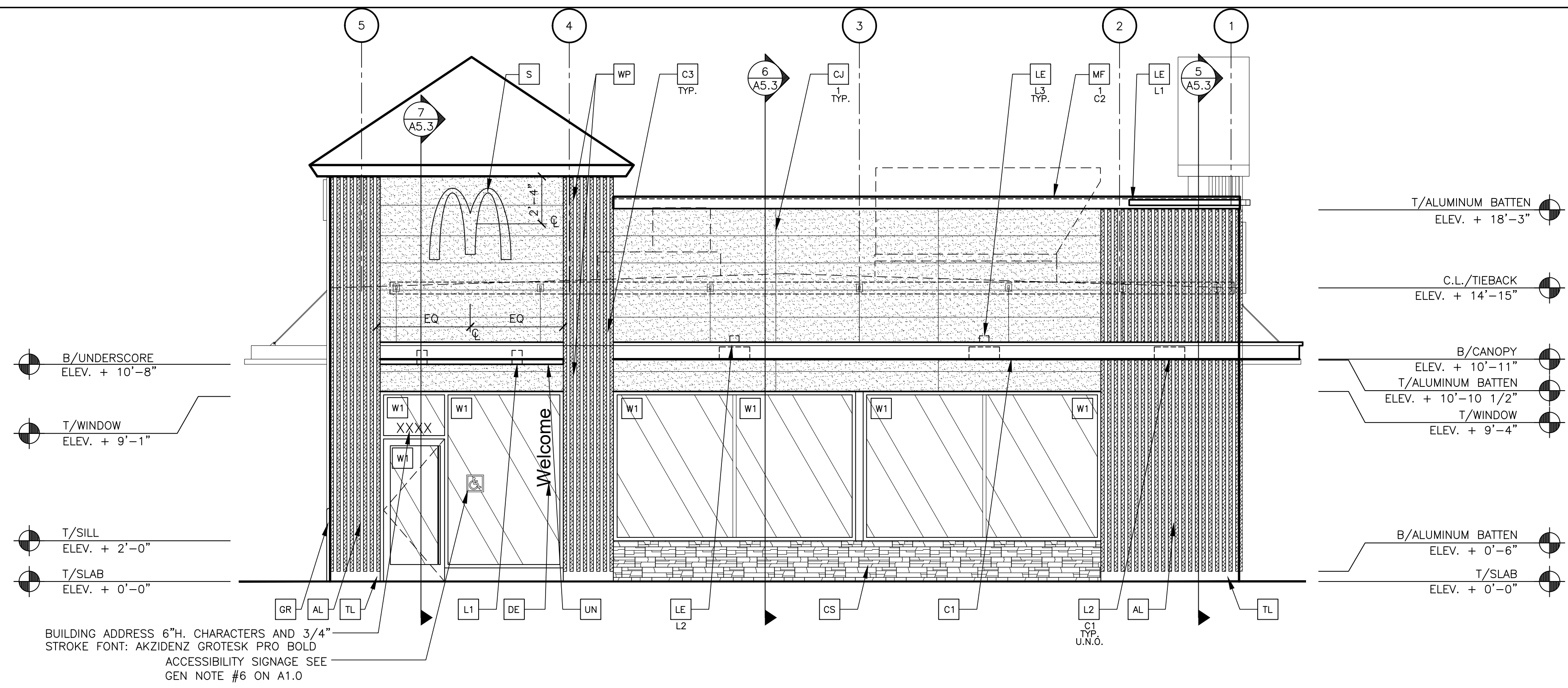
DRAWN BY VS

POINT-BY-POINT FOOTCANDLE PLOT FOR  
 MCDONALD'S  
 LAUREL ROAD  
 OAKLEY, CA

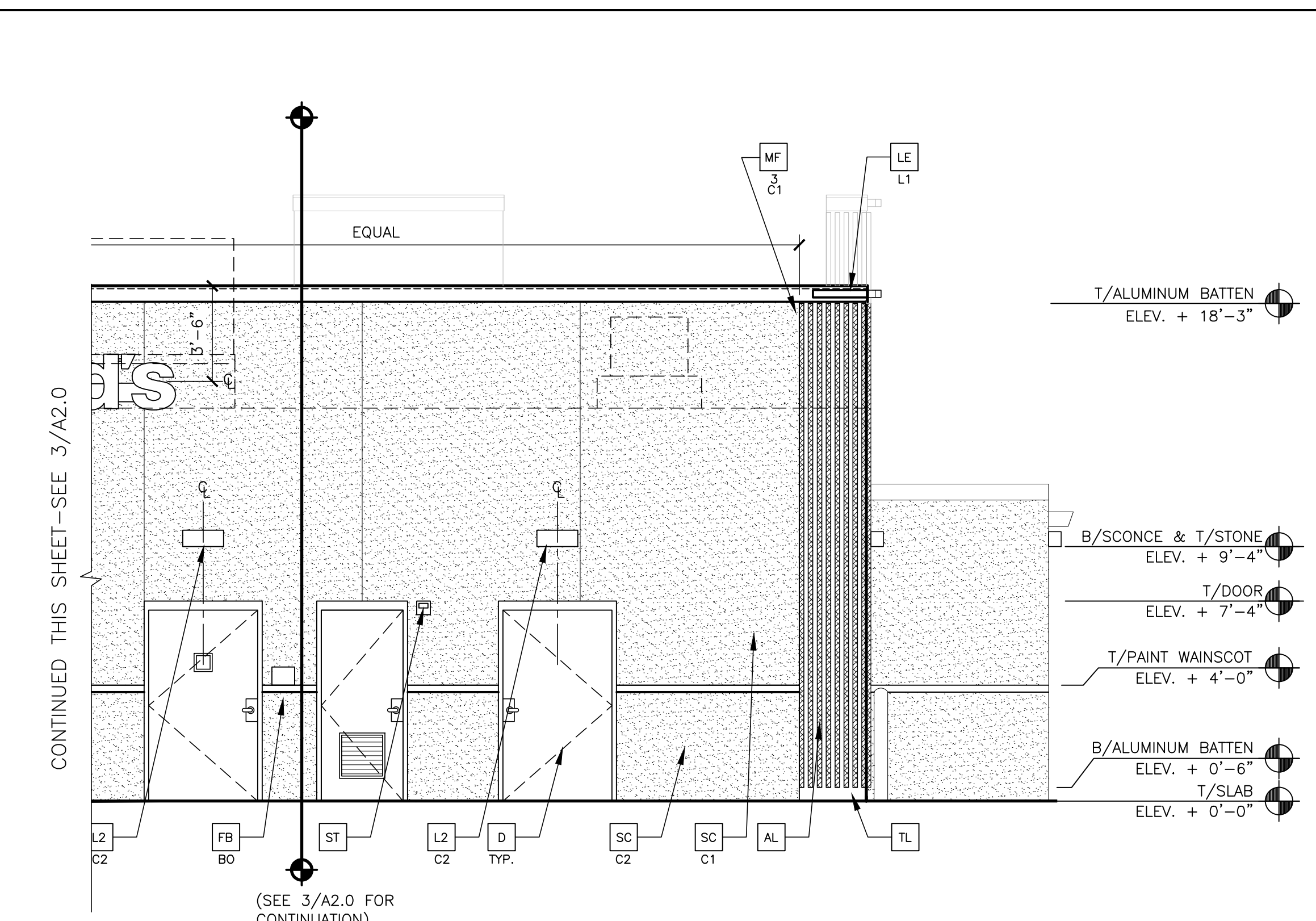
NATIONAL STORE NUMBER  
**38566**

DATE 1/31/2022 DRAWING NUMBER SL2101003\_R1.AGI

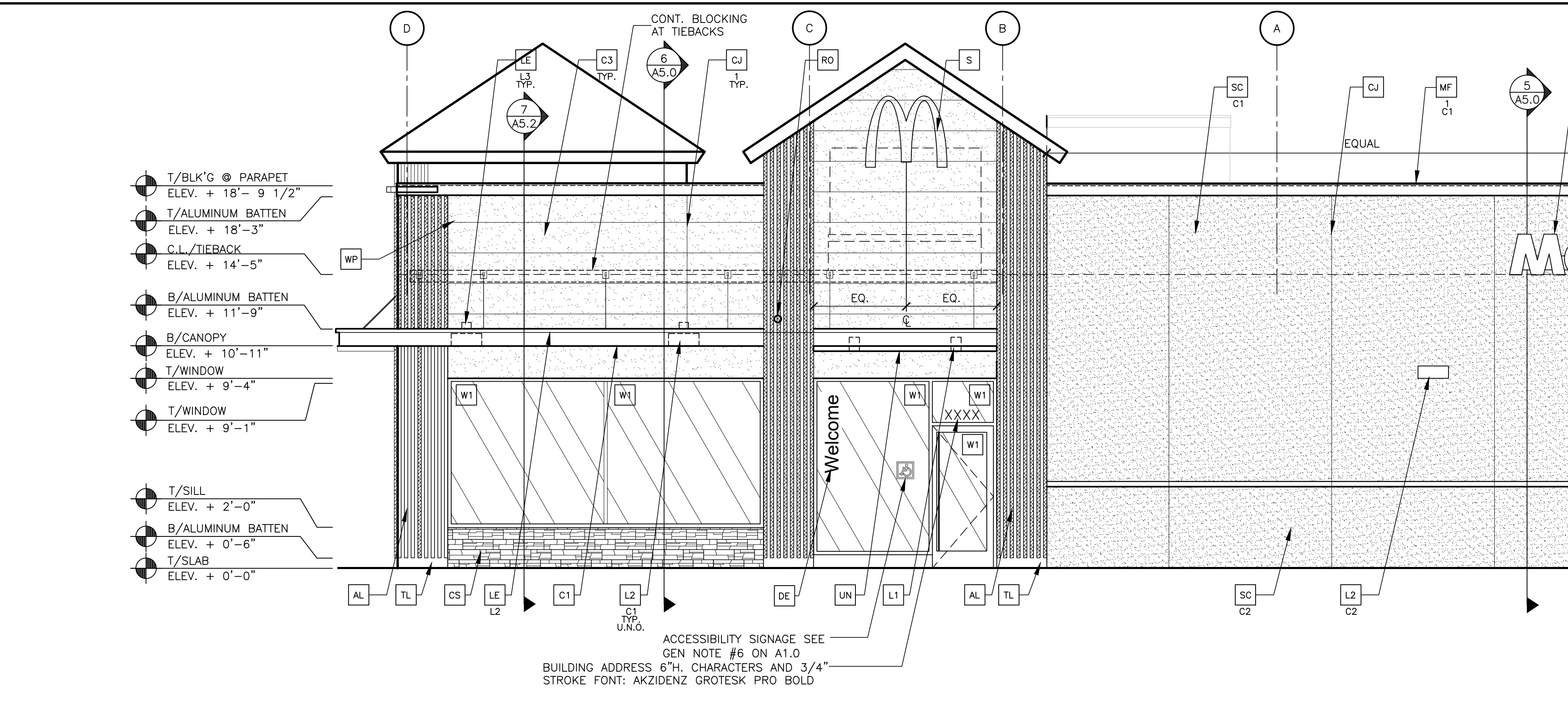
1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.  
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.  
 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.  
 4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



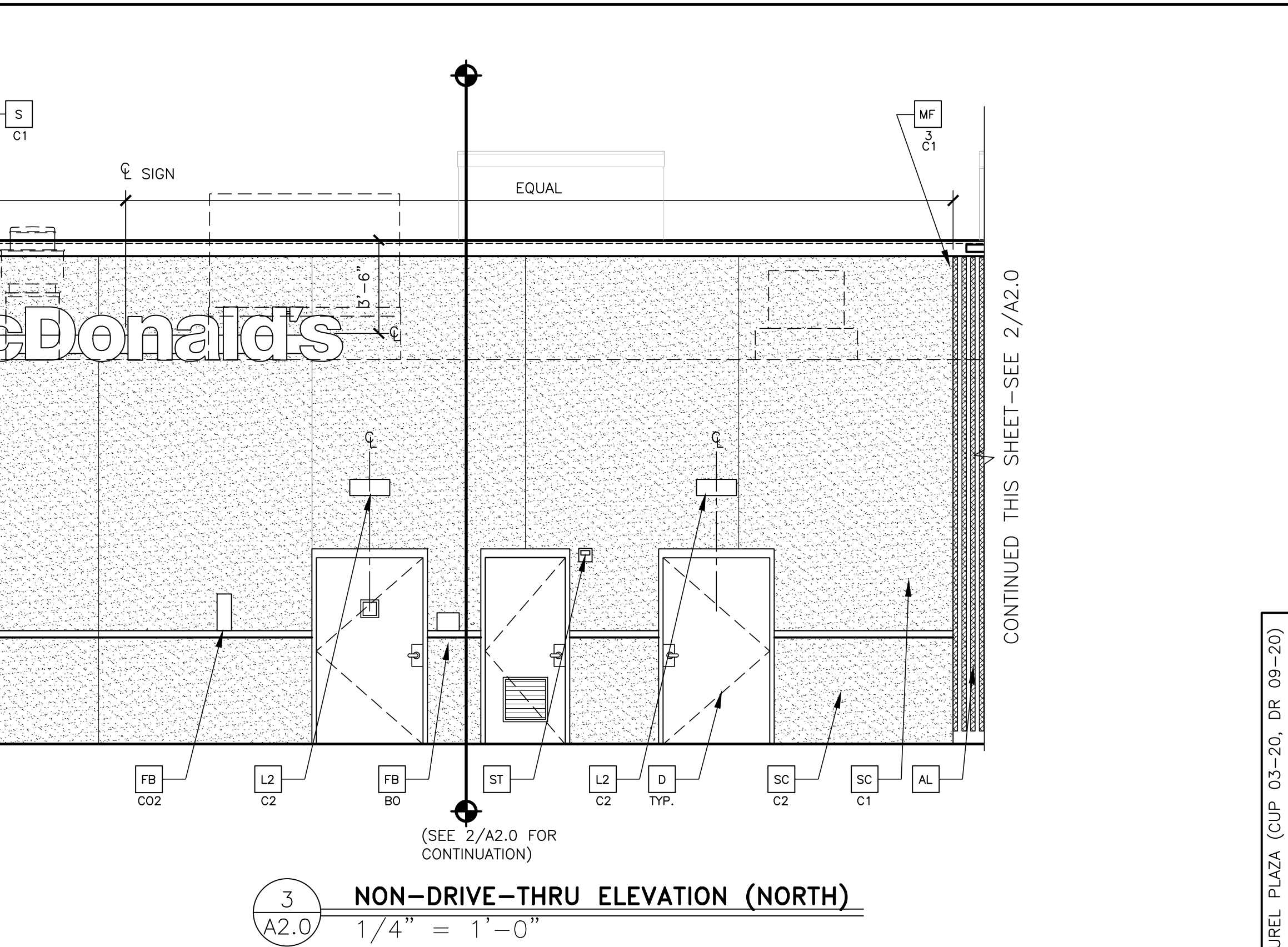
1 FRONT ELEVATION (EAST)  
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION (CONT.)  
A2.0 1/4" = 1'-0"



3 NON-DRIVE-THRU ELEVATION (NORTH)  
A2.0 1/4" = 1'-0"



**KEY NOTES:**

- AL ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES PRIOR TO INSTALLATION.  
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.  
SEE DETAIL 3/A5.0
- CJ CONTROL JOINT  
1-TYPE: 1 = STUCCO
- CS OLD COUNTRY FIELDSTONE, COLOR: CHARDONNAY. BY CULTURED STONE.  
CONTACT: KEVIN Reidy, (717) 377-2746
- D HOLLOW METAL DOOR  
"FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1= WHITE  
C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL  
L1= LED LIGHT;  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA  
1-TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
COLOR:  
C1= WEATHERED ZINC  
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PC PRECAST CONCRETE SLOPED CAP  
COLOR: FOUNDATION
- PT (R/MC) COIN COLLECTOR  
MODEL: #WPT STD  
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1-COLOR:  
C1= WEATHERED ZINC RACEWAY  
C2= RAL 7022 RACEWAY
- SC STUCCO  
C1-COLOR:  
C1 = "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE  
C2 = "NORTHWOOD BROWN" 1000 BY BENJAMIN MOORE
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- TL TILE (BASE OF BATTEN SYSTEM)  
COLOR: R-9 BLACK, SIZE: 6"x24"  
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI  
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL  
GROUT WIDTH: 1/8" TO 3/16"  
CONTACT: JAN DETER, (714) 937-7500
- UN METAL UNDERSCORE  
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL  
XX OPEN; ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT
- WP ARCHITECTURAL WALL PANELS BY NICHHA  
VINTAGE WOOD, AWP-3030, COLOR: BARK.  
NOTE: PANEL PATTERN SHALL BEGIN W/ FULL PANELS ABOVE/BELOW OPENING HEAD ELEVATION (9'-4")  
CONTACT: MATT STEPHENSON mstephenson@nichha.com, (770)-805-9466 or (770)-789-6228

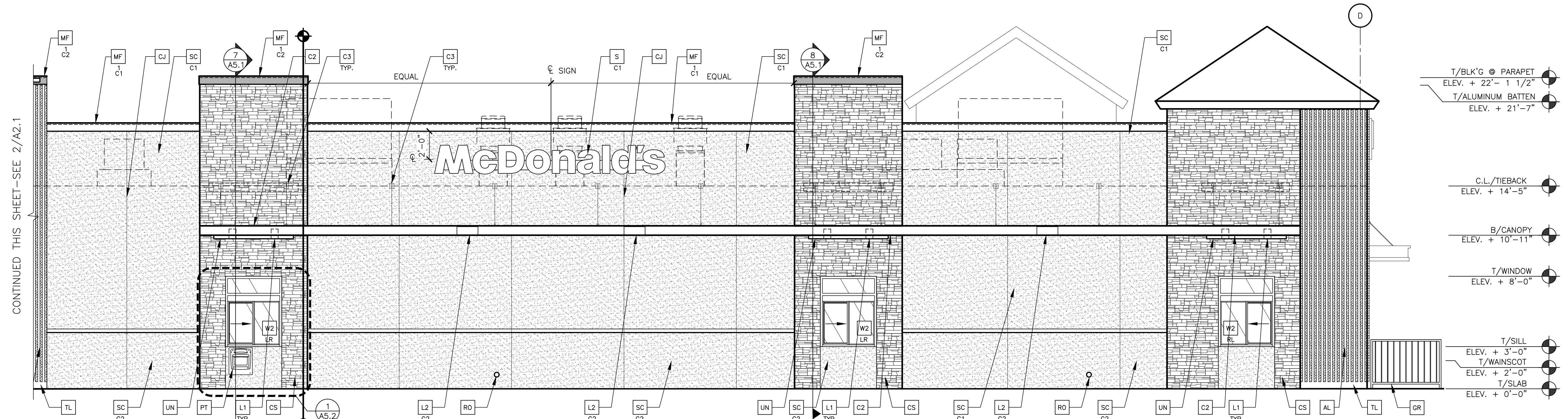
PREPARED BY: CORE STATES GROUP  
4240 East Juniper Street, Suite 402, Los Angeles, CA 90023  
Site: 04-5010.00  
DATE: 03/05/2021  
C.S.G. PROJECT # MCD.26879

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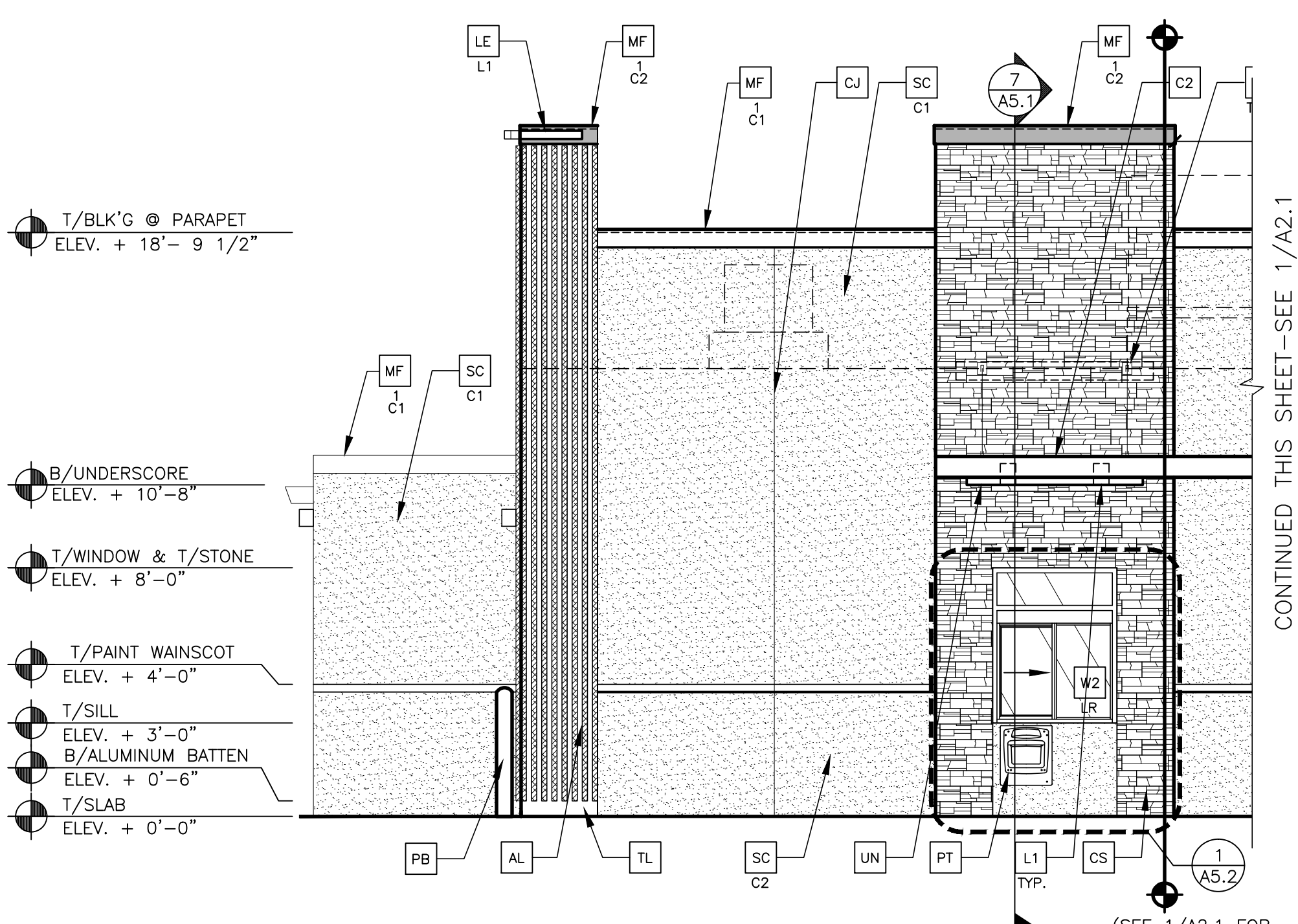
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2	03/05/2021	M.PELINI	ISSUED FOR PERMIT
3	03/05/2021	M.PELINI	ISSUED FOR PERMIT

TITLE: 2017 STANDARD BUILDING - BB20  
SHEET NO: 4597 - WOOD/WOOD  
DESCRIPTION: WOOD BEARING WALLS W/HAROE EXTERIOR FINISH WOOD ROOF TRUSS FRAMING BATTEN/STUCCO WITH STONE ACCENT EXTERIOR  
SITE ID: 004-5010  
SITE ADDRESS: 1070 LAUREL ROAD OAKLEY, CA 94621

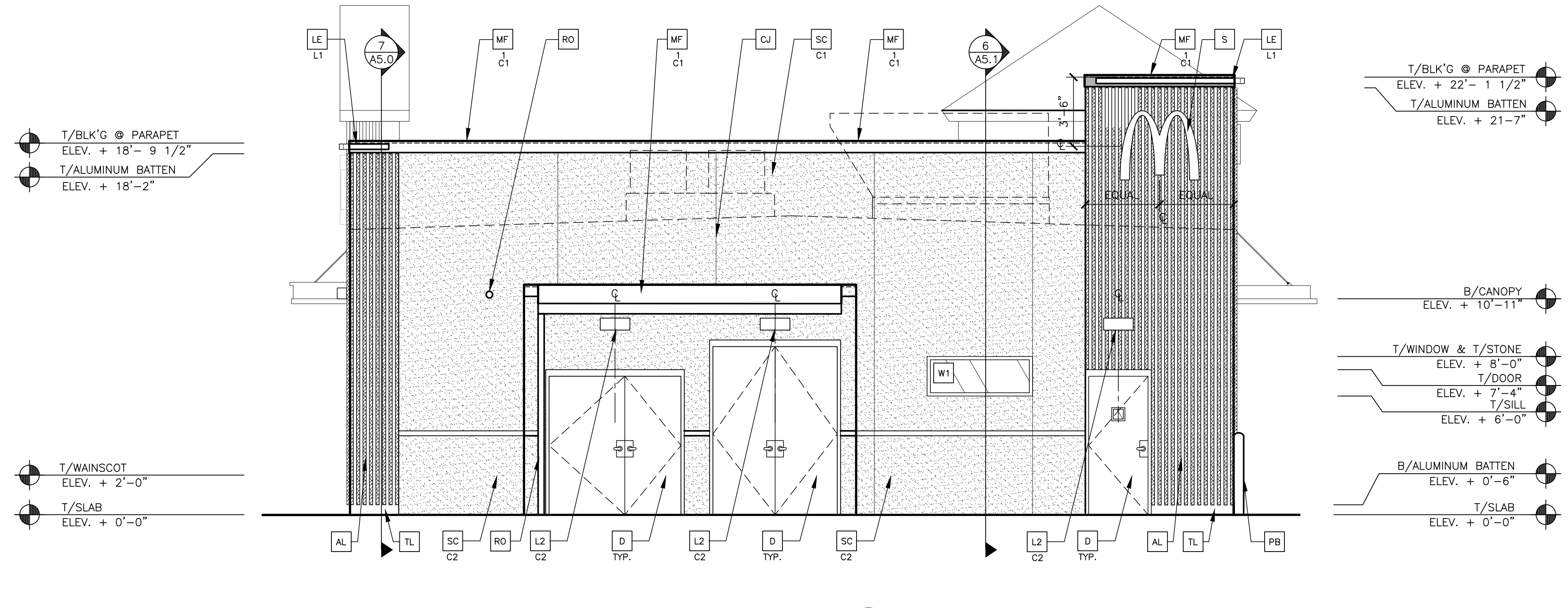
04-5010.00  
**A2.0**  
ELEVATIONS



1 DRIVE THRU ELEVATION (SOUTH)  
1/4" = 1'-0"



2 DRIVE THRU ELEVATION (CONT.)  
1/4" = 1'-0"



3 REAR ELEVATION (WEST)  
1/4" = 1'-0"

**KEY NOTES:**

- AL** ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES PRIOR TO INSTALLATION. SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP** ALPOLIC METAL PANEL (COLOR: RAL 7022)
- C1** ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2** ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3** ALUMINUM CANOPY TIEBACK  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS. WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
- CJ** CONTROL JOINT  
1-TYPE: 1 = STUCCO
- CS** OLD COUNTRY FIELDSTONE, COLOR: CHARDONNAY. BY CULTURED STONE. CONTACT: KEVIN REIDY, (717) 377-2746
- D** HOLLOW METAL DOOR  
"FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE** DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- FB** CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR** GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- L1** RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD
- L2** RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1= WHITE  
C2= PLATINUM SILVER
- LE** ACCENT LIGHTING - SEE ELECTRICAL  
L1-LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
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C1= WEATHERED ZINC  
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- PB** PIPE BOLLARD - PAINTED YELLOW
- PC** PRECAST CONCRETE SLOPED CAP  
COLOR: FOUNDATION
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MODEL: #WPT STD  
CALL 1-888-743-7435 TO ORDER
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1-COLOR:  
C1= WEATHERED ZINC RACEWAY  
C2= RAL 7022 RACEWAY
- SC** STUCCO  
C1-COLOR:  
C1 = "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE  
C2 = "NORTHWOOD BROWN" 1000 BY BENJAMIN MOORE
- ST** CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- TL** TILE (@ BASE OF BATTEN SYSTEM)  
EUROWEST: E-WOOD  
COLOR: R-9 BLACK, SIZE: 6"x24"  
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI  
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL  
GROUT WIDTH: 1/8" TO 3/16"  
CONTACT: JAN DETER, (714) 937-7500
- UN** METAL UNDERSCORE  
COLOR: GOLD
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE
- W2** DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE  
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SLIDE DIRECTION: RL = RIGHT TO LEFT  
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- WP** ARCHITECTURAL WALL PANELS BY NICHIAH  
VINTAGE WOOD, AWP-3030, COLOR: BARK.  
NOTE: PANEL PATTERN SHALL BEGIN W/ FULL PANELS ABOVE/BELOW OPENING HEAD ELEVATION (9'-4")  
CONTACT: MATT STEPHENSON mstephenson@nichiah.com, (770)-805-9466 or (770)-789-6228

McDonald's USA, LLC  
2017 STANDARD BUILDING - BB20  
4597 - WOOD/WOOD  
DESCRIPTION: WOOD BEARING WALLS W/HARDE EXTERIOR FINISH WOOD ROOF TRUSS FRAMING BATTEN/STUCCO WITH STONE ACCENT EXTERIOR  
SITE ID: 004-5010  
SITE ADDRESS: 1070 LAUREL ROAD OAKLEY, CA  
C.S.G. PROJECT # MCD.26879

PREPARED FOR: McDonald's USA, LLC  
DRAWN BY: B.ARDALLA  
STD ISSUE DATE: 2018\_10  
REVIEWED BY: M.PELINI  
DATE ISSUED: 03/05/2021  
C.S.G. PROJECT # MCD.26879

PREPARED FOR: McDonald's USA, LLC  
DRAWN BY: B.ARDALLA  
STD ISSUE DATE: 2018\_10  
REVIEWED BY: M.PELINI  
DATE ISSUED: 03/05/2021  
C.S.G. PROJECT # MCD.26879

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4240 East Juniper Street, Suite 402, CA 94511  
www.corestates.com

PROFESSIONAL ENGINEER  
34312  
STATE OF CALIFORNIA  
06/22/2020

DATE: \_\_\_\_\_  
REV: \_\_\_\_\_  
BY: \_\_\_\_\_

004-5010.00  
**A2.1**  
ELEVATIONS





Front Elevation

Rear Elevation

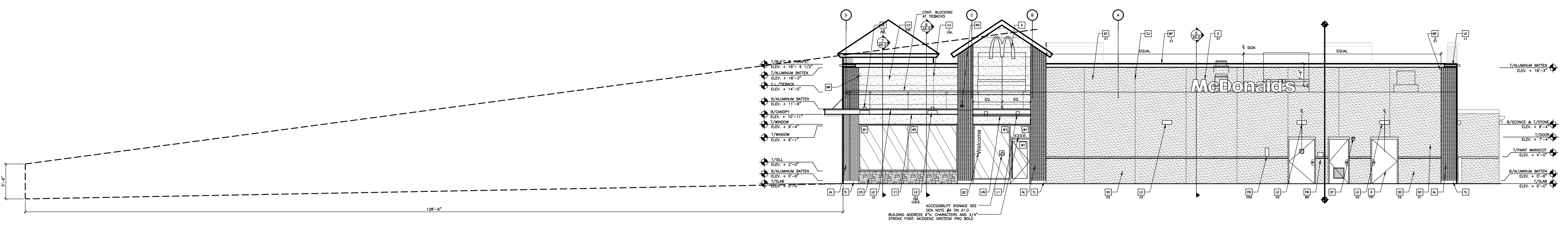
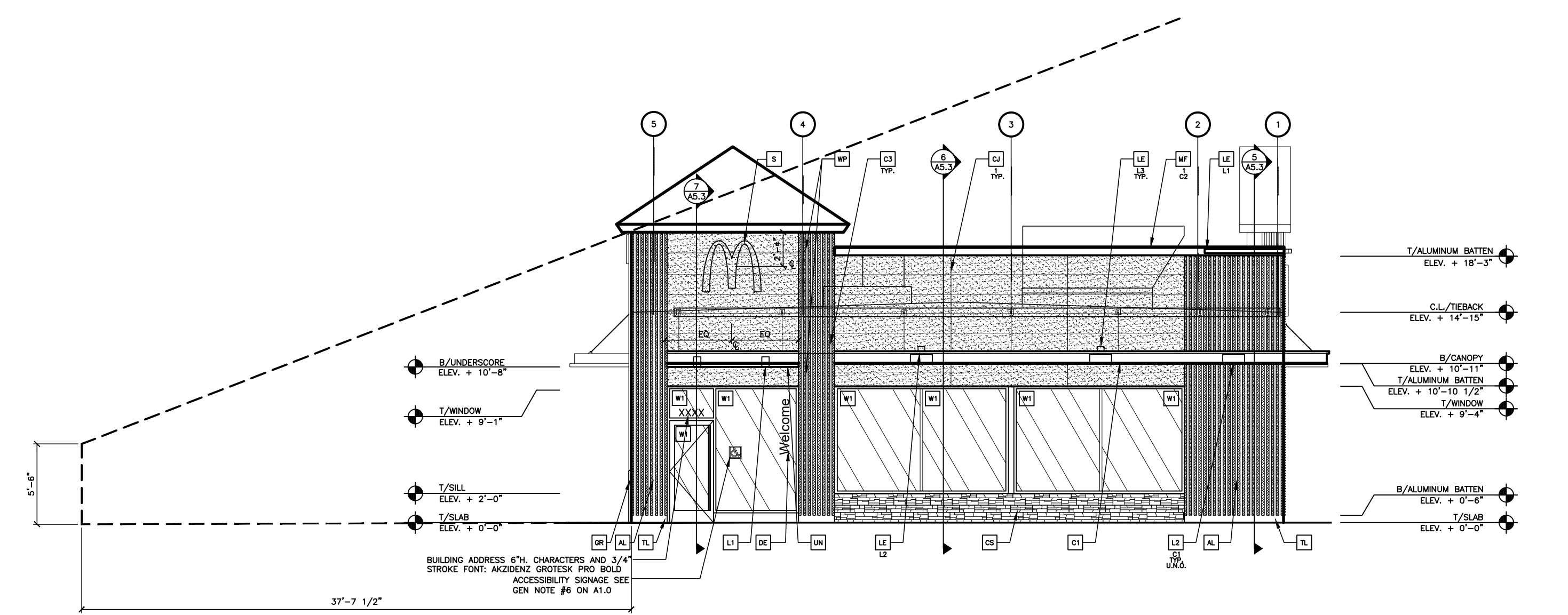


Non-Drive-Thru Side Elevation

Materials Legend	
	Stucco (Main Building) "Fairview Taupe" by Benjamin Moore
	Stucco (Wall Accent) "Northwood Brown" by Benjamin Moore
	Old Country Fieldstone (Wall Accent) "Chardonnay" by Cultured Stone
	Wall Panel (Accent) "Bark" Vintage Wood by Nichiha
	Exterior Window Assembly "Dark Bronze"
	Glazing (Windows & Storefront) 1" Insulated Clear Glass
	Metal Fascia "RAL 7022"
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Underscore (Prefinished) "Gold"
	Cornice "Weathered Zinc"
	Paint "Fairview Taupe" by Benjamin Moore
	Aluminum Canopy (Prefinished Metal) "RAL 7022"
	Battens (Aluminum) B+N Industries Color: Wood Grain
	Standing Seam Metal Roof "RAL 7022"
	Tile at Base of Batten Eurowest E-Wod R-9 black



Drive-Thru Side Elevation



ACCESSIBILITY SIGNAGE SEE GEN NOTE #6 ON A1.0  
 BUILDING ADDRESS 6" H, CHARACTERS AND 3/4" STROKE FONT: AKZDENZ GROTESK PRO BOLD

