

WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)

PRELIMINARY CIVIL ENGINEERING PLANS

1082 E. MAIN STREET
OAKLEY, CA

MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
1082 E. MAIN STREET
OAKLEY, CA

NO.	DATE	REVISION DESCRIPTION	BY	KMP
1	07/15/2021	PER CITY COMMENTS - 5/24/2021		
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021		

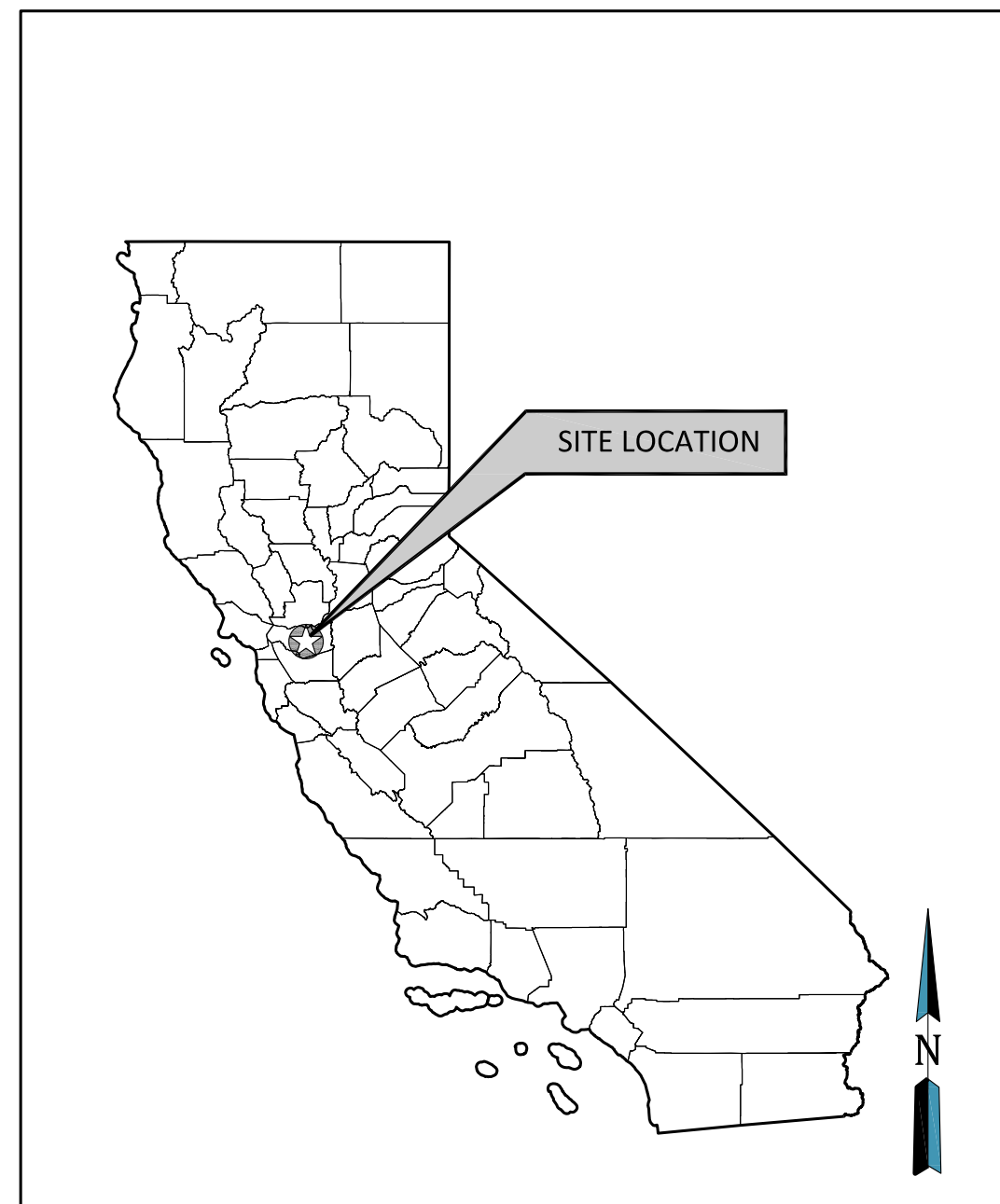
DESIGNED BY: KMP
REVIEWED BY: BP
DATE: 04/09/2021
PRJ# 5325-300-32-01

Weaver Consultants Group
OFFICE LOCATION:
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1316 BOND STREET, SUITE 108
NAPERVILLE, ILLINOIS 60563
(630) 717-4848
wcgrp.com

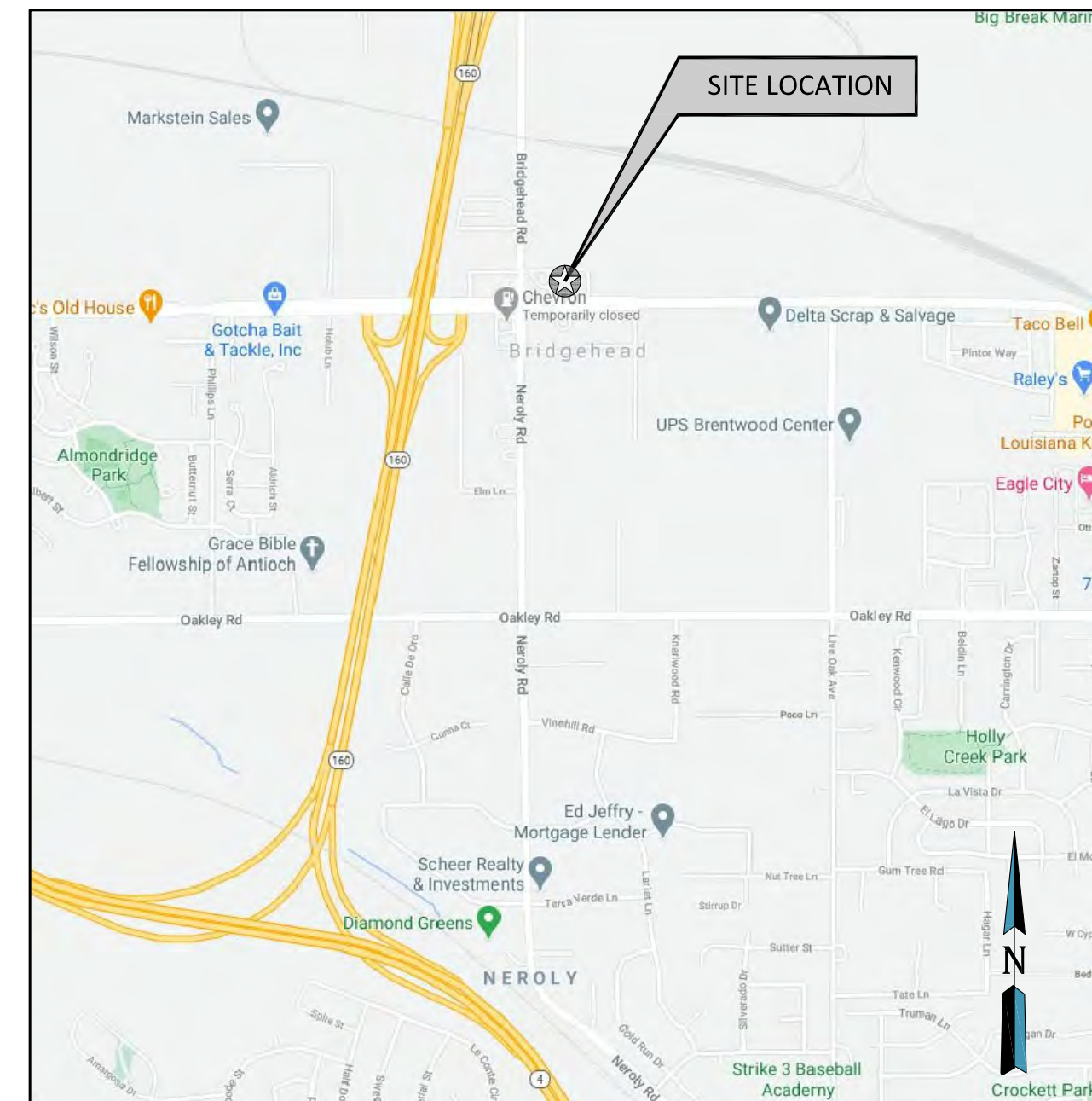
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SHEET #:

C-1



STATE OF CALIFORNIA - CONTRA COSTA COUNTY
NOT TO SCALE



SITE LOCATION KEY
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SHEET INDEX	
SHEET NO.	SHEET NAME
C-1	COVER SHEET
C-2	SPECIFICATIONS & LEGENDS
C-3	EX COND & DEMO PLAN
C-4	GEOMETRIC PLAN
C-5	GRADING & STM WATER PLAN
C-5.1	PRELIM. STORMWATER CONTROL PLAN
C-6	ACCESSIBILITY PLAN
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C-10	PROJECT DETAILS 1
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P-1	PHOTOMETRIC PLAN
T-1	TRUCK CIRCULATION PLAN
L-1	LANDSCAPE PLAN

DESIGN TEAM CONTACT INFORMATION

ROGUE ARCHITECTURE
513 MAIN STREET #300,
FORT WORTH, TX 76102
817.820.0433

**CIVIL ENGINEER
LANDSCAPE ARCHITECT**

Weaver Consultants Group

LAND SURVEYOR
COOK SURVEYING & ASSOCIATES, LLC
331 S. RIO GRANDE STREET SUITE 320
SALT LAKE CITY, UTAH 84101
901-364-4051

CITY & UTILITY CONTACT INFORMATION

CITY OF OAKLEY
3231 MAIN STREET
OAKLEY, CA 94561
ZONING ADMINISTRATOR:
ARIANA RUIZE
925-625-7000
REVIEW ENGINEER:
BILLILEE SAENGCHALERN, P.E., T.E.
925-625-7154

AT&T ROW MANAGER
ED BEYER
650-575-2405

PG&E
P.O. BOX 997300
SACRAMENTO, CA 95899-7300
1-800-PGE-5000

DIABLO WATER DISTRICT
P.O. BOX 127
87 CAROL LANE
OAKLEY, CA 94561
925-625-0588

IRONHOUSE SANITARY DISTRICT
P.O. BOX 1105
OAKLEY, CA 94561
925.809.3003

OWNER INFORMATION:
NICK DHILLON
2937 BAILEY WAY
SAN RAMON, CA 94582
925-365-1375

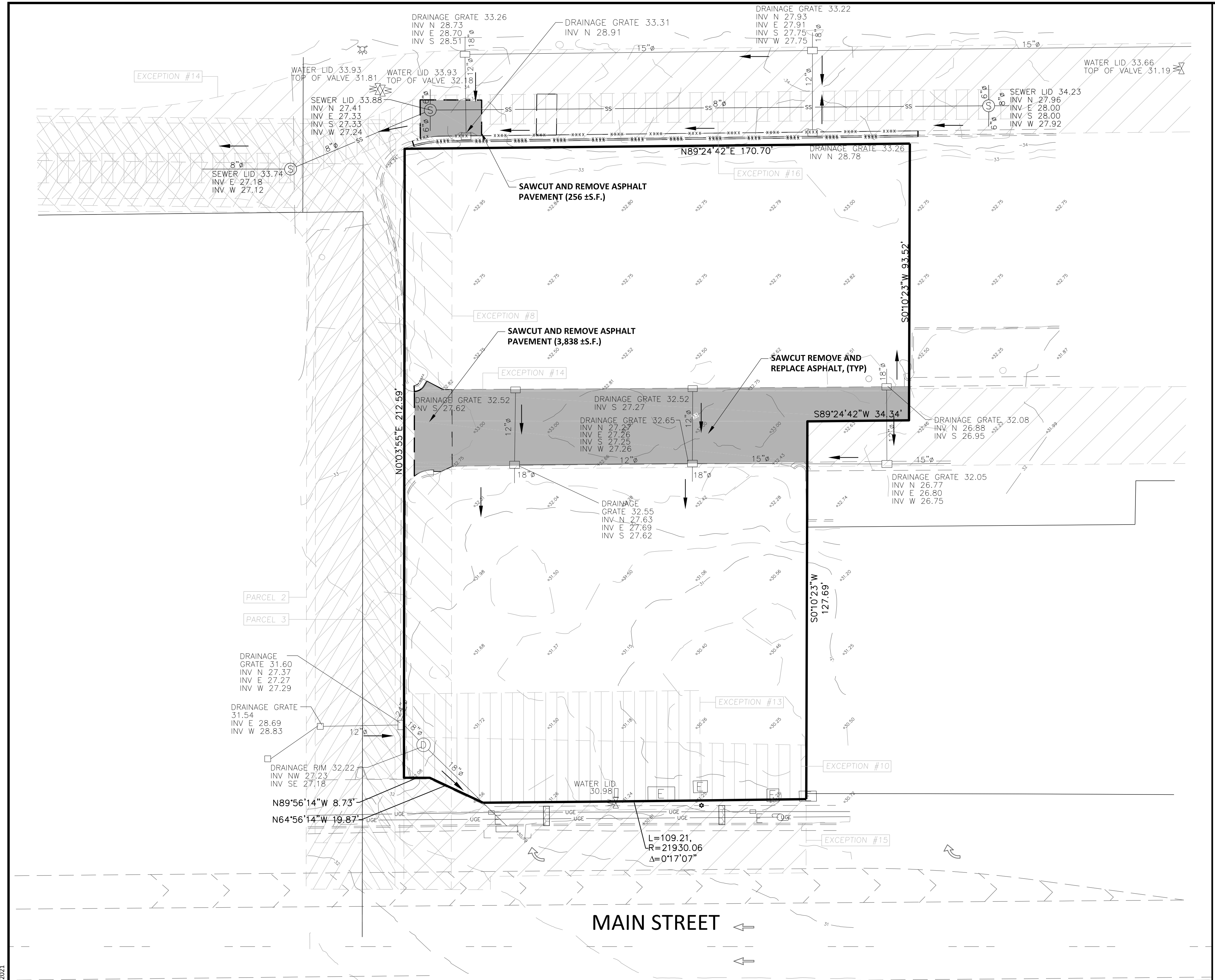
APPLICANT INFORMATION:
WEAVER CONSULTANTS GROUP
1316 BOND ST. SUITE 108
NAPERVILLE, IL 60563
630-717-4848

SURVEY INFORMATION:
ALTA/ACSM LAND TITLE SURVEY TOPOGRAPHY
COOK SURVEYING & ASSOCIATES
801-364-4051
SURVEY DATE: 10/20
SURVEY NUMBER: 20-10-144

NOTE: CONTRACTOR(S) TO VERIFY THEY HAVE THE CURRENT PLAN SET PRIOR TO CONSTRUCTION.

Call **811** or Click Before you Dig.
It's a Free Service

F:\PROJECTS\5325 - Dependable Foods\300 - Oakley CA\32\Draw\5325-300-32-01.dwg\VC\Gov\985\amrcc\December 8, 2021



DEMOLITION - KEY LEGEND

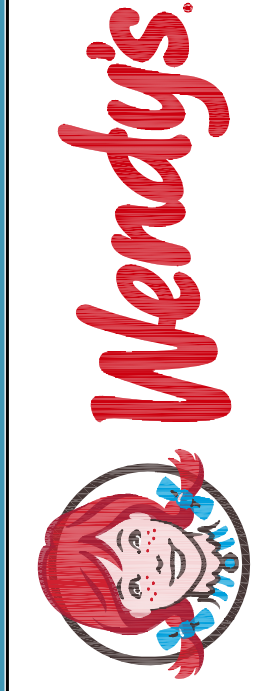
SYMBOL	DESCRIPTION
	REMOVE ASPHALT
	REMOVE CONCRETE
	REMOVE CURB
	REMOVE ITEM
	REMOVE ITEM

MUNICIPAL/AGENCY APPROVAL STAMP

SPECIFICATIONS - DEMOLITION

- PERMITS:** CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS PRIOR TO DEMOLITION.
- EROSION CONTROL MEASURES:** CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN INCLUDING, BUT NOT LIMITED TO, PERIMETER SILT FENCE AND INLET PROTECTION, PRIOR TO THE START OF DEMOLITION.
- STRIPPING AND DEBRIS REMOVAL:** THE BUILDING PAD SITES, AREAS TO BE PAVED, AND ALL AREAS THAT ARE TO RECEIVE FILL MATERIAL SHALL BE STRIPPED OF VEGETATION, TREES, ROOTS, STUMPS, DEBRIS, AND OTHER ORGANIC MATERIAL. STRIPPED TOPSOIL SHALL BE STOCKPILED IN A LOCATION ON-SITE APPROVED BY THE DEVELOPER IF IT HAS BEEN DETERMINED THAT IT CAN BE RE-USED ON THE SITE. ALL TREES INCLUDING STUMPS AND ROOT SYSTEMS, VEGETATION, DEBRIS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OFF-SITE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL OF MATERIAL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- BURNING:** BURNING SHALL NOT BE PERMITTED ON THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.
- EXISTING UTILITIES:** ALL EXISTING UTILITIES ARE TO BE PROTECTED UNLESS OTHERWISE NOTED OR AGREED TO BY THE OWNER AND ENGINEER. ALL EXISTING UTILITIES THAT ARE NOTED TO BE REMOVED SHALL BE CAPPED AND REMOVED AS INDICATED AFTER EXISTING LINES ARE TAKEN OUT OF SERVICE AND UTILITY COMPANY APPROVALS ARE OBTAINED. EXISTING UTILITIES THAT ARE NOTED TO BE ABANDONED SHALL BE FILLED OR CRUSHED TO AVOID FUTURE PIPE FAILURE.
- RE-USE OF EXISTING MATERIALS:** CONTRACTOR SHALL RE-USE EXISTING MATERIALS ON THE SITE FOR BACKFILL AND/OR SUB-GRADE ONLY IF APPROVAL IS OBTAINED IN WRITING FROM THE OWNER, ENGINEER AND GEOTECHNICAL ENGINEER. DURING BIDDING, CONTRACTOR SHALL NOT ASSUME THAT MATERIALS CAN BE RE-USED ON-SITE.
- PLUGGING EXISTING SANITARY SEWERS:** CONTRACTOR SHALL PLUG DOWNSTREAM END OF EXISTING SANITARY SEWER PRIOR TO DEMOLITION TO PREVENT STORMWATER AND DEBRIS FROM ENTERING THE SEWER.
- DRAINAGE:** POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT DEMOLITION. CONTRACTOR SHALL PLAN DEMOLITION IN STAGES TO PREVENT EXCESS PONDING OR BLOCKAGE OF DRAINAGE. ALL STORM SEWER OR FIELD TILES DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND/OR RECONNECTED BEFORE THE END OF THE WORKDAY.
- REMOVAL OF BELOW GRADE IMPROVEMENTS:** ANY BUILDINGS, FOUNDATIONS, WALLS, FOOTINGS, CONCRETE, ETC. THAT ARE SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTH UNLESS APPROVED BY THE OWNER AND ENGINEER.
- TREE PROTECTION:** CONTRACTOR SHALL FOLLOW THE TREE PROTECTION PLAN IF IT HAS BEEN PROVIDED AS A PART OF THIS CONSTRUCTION SET. ANY TREES REMOVED THAT WERE INDICATED TO BE PROTECTED SHALL BE REPLACED BY THE CONTRACTOR AND FINED ACCORDINGLY.

ALL UTILITIES TO BE PROTECTED IN PLACE, CONTRACTOR RESPONSIBLE TO REPLACE/ REPAIR ANY DAMAGES



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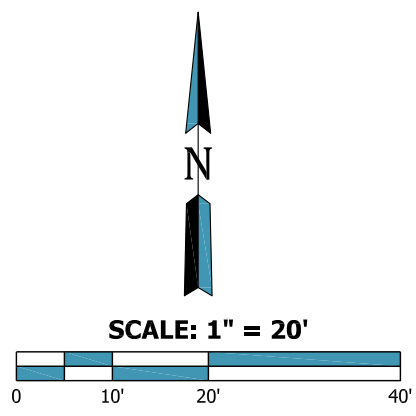
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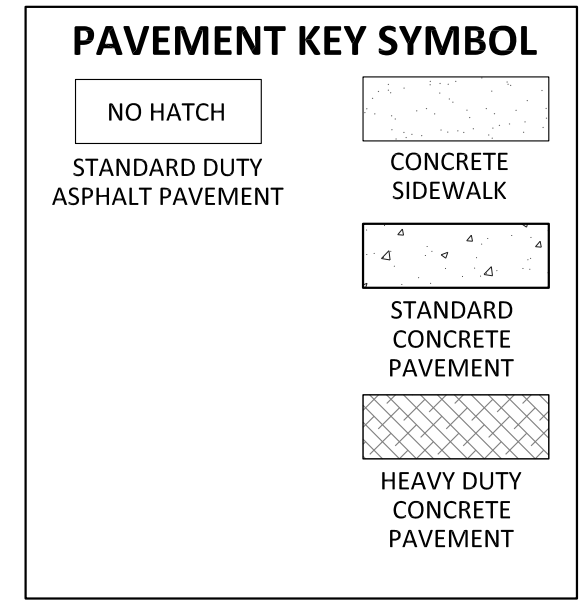
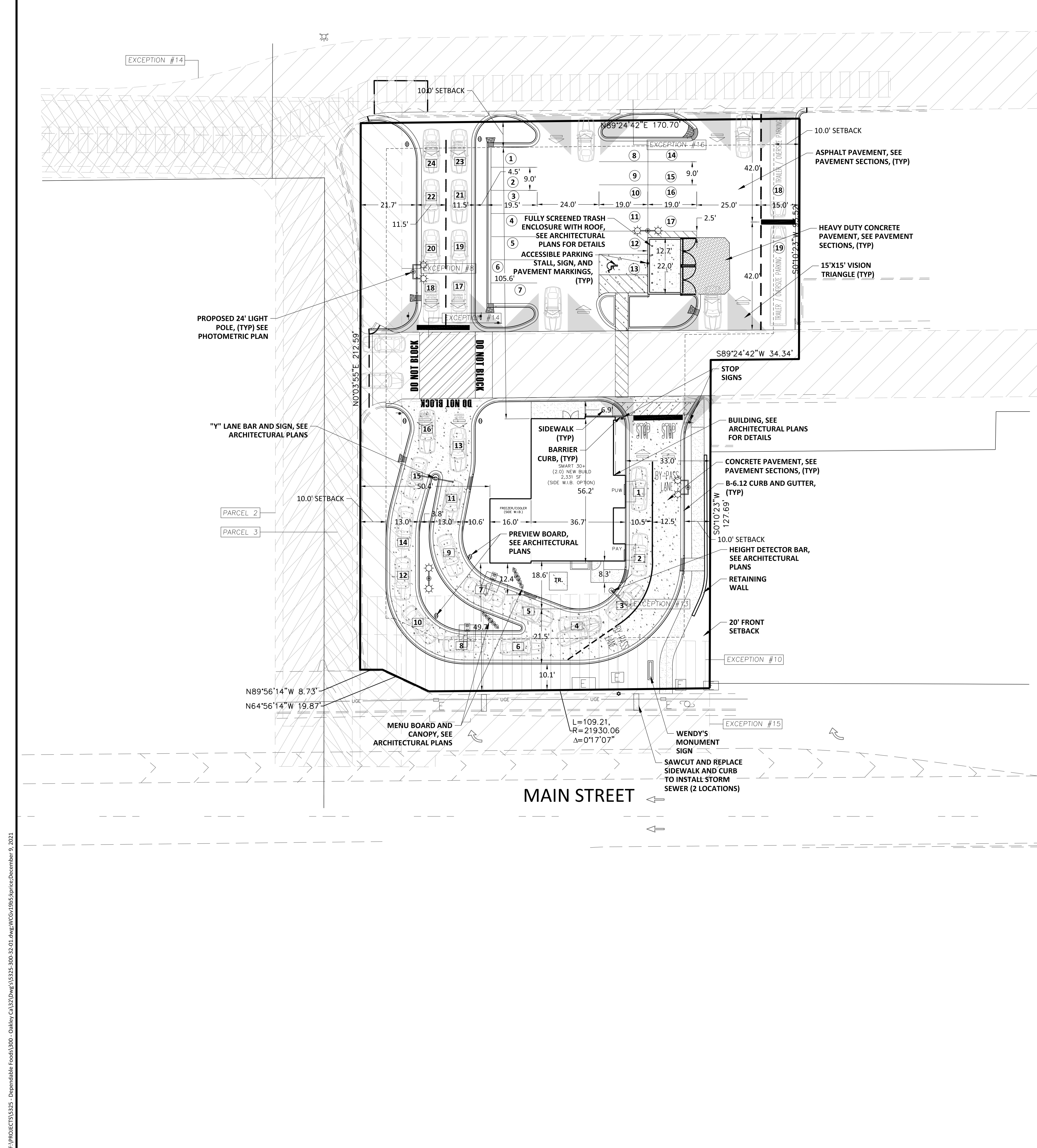
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C-3



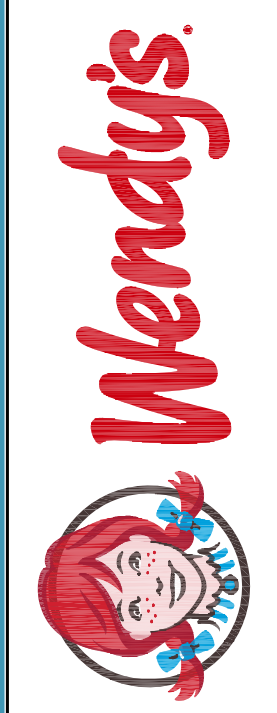
SITE DATA:

GP LAND USE DESIGNATION:	COMMERCIAL
SITE AREA	= 33,186 S.F.
BUILDING AREA	= 2,331 S.F.
NET PUBLIC AREA	= 990 S.F.
LOT COVERAGE	= 24,412 S.F.
PROPOSED PARKING STALLS	= 19 INCLUDES ADA STALLS
REQUIRED PARKING STALLS	= 15 1/150 SF OF NET PUBLIC AREA
1ST DRIVE THRU QUEUE	= 16 CARS
DRIVE THRU OVERFLOW QUEUE	= 8 CARS
TOTAL DRIVE THRU QUEUE	= 24 CARS

- ### SITE NOTES:
1. THE BASELINE FOR GEOMETRIC LAYOUT IS THE WESTERN PROPERTY LINE.
 2. ALL DIMENSIONS ARE TO THE BACK OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 3. ALL PARKING LOT STRIPING SHALL BE 4" WIDE YELLOW PAINT UNLESS OTHERWISE NOTED ON THE PLANS.
 4. ALL ITEMS NOTED ON PLANS REFER TO A PROPOSED CONDITION OR ITEM UNLESS OTHERWISE NOTED ON PLANS OR IDENTIFIED ON THE SURVEY.

FOR EXCEPTION 13 - RESTRICTIONS FOR ANY IMPROVEMENTS FOR THE RECORDED DOCUMENT 2004-242564, SECTION 2.11. THIS RESTRICTION WILL EXPIRE ON OCTOBER 14, 2023; 25 YEARS AFTER THE AGREEMENT.

MUNICIPAL/AGENCY APPROVAL STAMP

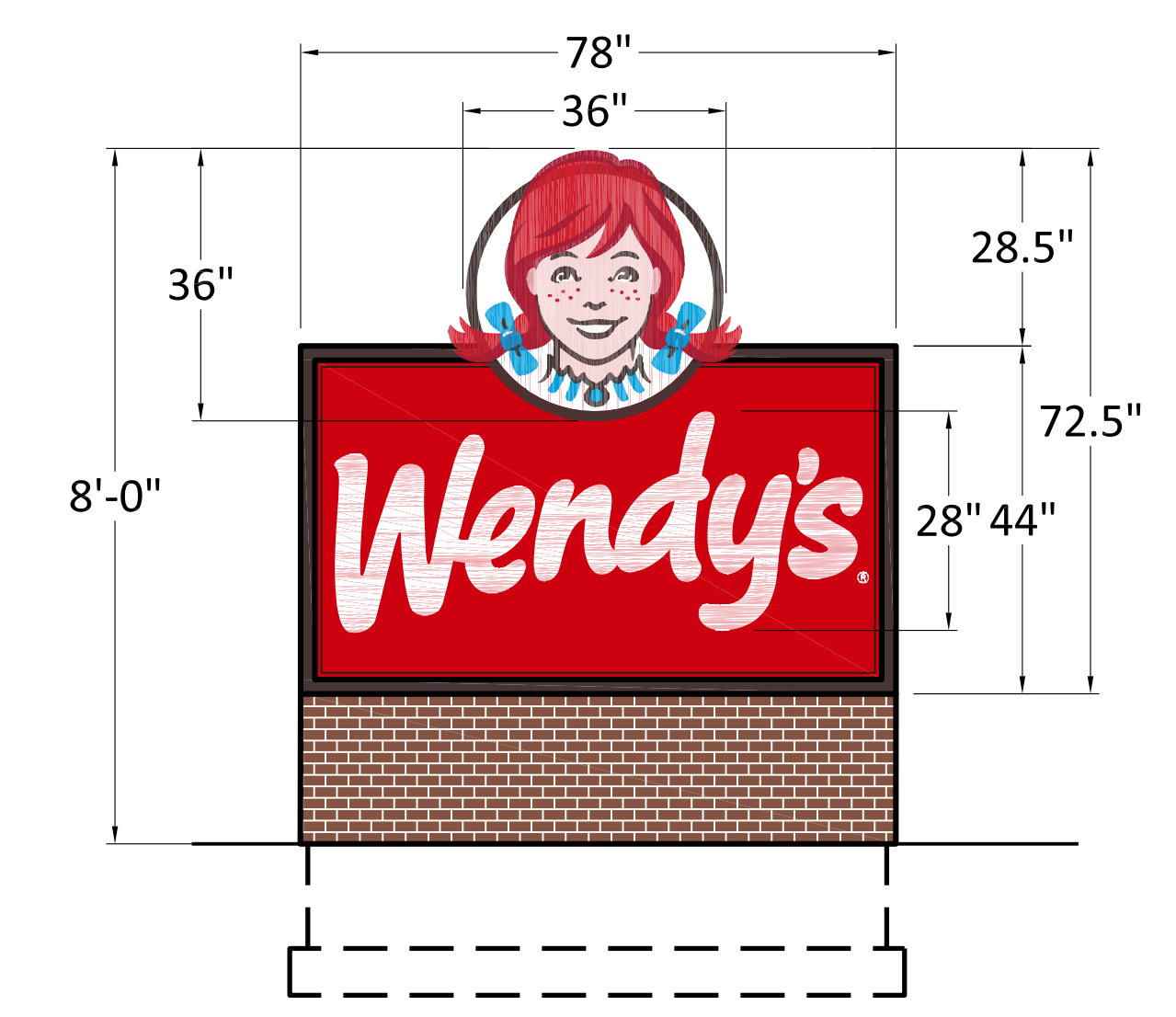


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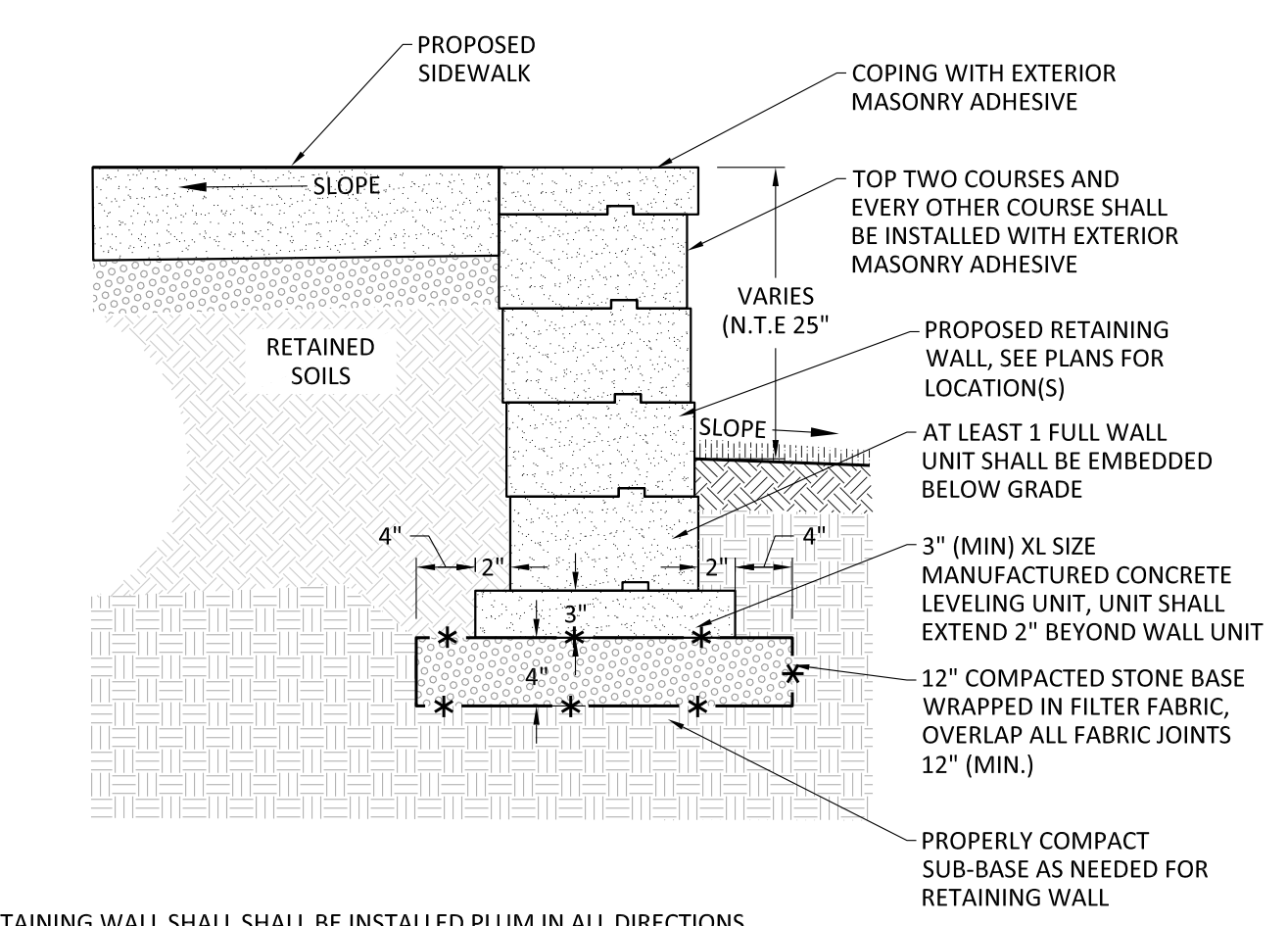
GEOMETRIC PLAN

NO.	DATE	REVISION DESCRIPTION	BY	APP.
1	09/16/2021	PER CITY COMMENTS - 5/24/2021	KMP	KMP
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021	KMP	KMP

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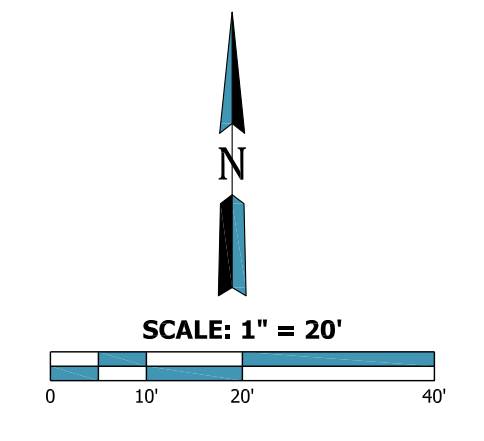


WENDY'S MONUMENT SIGN (WM-25)
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1. RETAINING WALL SHALL BE INSTALLED PLUMB IN ALL DIRECTIONS.
2. CONTRACTOR SHALL CONFIRM RETAINING WALL UNITS AND COPING MANUFACTURER, LAYING PATTERN, AND COLOR(S) WITH OWNER.
3. RETAINING WALL SHALL BE INSTALLED BY A CERTIFIED COMPANY AND CREW, CREW SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS.
4. CONTRACTOR IS RESPONSIBLE TO VERIFY SUB-BASE IS PROPERLY COMPACTED AND STRUCTURAL SOILS ARE ADEQUATE FOR SUPPORTING RETAINING WALL.
5. ALL RETAINING WALL COMPONENTS SHALL BE COMMERCIAL GRADE STRUCTURAL WALL UNITS.

RETAINING WALL - N.T.E. (NOT TO EXCEED) 25" IN HEIGHT
NOT TO SCALE



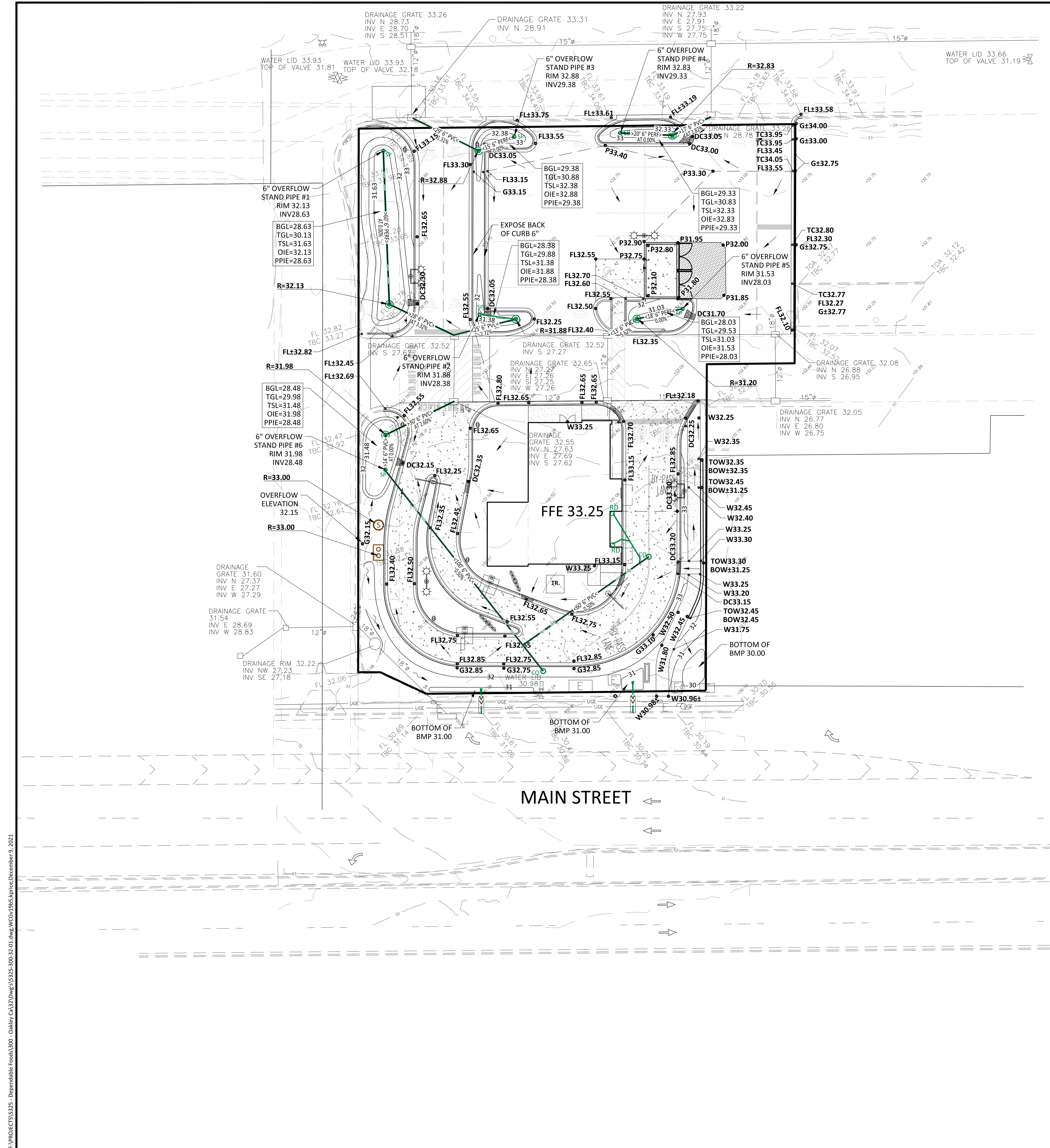
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GRADING NOTES:

- UNLESS OTHERWISE SPECIFIED, ADD 0.5' TO ALL FLOWLINE (FL) OR PAVEMENT (P) GRADES TO OBTAIN TOP OF CURB (TC) ELEVATION.
- CONTRACTOR TO MATCH EXISTING GRADE (ME) AT PERIMETER CONDITIONS. ALL GRADES SHOWN AS (+/-) HAVE BEEN INTERPRETED FROM THE SURVEY AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION OF ADJACENT IMPROVEMENTS.
- SEE ACCESSIBILITY PLAN FOR ADDITIONAL GRADES, DETAILS, AND REQUIREMENTS WITHIN THE ACCESSIBILITY AREAS.

STORMWATER DETENTION SUMMARY:

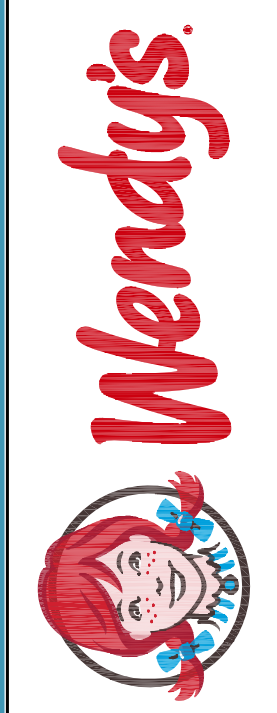
JURISDICTIONAL AUTHORITY IS: CITY OF OAKLEY
 STORMWATER DETENTION IS NOT REQUIRED FOR THIS SITE.
 BMP'S ARE REQUIRED FOR THIS SITE.

SITE AREA = 33,186 S.F.
 EXISTING PERVIOUS AREA = 29,055 S.F.
 PROPOSED PERVIOUS AREA = 8,663 S.F.
 NET PERVIOUS AREA = 20,392 S.F.

GRADING CALCULATIONS:

PROPOSED CUT = 530 C.Y.
 PROPOSED FILL = 133 C.Y.

MUNICIPAL/AGENCY APPROVAL STAMP



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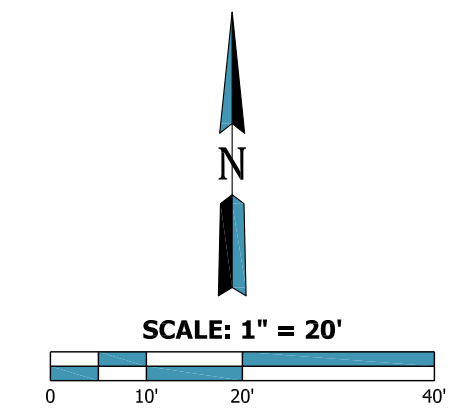
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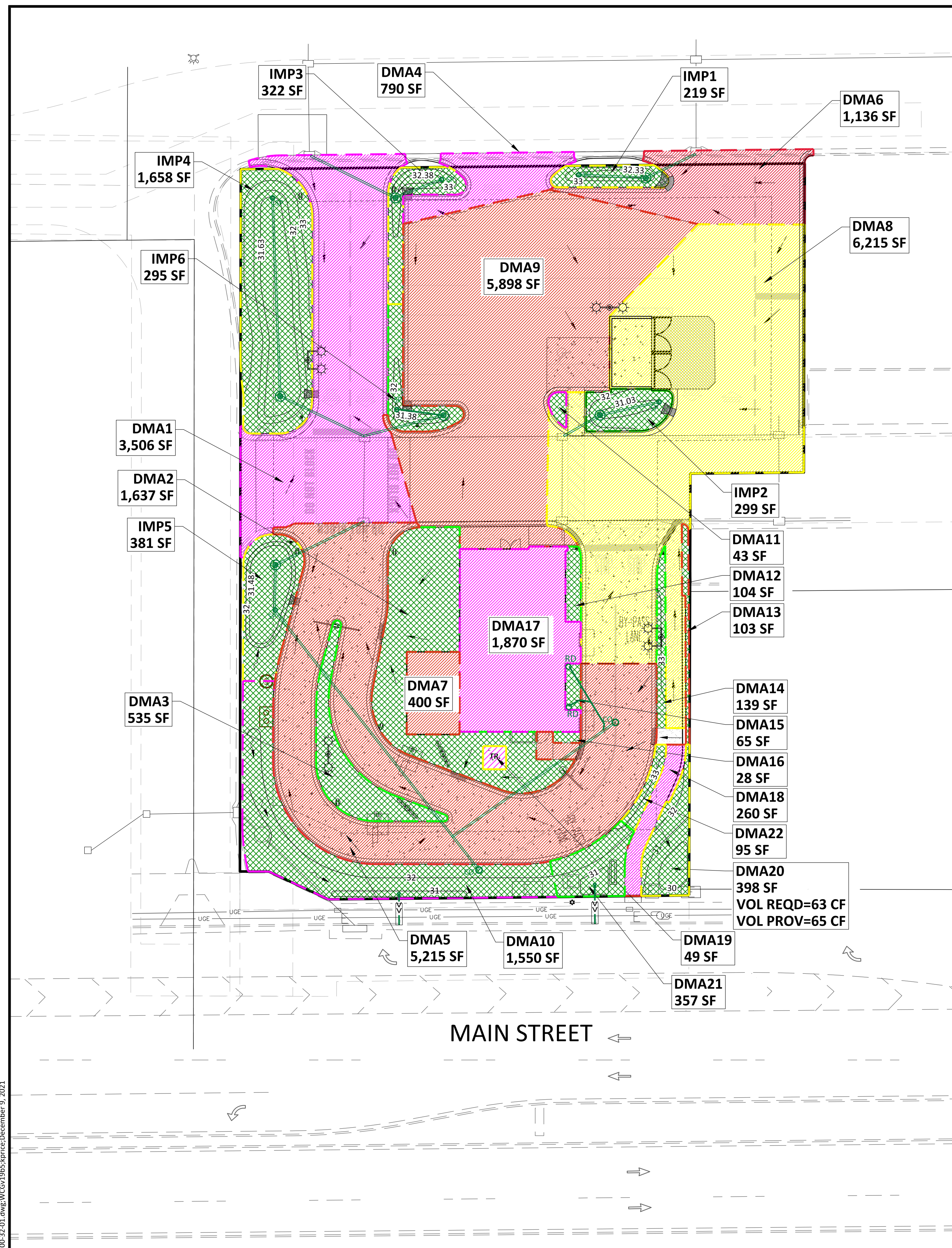
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SHEET #: C-5



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Project Name: Wendy's - Oakley CA
 Project Type: Treatment Only
 APN: 037-040-021
 Drainage Area: 34,065
 Mean Annual Precipitation: 12.5

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA19	1,500.0
DMA20	1,000.0
DMA21	397.0

II. Self-Retaining Areas

DMA Name	Area (sq ft)
DMA20	398

III. Areas Draining to Self-Retaining Areas

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self-Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
DMA19	280	Concrete or Asphalt	1.0	280.0	DMA20	398	0.65
DMA22	95	Landscape	0.1	9.5	DMA20	398	0.02

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Bioretention Facility
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA6	1,136	Concrete or Asphalt	1.00	1,136	0.040	1,000	45	219
Total				1,136				

IMP Name: IMP2
 IMP Type: Bioretention Facility
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA8	6,215	Asphalt	1.00	6,215	0.040	1,000	250	299
DMA11	43	Landscape	0.10	4.3				
DMA12	104	Landscape	0.10	10.4				
DMA14	139	Landscape	0.10	13.9				
Total				6,242				

IMP Name: IMP3
 IMP Type: Bioretention Facility
 Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA4	790	Concrete or Asphalt	1.00	790	0.040	1,000	32	322
Total				790				

IMP Name: IMP4
 IMP Type: Bioretention Facility
 Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1	3,506	Concrete or Asphalt	1.00	3,506	0.040	1,000	140	1,058
Total				3,506				

IMP Name: IMP5
 IMP Type: Bioretention Facility
 Soil Group: IMP5

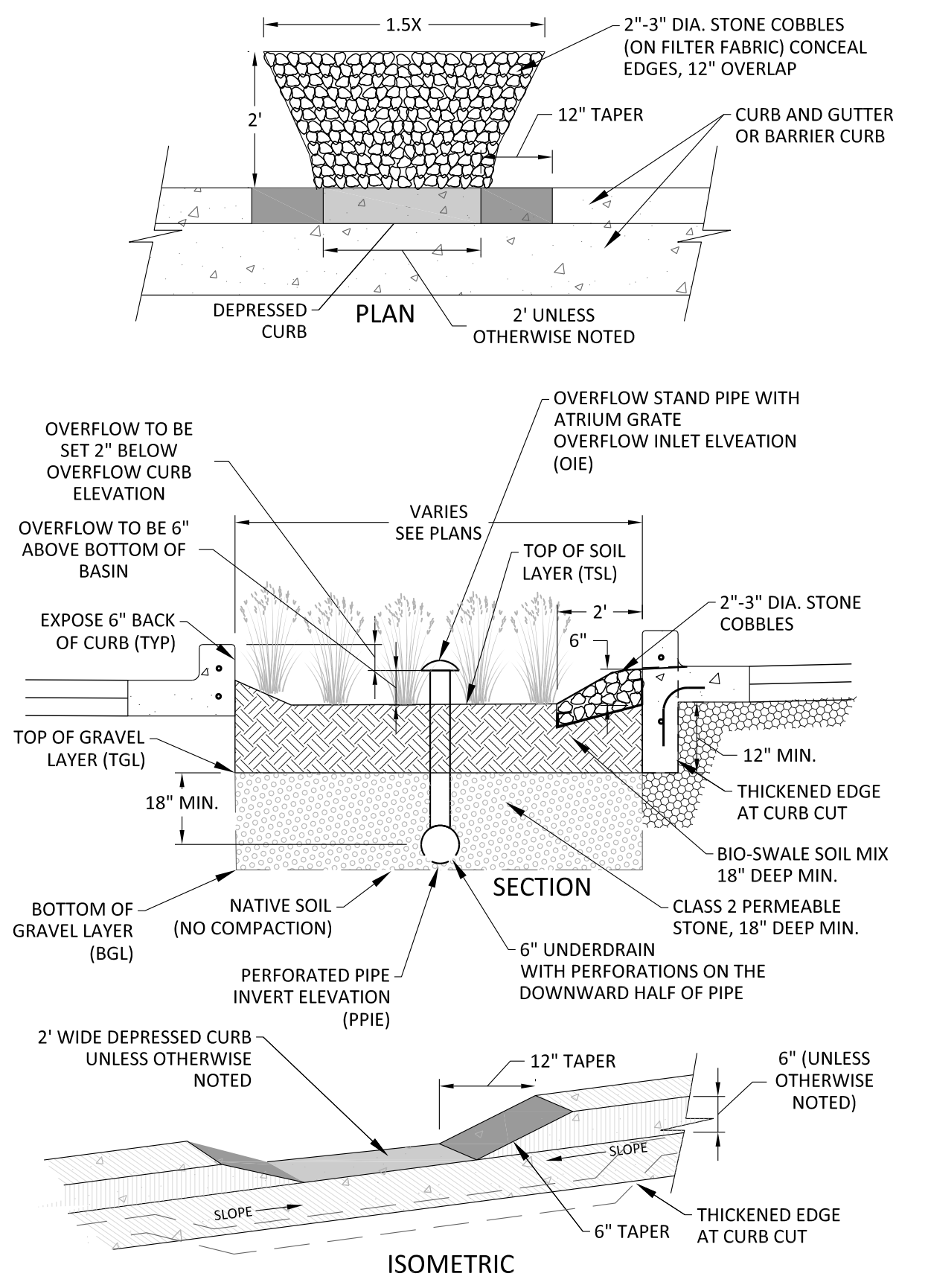
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA2	1,637	Landscape	0.10	163.7				
DMA3	535	Landscape	0.10	53.5				
DMA5	5,215	Concrete or Asphalt	1.00	5,215				
DMA7	400	Landscape	0.10	40.0				
DMA15	65	Landscape	0.10	6.5				
DMA16	28	Landscape	0.10	2.8				
DMA17	1,870	Conventional Roof	1.00	1,870				
Total				13,160				

DMA19: 49 Concrete or Asphalt, 1.00, 49
Total: 7,401 Area, 0.040, 1,000, 296, 391

IMP Name: IMP6
 IMP Type: Bioretention Facility
 Soil Group: IMP6

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA9	5,898	Concrete or Asphalt	1.00	5,898	0.040	1,000	235	205
Total				5,898				

Report generated on 12/8/2021 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



1. BIO-SWALE SOIL MIX TO CONFORM TO APPENDIX B OF THE LATEST EDITION OF THE C.3 GUIDEBOOK SPECIFICATIONS.
 2. SEE PLANS FOR LOCATIONS

BIO-RETENTION CROSS SECTION
 NOT TO SCALE

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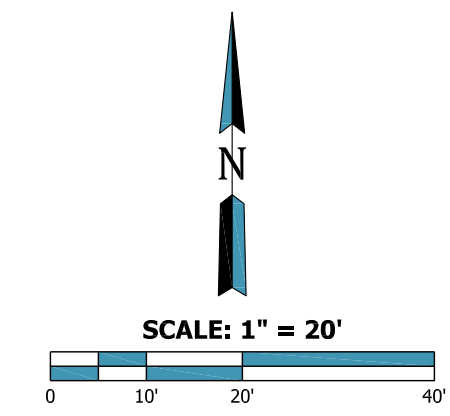
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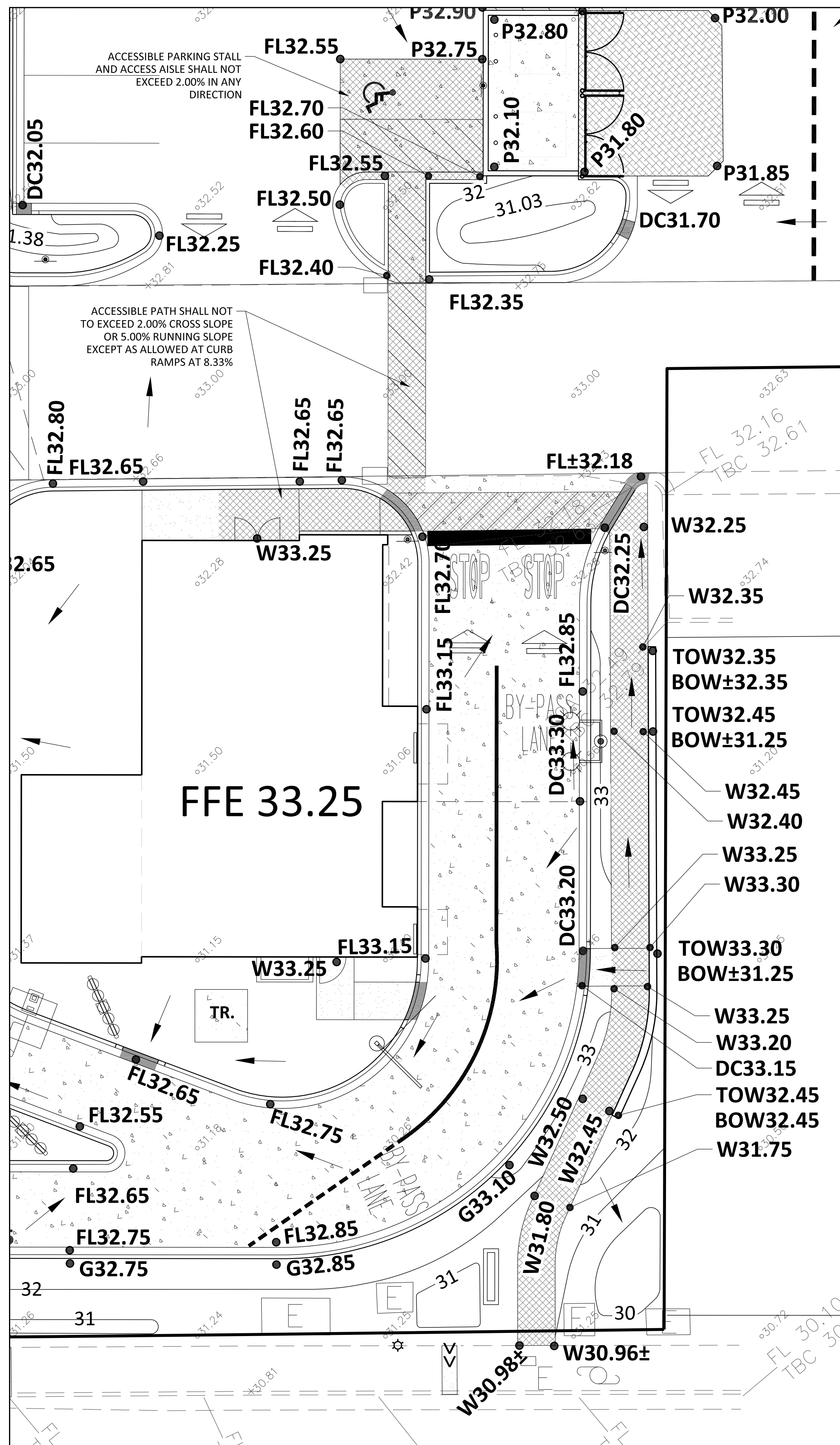
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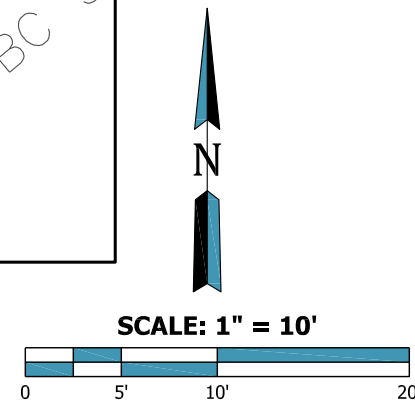
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ACCESSIBLE PATH ENLARGEMENT

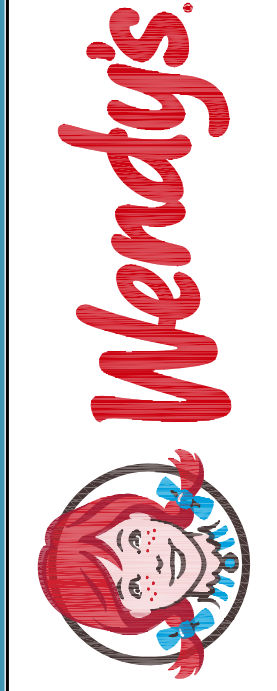


ACCESSIBILITY NOTES:

- THIS PLAN HAS BEEN INCLUDED FOR SPECIFIC GRADING WITHIN THE ACCESSIBILITY AREAS. SEE GRADING AND STORMWATER PLAN FOR ADDITIONAL GRADES THROUGHOUT THE SITE.

- SPECIFICATIONS - ACCESSIBILITY**
- STANDARDS AND SPECIFICATIONS:** THE CURRENT EDITION OF THE "CALIFORNIA BUILDING CODE" (CBC) AND "ADAAG" STANDARDS FOR ACCESSIBLE DESIGN SHALL GOVERN THIS WORK.
 - VERIFY SLOPES PRIOR TO CONSTRUCTION:** EXISTING GRADES HAVE BEEN INTERPOLATED BASED ON ELEVATIONS PROVIDED ON THE SURVEY. PROPOSED GRADES NEAR EXISTING OR RECENTLY CONSTRUCTED STRUCTURES (BUILDINGS, PAVEMENT, SIDEWALKS, ETC) MAY REQUIRE MODIFICATIONS IN ORDER TO ACHIEVE COMPLIANCE. PRIOR TO INSTALLATION OF ANY ACCESSIBLE ROUTES, THE CONTRACTOR SHALL VERIFY THE SLOPE OF THE SUB-GRADE AND CONCRETE FORMS FOR COMPLIANCE WITH THE MAXIMUM SLOPES ALLOWABLE. IF ANY SLOPES ARE GREATER THAN ALLOWABLE, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY TO RE-DESIGN THE ACCESSIBLE ROUTE.
 - DETECTABLE WARNINGS:** DETECTABLE WARNINGS ARE NOT REQUIRED ON PRIVATE PROPERTY UNLESS REQUIRED BY LOCAL REQUIREMENTS. DETECTABLE WARNINGS ARE REQUIRED IN THE PUBLIC RIGHT OF WAY AT STOP CONTROLLED INTERSECTIONS AND SHALL BE AN INTEGRAL PART OF THE RAMP. WARNINGS SHALL BE EAST JORDAN IRON WORKS (EIJW) SERIES 7005 CAST-IRON PLATE COLOR: BRICK RED, FEDERAL COLOR NO. 22144 OR APPROVED EQUAL.
 - ACCESSIBLE ROUTES:** AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREET AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. ACCESSIBLE ROUTES SHALL NOT HAVE A RUNNING SLOPE OF GREATER THAN 5.00% NOR A CROSS SLOPE OF GREATER THAN 2.00%.
 - CURB RAMPS:** CURB RAMPS MAY BE PROVIDED WHEN A SIDEWALK MEETS A CURB. CURB RAMP SLOPES SHALL NOT EXCEED A RUNNING SLOPE OF GREATER THAN 8.33% NOR A CROSS SLOPE OF GREATER THAN 2.00%. A LANDING NO SHORTER THAN 36" SHALL BE PROVIDED AT THE TOP OF A CURB RAMP.
 - ACCESSIBLE PARKING SPACES:** ACCESSIBLE PARKING SPACES SHALL BE PROVIDED AS SHOWN ON THE PLANS AND SHALL NOT HAVE A SLOPE THAT IS GREATER THAN 2% IN ANY DIRECTION. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY PROVIDING A PERMANENTLY MOUNTED SIGN. SEE DETAILS FOR STRIPING AND SIGN REQUIREMENTS.
 - RAMPS:** AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% IS CONSIDERED A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS INCLUDING HANDRAILS. SEE ARCHITECTURAL PLANS FOR RAMP DETAILS.

MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
1082 E. MAIN STREET
OAKLEY, CA

ACCESSIBILITY PLAN

NO.	DATE	REVISION DESCRIPTION
1	07/15/2021	PER CITY COMMENTS - 5/24/2021
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021

DESIGNED BY: KMP
REVIEWED BY: BP
DATE: 04/09/2021
PRJ# 5325-300-32-01

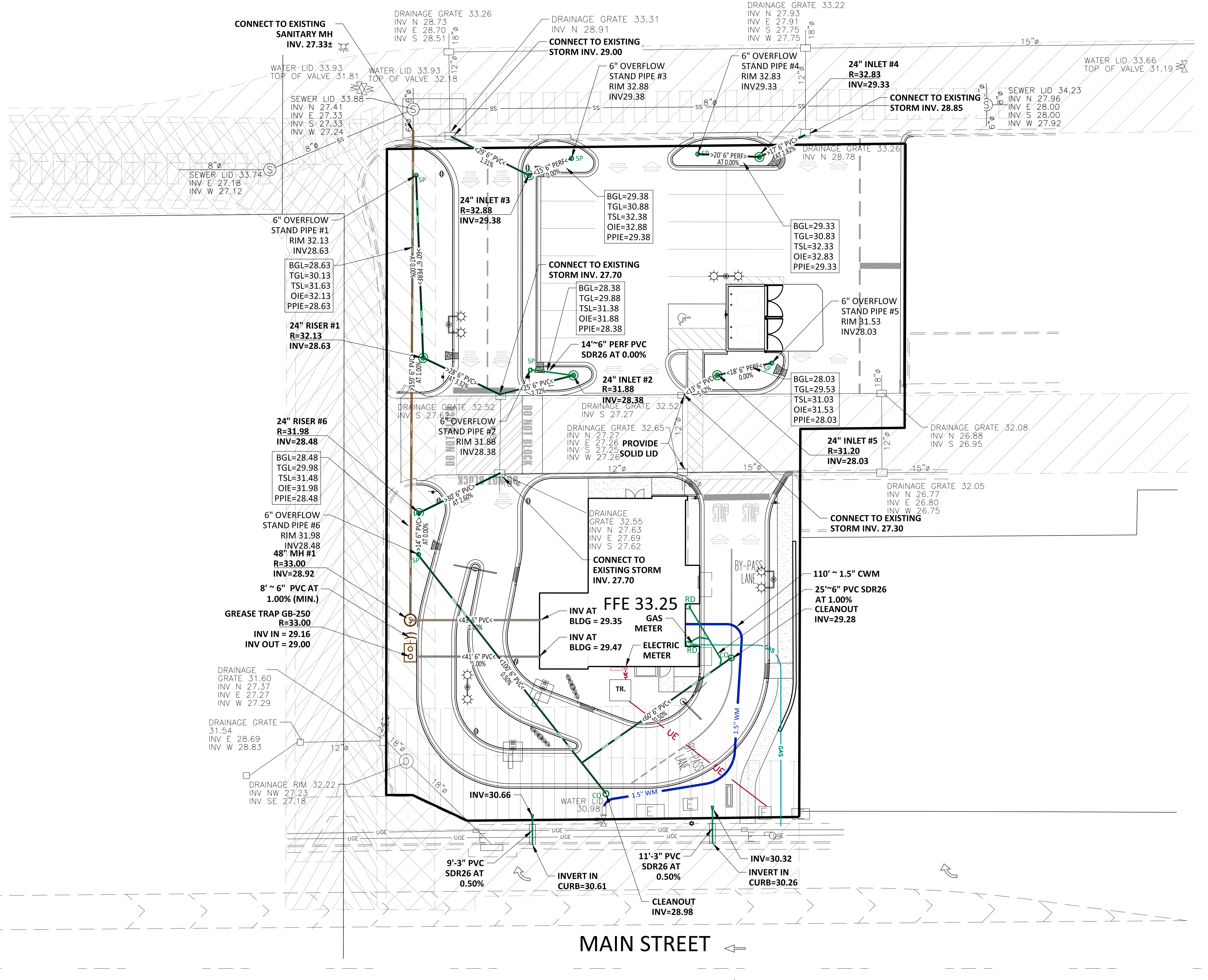
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UTILITY NOTES:

- CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS THAT THE UTILITIES AS THEY EXIT THE BUILDING ARE IN THE SAME LOCATION AS SHOWN ON THIS PLAN. NOTIFY THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES.
- GAS, TELEPHONE, AND ELECTRIC LOCATIONS SHALL BE COORDINATED WITH THE UTILITY COMPANIES PRIOR TO INSTALLATION. LINES SHOWN ON THIS PLAN ARE FOR BUDGETING AND GUIDANCE ONLY.

UTILITY LEGEND:

- RCP = REINFORCED CONCRETE PIPE
CLASS IV, ASTM C-76 PIPE, ASTM C-443 JOINTS
- RCPPM = REINFORCED CONCRETE PIPE
CLASS IV, ASTM C-76 PIPE, ASTM C-361 JOINTS
- PVC = POLYVINYL CHLORIDE PIPE
SDR26, ASTM D-3034 PIPE, ASTM D-3212 JOINTS
- PVCVM = POLYVINYL CHLORIDE PIPE
AWWA C900, OR AWWA C905 OR ASTM D-2241 PIPE, ASTM D-3139 JOINTS
- DIP = DUCTILE IRON PIPE
CLASS 52, CEMENT LINED, ANSI A21.51 PIPE, ANSI A21.11 JOINTS
- HDPE = HIGH DENSITY POLYETHYLENE PIPE
AASHTO M-294 (12"~60") AASHTO M-252 (3"~10")
- CWM = TYPE "K" COPPER WATERMAIN
ASTM B-88 AND ASTM B-251 WITH SWEATED JOINTS
- ESVCP = EXTRA STRENGTH VITRIFIED CLAY PIPE ASTM C-700 PIPE,
ASTM C-425 JOINTS.

STORM SEWER PIPE SIZING CALCULATION:

PROPOSED DEVELOPMENT CONNECTS TO THE EXISTING STORM SEWER WHICH WAS CONSTRUCTED AS A PART OF MS980016. THIS STORM SEWER CONNECTS DOWNSTREAM INTO THE EXISTING STORM SEWER ALONG THE NORTH SIDE OF MAIN STREET.

BIO-SWALES ARE PROPOSED ON-SITE TO PERCOLATE STORMWATER.

AREA=0.08 + 0.07 = 0.15 AC = 6,534 S.F.

INFILTRATION = 6IN/HR PER PERCOLATION TEST ON 7/19/2021

$$Q = \frac{(6,534 \text{ S.F.}) \times 6 \text{ IN} \times 1 \text{ FT} \times 1 \text{ HR} \times 1 \text{ MIN}}{12 \text{ IN} \times 60 \text{ MIN} \times 60 \text{ SEC}} = 0.9 \text{ CFS}$$

PROPOSED FLOW FROM SITE
Q=CIA

$$C = 0.9(0.63) + 0.1(0.08) + 0.45(0.07) = 0.78$$

C = 0.9 IMPERVIOUS (.63 AC)
C = 0.1 BIO-SWALE (.08 AC)
C = 0.45 GRASS (.07 AC)
I = 2.46 IN/HR (10 YR, 24 HR STORM)
A = 0.78 AC

$$Q = (0.78)(2.46)(0.78) = 1.50 \text{ CFS}$$

THEREFORE: 1.50 CFS - 0.90 CFS = 0.60 CFS GOING TO STORM SEWER

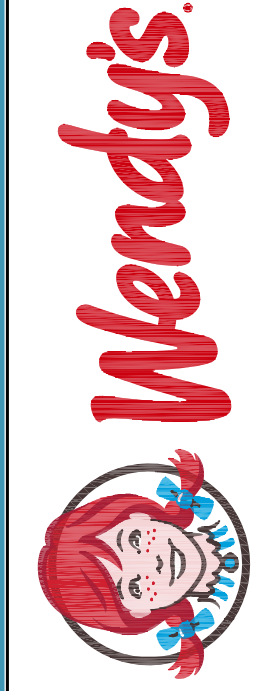
EXISTING 15" STORM SEWER RUNNING EAST/WEST THROUGH THE SITE AT 0.78%.

PIPE FLOWING FULL CAPACITY:
 $Q = 35.615 \times \left[\frac{D}{12} \right]^{2.63} \times S^{0.5}$

Q = 5.7 CFS

CAPACITY IN PIPE (5.7 CFS) IS MUCH GREATER THAN PROPOSED DEVELOPMENT 0.60 CFS

MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
1082 E. MAIN STREET
OAKLEY, CA

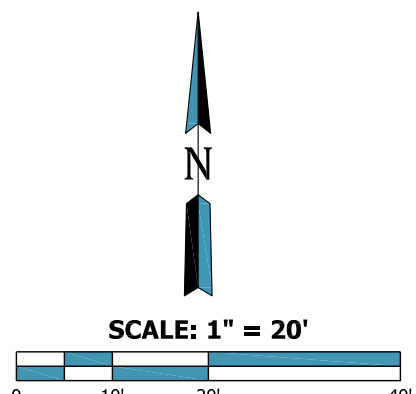
UTILITY PLAN

NO.	DATE	REVISION DESCRIPTION	BY	APP'D	CHK'D
1	9/15/2021	PER CITY COMMENTS - 5/24/2021			
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021			

DESIGNED BY: KMP
REVIEWED BY: BP
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Weaver Consultants Group

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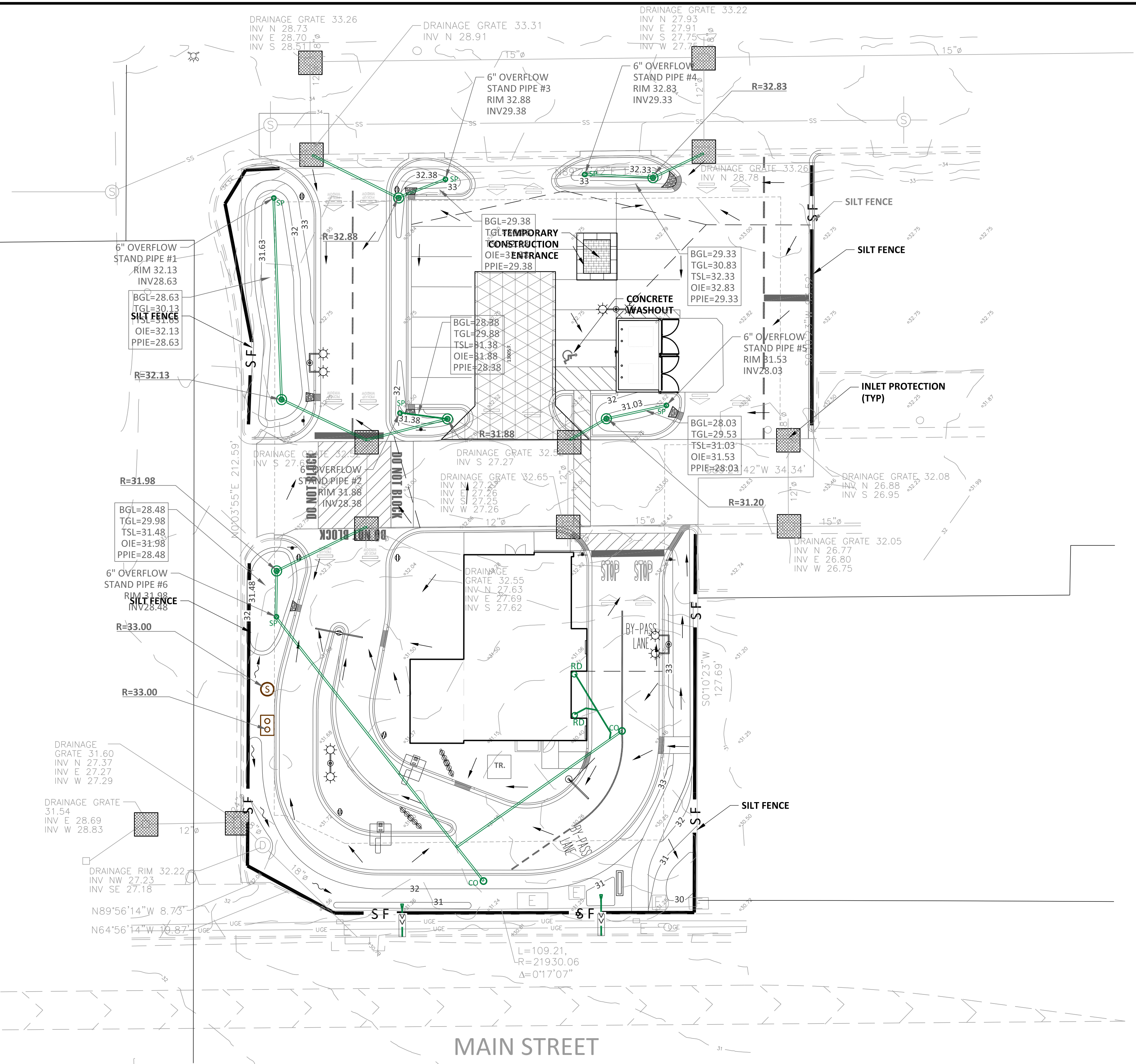


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MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
10827 E. MAIN STREET
OAKLEY, CA

SOIL EROSION CONTROL PLAN

NO.	DATE	REVISION DESCRIPTION	BY
1	07/15/2021	PER CITY COMMENTS - 5/24/2021	KMP
2	12/09/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021	KMP

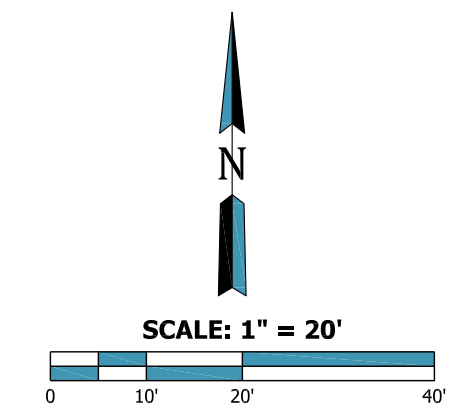
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PRJ# 5325-300-32-01

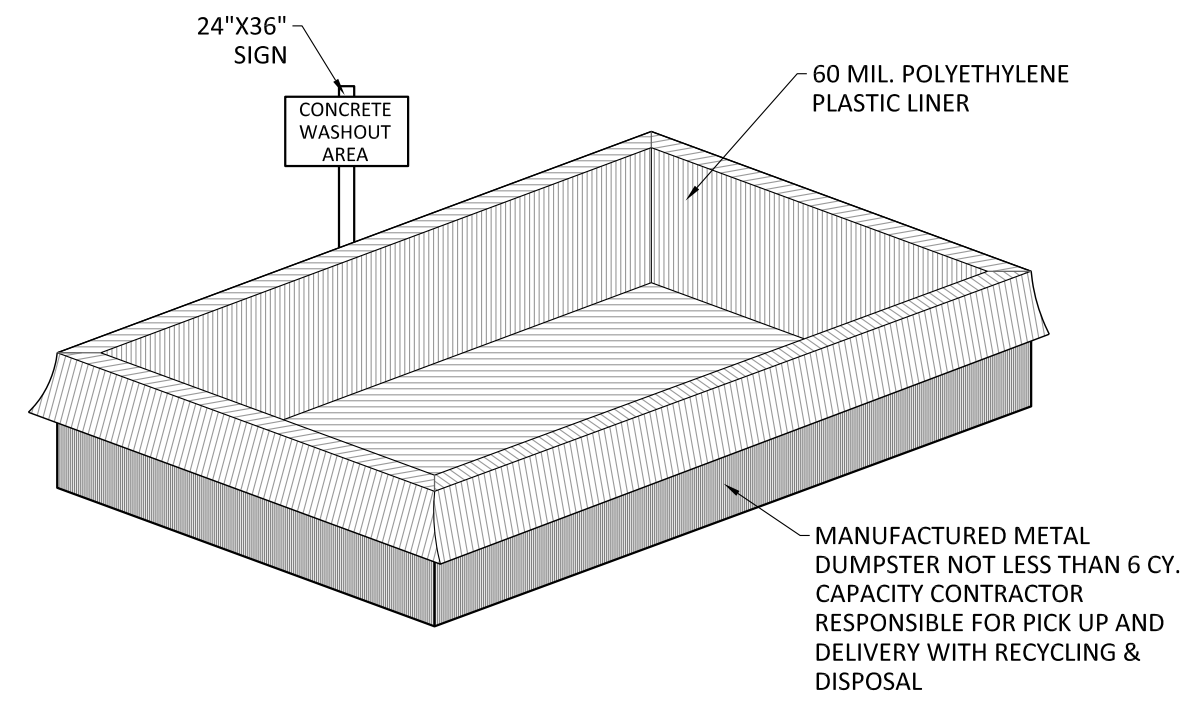


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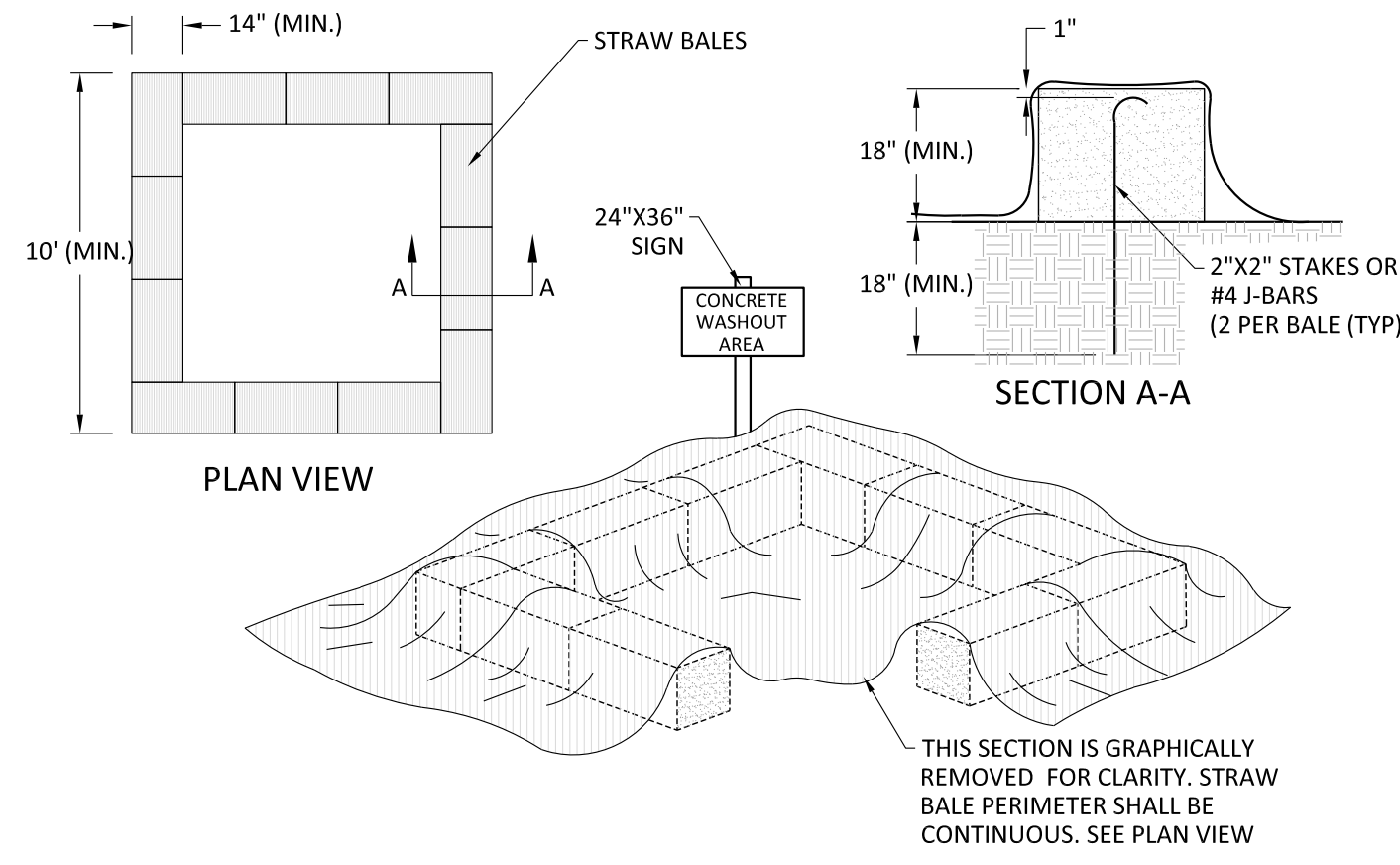




1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM NEAREST DRAINAGE INLET OR WATER COURSE.

CONCRETE WASHOUT IN DUMPSTER - OPTION

NOT TO SCALE



1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM NEAREST DRAINAGE INLET OR WATER COURSE.

CONCRETE WASHOUT

NOT TO SCALE

DESCRIPTION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY SEEDING				21ST						30TH		
OAT COVER CROP (90 LBS/AC.) (NOTE 2)				1ST		4TH						
WHEAT COVER CROP (90 LBS/ AC.) (NOTE 2)				1ST						30TH		
ANNUAL RYE COVER CROP (90 LBS. AC.) (NOTE 2)				1ST						30TH		

NOTE 1: CONTRACTOR TO COORDINATE WITH GROWER/ SUPPLIER TO ENSURE AVAILABILITY.
NOTE 2: COVER CROPS AS SHOWN MAY BE SUPERCEDED IN NATIVE SEED AREAS. SEE SPECIFICATION FOR NATIVE AREAS FOR SPECIFIC APPLICATIONS.

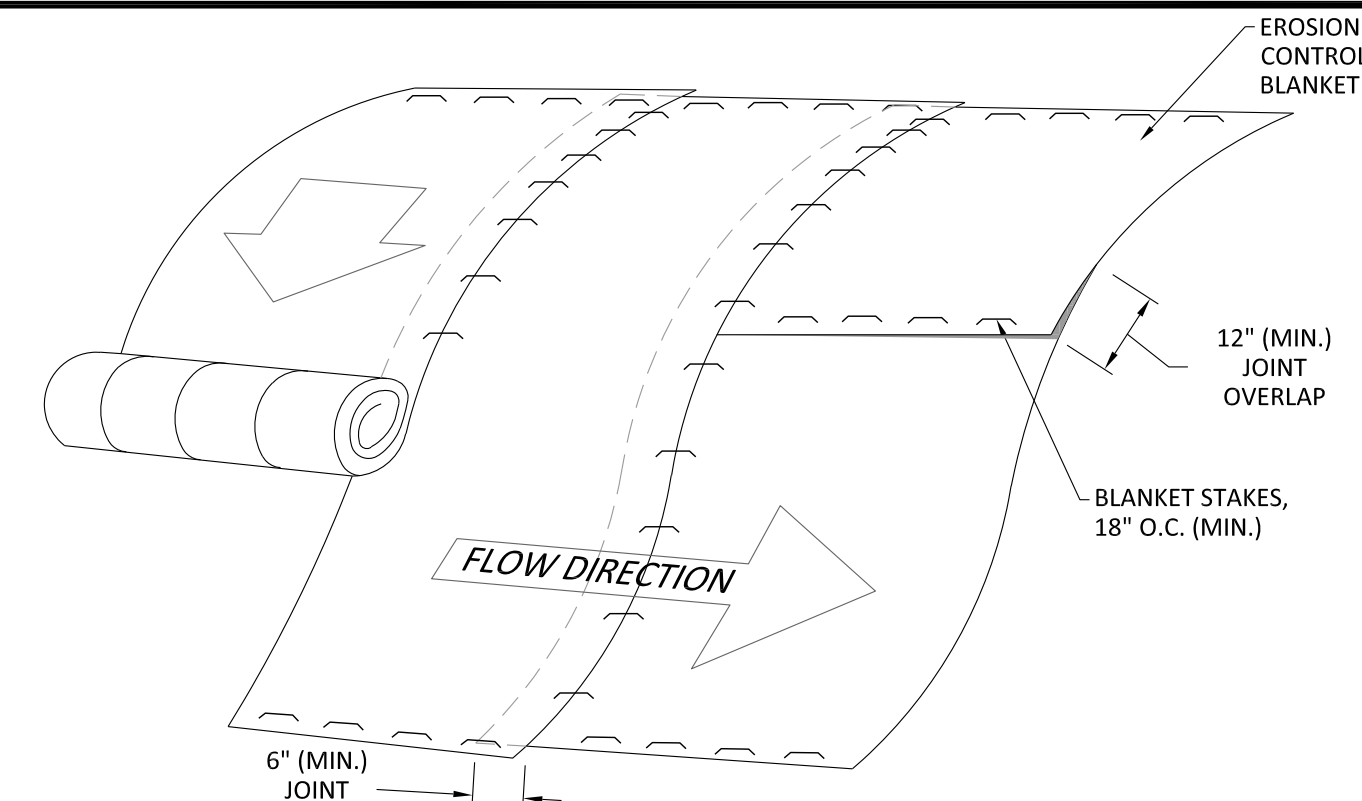
CONSTRUCTION SEQUENCE

- | | |
|---|---|
| <ol style="list-style-type: none"> 1. MOBILIZE TO THE SITE. 2. INSTALL SOIL EROSION CONTROL MEASURES. 3. CONSTRUCT A TEMPORARY CONSTRUCTION ENTRANCE/ EXIT. 4. TOPSOIL STRIPPING AND STOCKPILING. PROVIDE TEMPORARY SEEDING ON STOCKPILES AND ALL OTHER AREAS OF THE SITE THAT WILL REMAIN UNDISTURBED FOR 30 DAYS OR MORE. REFER TO LANDSCAPE PLAN FOR SEEDING. 5. MASS GRADING OF DISTURBED SITE. 6. INSTALLATION OF BUILDING FOUNDATIONS. 7. INSTALLATION OF ALL UNDERGROUND UTILITIES. 8. INSPECT SOIL EROSION CONTROL MEASURES AND MAINTAIN OR REPLACE AS NECESSARY. 9. INSTALLATION OF PARKING LOT SUB-BASE MATERIAL. 10. INSTALLATION OF PARKING LOT BASE COURSE | <ol style="list-style-type: none"> 11. INSTALLATION OF PERMANENT SOIL STABILIZATION MEASURES AND RE-SPREAD TOPSOIL. 12. INSTALLATION OF PARKING LOT SURFACE COURSE MATERIALS. 13. INSTALLATION OF LANDSCAPE. 14. REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES AFTER FINAL SOIL STABILIZATION MEASURES AND THE ESTABLISHMENT OF ADEQUATE VEGETATIVE COVER. 15. ALL STORM SEWERS, CATCH BASINS, PAVEMENT SURFACES AND/ OR DETENTION FACILITIES ARE TO BE CLEANED PRIOR TO FINAL INSPECTION. 16. ALL MAINTENANCE OF THE EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR. |
|---|---|

1. CONTRACTOR IS RESPONSIBLE TO VERIFY AND ADJUST THE SEQUENCE OF OPERATION IF NECESSARY.
2. SEE LANDSCAPE PLAN FOR PLANTING DETAILS, SOIL PREPARATION, AMENDMENTS, PLANT LISTS, LANDSCAPE SPECIFICATIONS.
3. TEMPORARY SEED SHALL CONFORM TO THE "CALTRANS CONSTRUCTION SITE BMP MANUAL" FOR ALL AREAS TO BE DISTURBED LESS THAN A YEAR OR BARREN AREAS THAT NEED TO BE STABILIZED.
4. CONTRACTOR TO UTILIZE MULCH FOR SEED PROTECTION, SOIL PROTECTION, DUST CONTROL, OR STABILIZATION AS NEEDED AND FOR WHEN SEEDING CANNOT BE PERFORMED.

TEMPORARY SEEDING TABLE AND CONSTRUCTION SEQUENCE

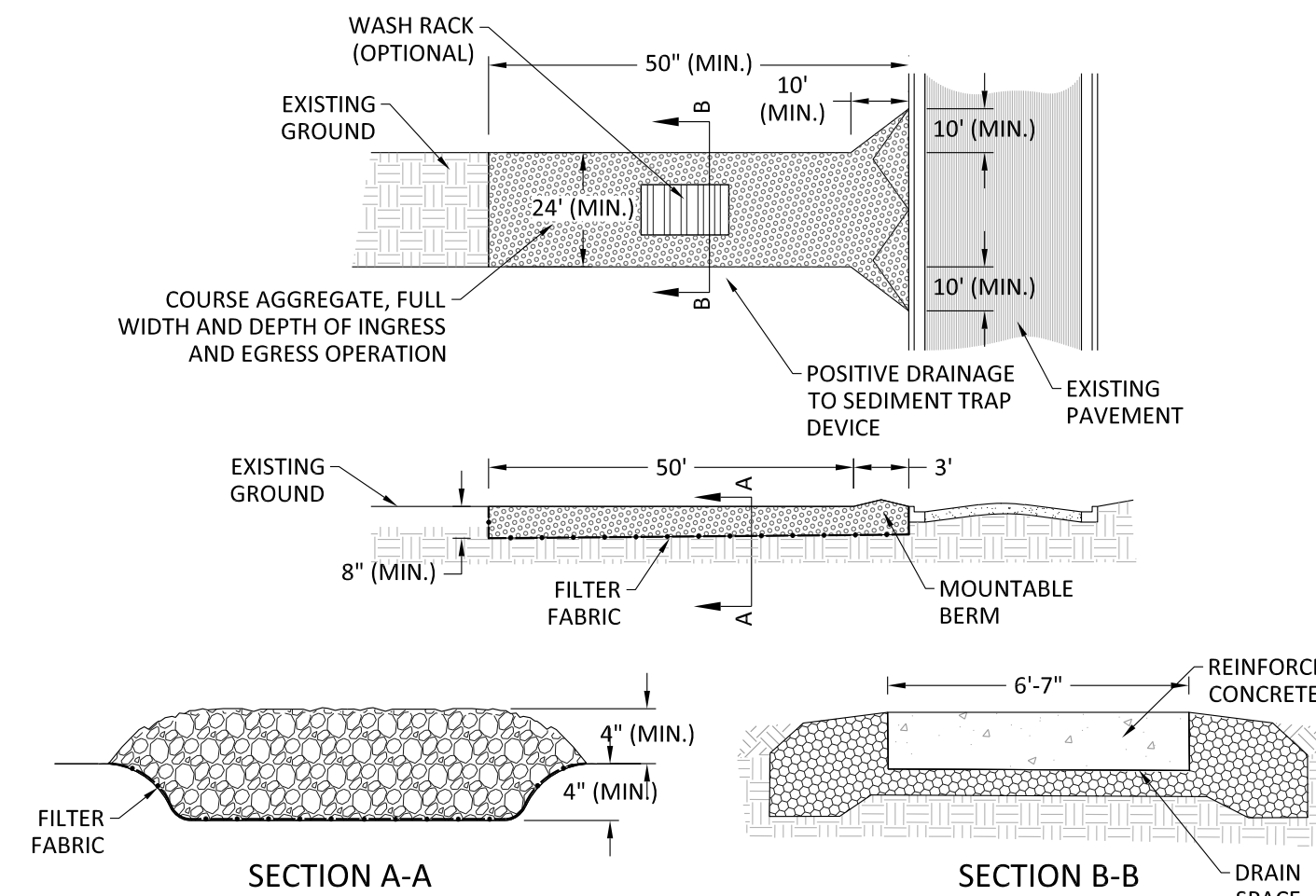
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1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN (STARTING AT DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH AN APPROXIMATELY (MIN) 4" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY A (MIN) 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

EROSION CONTROL BLANKET

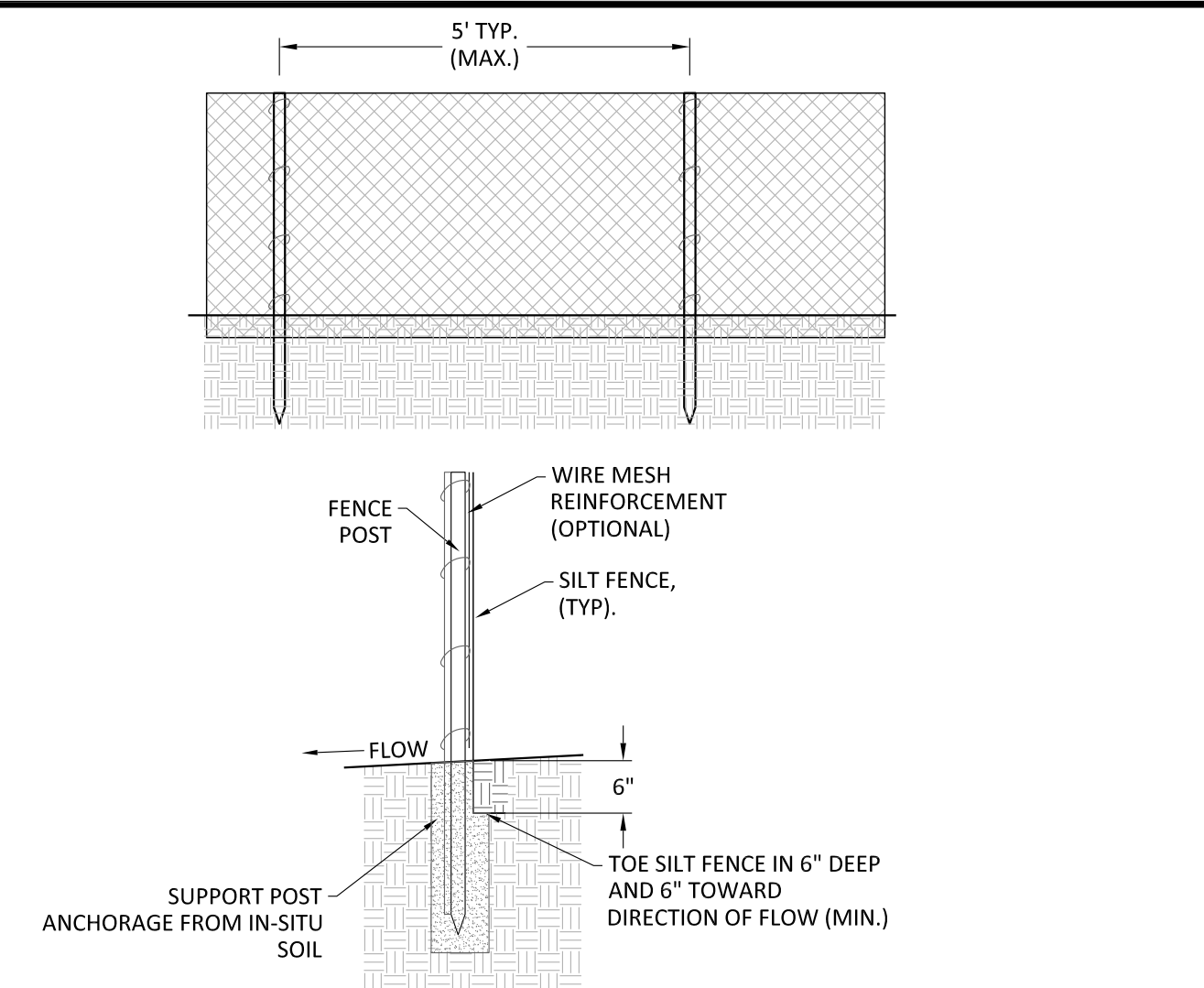
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1. FILTER FABRIC SHALL MEET ASTM 592 GEOTEXTILE. TABLE 1 OR 2 FOR CLASS I, II, OR IV. AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING STONE.
2. RECLAIMED CONCRETE OR COARSE AGGREGATE SHALL MEET EITHER CALTRANS AGGREGATE BASE REQUIREMENTS FOR A CONSTRUCTION ENTRANCE AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT METHOD I OR CLASS III COMPACTION.
3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
4. IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

TEMPORARY CONSTRUCTION ENTRANCE

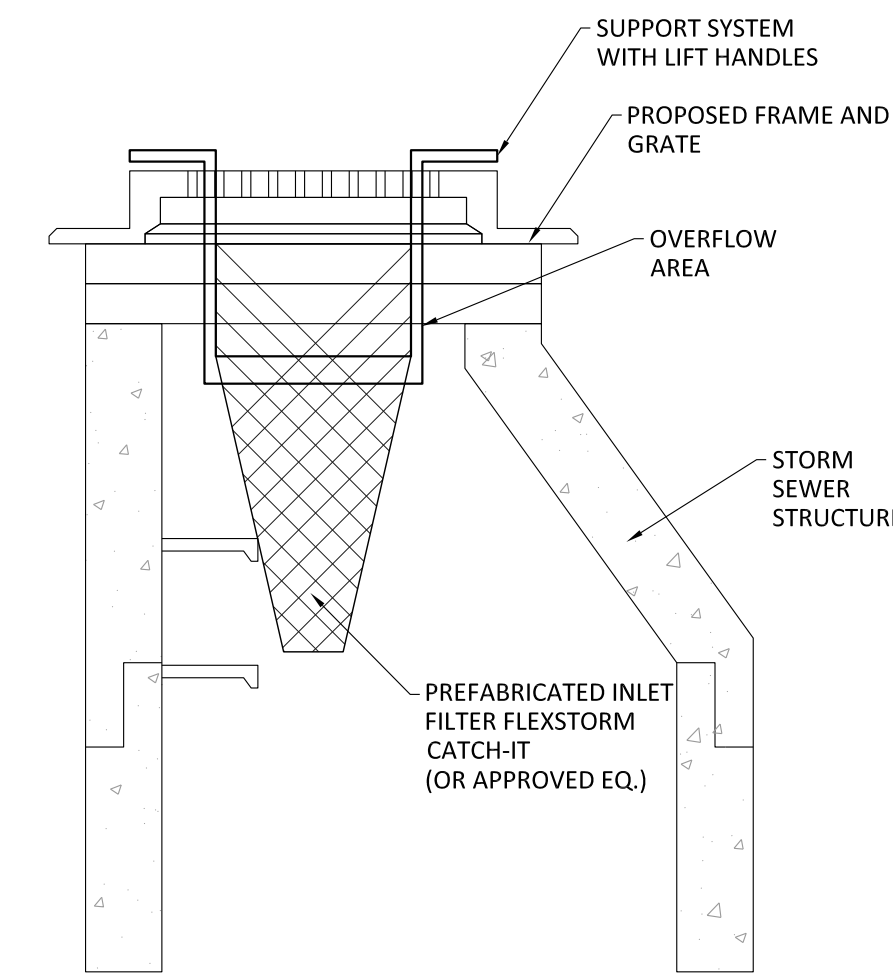
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1. FILTER FABRIC SHALL MEET GEOTEXTILE 592 TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 MILS FOR NONWOVEN AND 40 MILS FOR WOVEN.
2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POSTS WITH A MINIMUM CROSS SECTION AREA OF 3 SQ. IN.

SILT FENCE

NOT TO SCALE



INLET FILTER PROTECTION - BASKET

NOT TO SCALE

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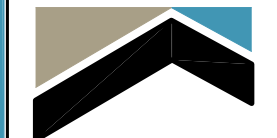


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1082 E. MAIN STREET
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DESIGNED BY: --- ARB
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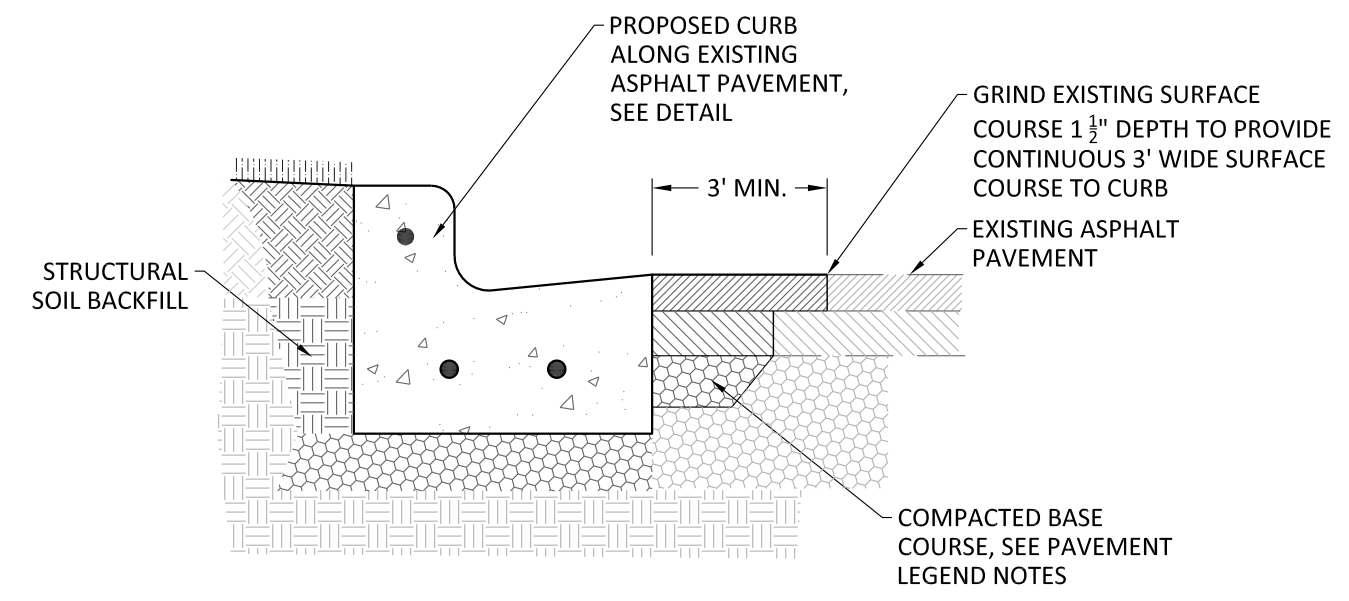
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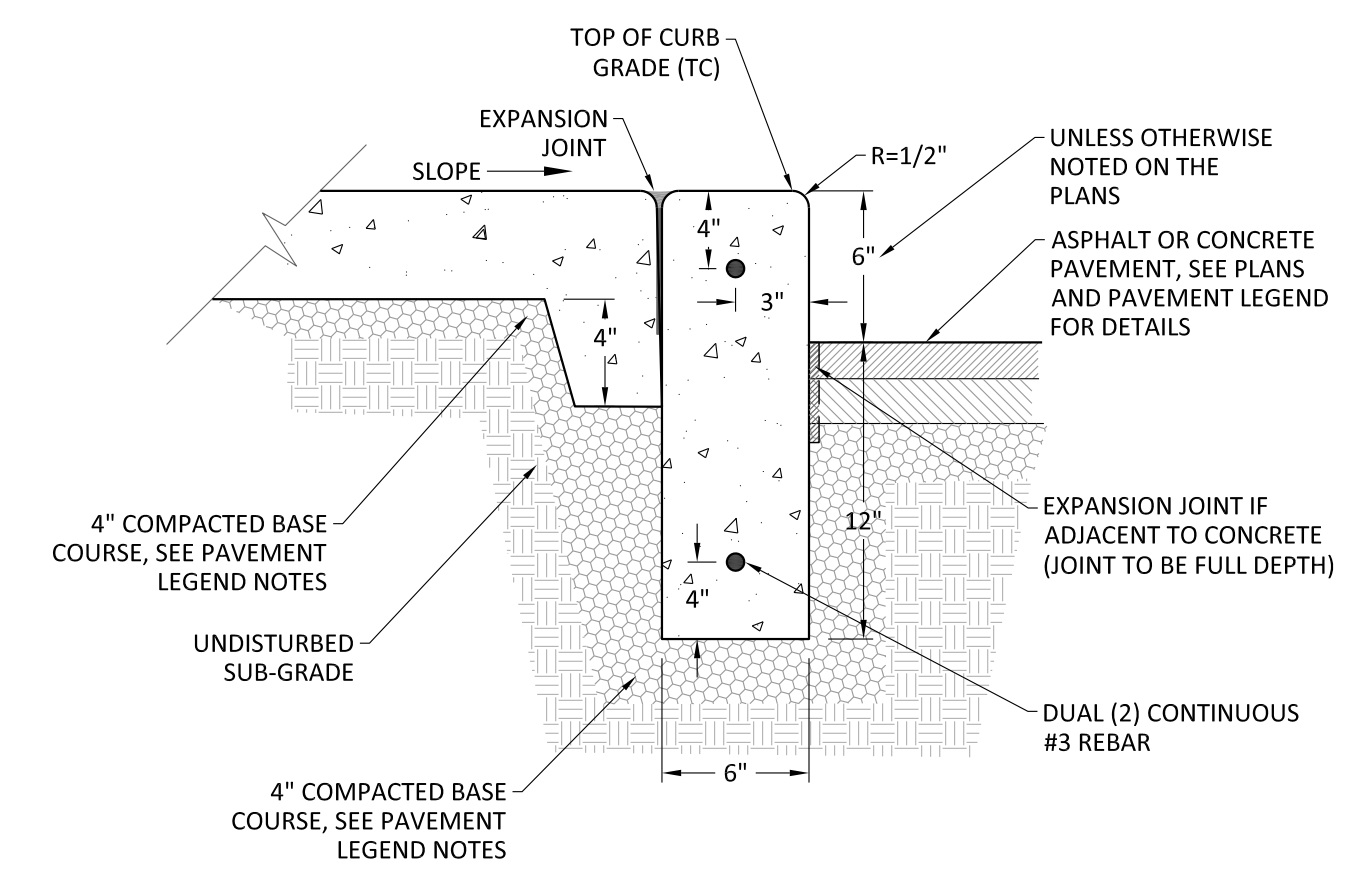
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ASPHALT DESCRIPTION	ASPHALT SECTION	SECTION DESCRIPTION	CONCRETE DESCRIPTION	CONCRETE SECTION	SECTION DESCRIPTION
STANDARD DUTY PAVEMENT		1.5" ASPHALT SURFACE COURSE 2.5" ASPHALT BINDER COURSE 8" BASE COURSE COMPACTED SUB-BASE	CONCRETE SIDEWALK		5" CONCRETE PAVEMENT 4" BASE COURSE COMPACTED SUB-BASE
			STANDARD CONCRETE PAVEMENT		6" CONCRETE PAVEMENT 4" BASE COURSE COMPACTED SUB-BASE
			HEAVY DUTY CONCRETE PAVEMENT		8" CONCRETE PAVEMENT 6" BASE COURSE COMPACTED SUB-BASE

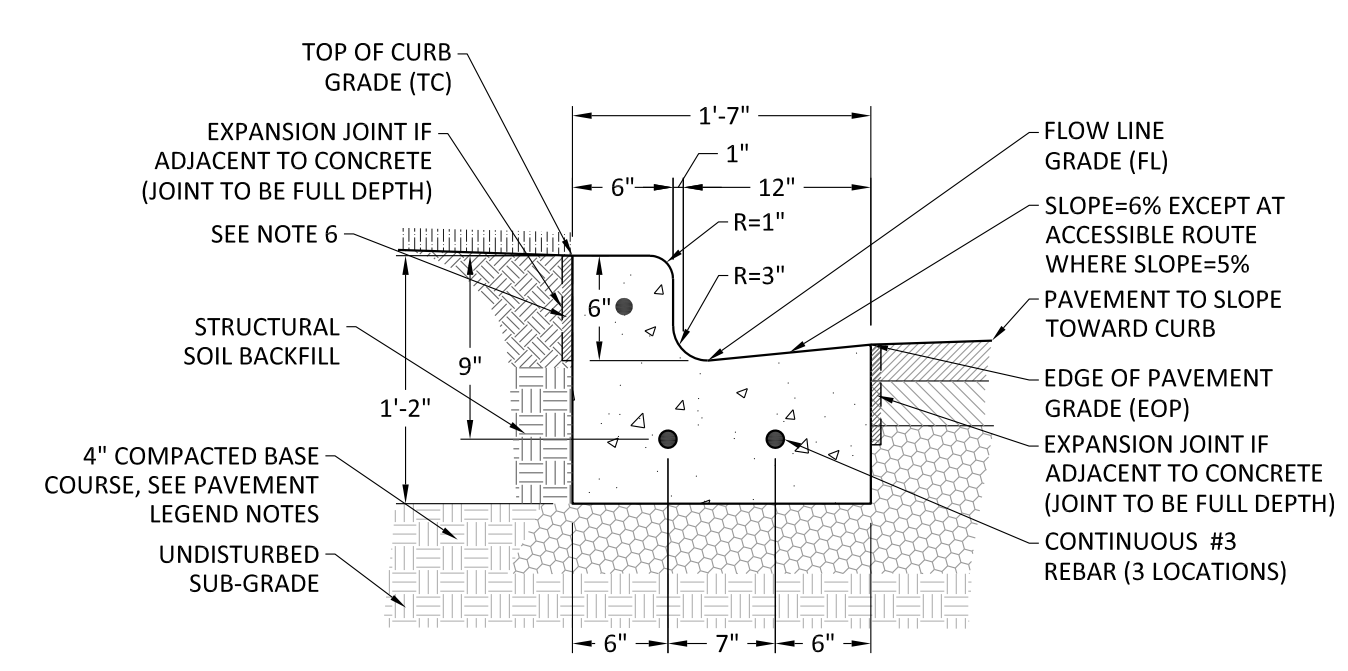
1. ALL ASPHALT SURFACE COURSE SHALL BE: MEDIUM GRADE HMA MIN.
2. ALL CONCRETE SHALL BE: 4,000 PSI AT 14 DAYS, LIMESTONE AGGREGATE, 5 - 7% AIR ENTRAINMENT, 4" SLUMP LIMIT. PROVIDE CONCRETE SEALER AND A LIGHT BROOM FINISH.
3. ALL BASE COURSE SHALL BE: CLASS II CRUSHED STONE OR LIMESTONE COMPACTED TO 95% STANDARD LABORATORY DENSITY.
4. ALL SUB-BASE SHALL BE: PROOF ROLLED TO THE SATISFACTION OF THE OWNER (OR OWNER'S REPRESENTATIVE), AND MUNICIPALITY.
5. PRIOR TO THE PLACEMENT OF THE BINDER COURSE OF ASPHALT, THE BASE COURSE SHALL BE CLEANED AND A PRIME COAT SHALL BE APPLIED AT THE RATE OF 0.25 TO 0.50 GAL/SY PER CALTRANS STANDARDS.
6. PRIOR TO THE PLACEMENT OF THE SURFACE COURSE OF ASPHALT, THE BINDER COURSE SHALL BE CLEANED AND A TACK COAT SHALL BE APPLIED AT A RATE OF 0.10 GAL/SY PER CALTRANS STANDARDS.
7. SEE PAVING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



1. SEE PLANS FOR LOCATIONS.
PROPOSED ASPHALT PATCH ADJACENT TO PROPOSED CURB

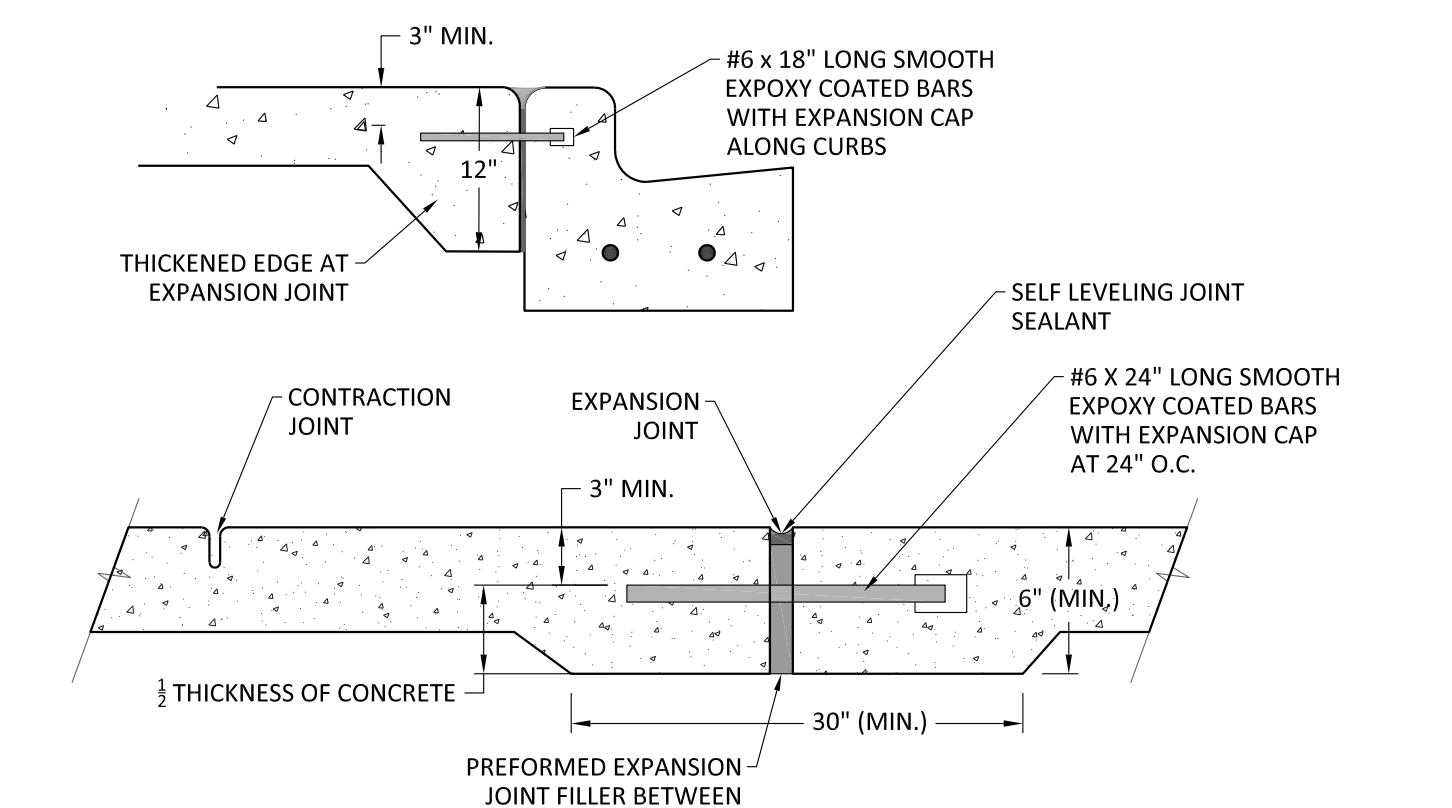


1. SEE PLANS FOR LOCATIONS.
BARRIER CURB AT PAVEMENT



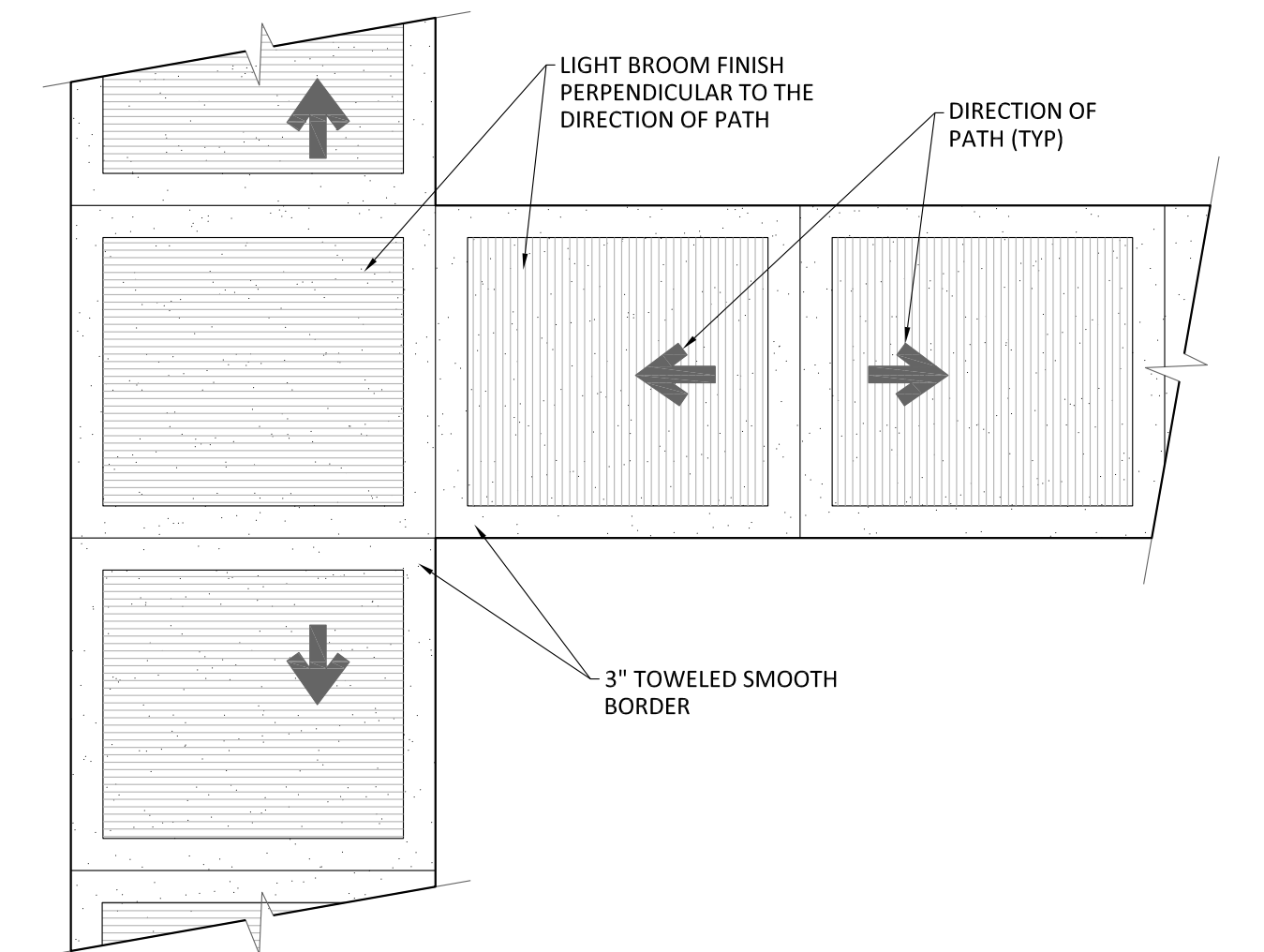
1. USE STANDARD PITCH GUTTERS WHERE WATER IS DIVERTED TOWARD CURB.
2. LONGITUDINAL SLOPE SHALL BE 0.50% MIN.
3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'.
4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'.
5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.
6. BACK OF CURB TO BE EXPOSED IN SEVERAL LOCATIONS. SEE PLANS FOR LOCATIONS AND INCLUDES ALL BMP ISLANDS. CONCRETE TO BE POURED 1'-2" THICK FROM ELEVATION AT BACK OF CURB.
COMBINATION CONCRETE CURB AND GUTTER - STANDARD PITCH

PAVEMENT LEGEND
NOT TO SCALE

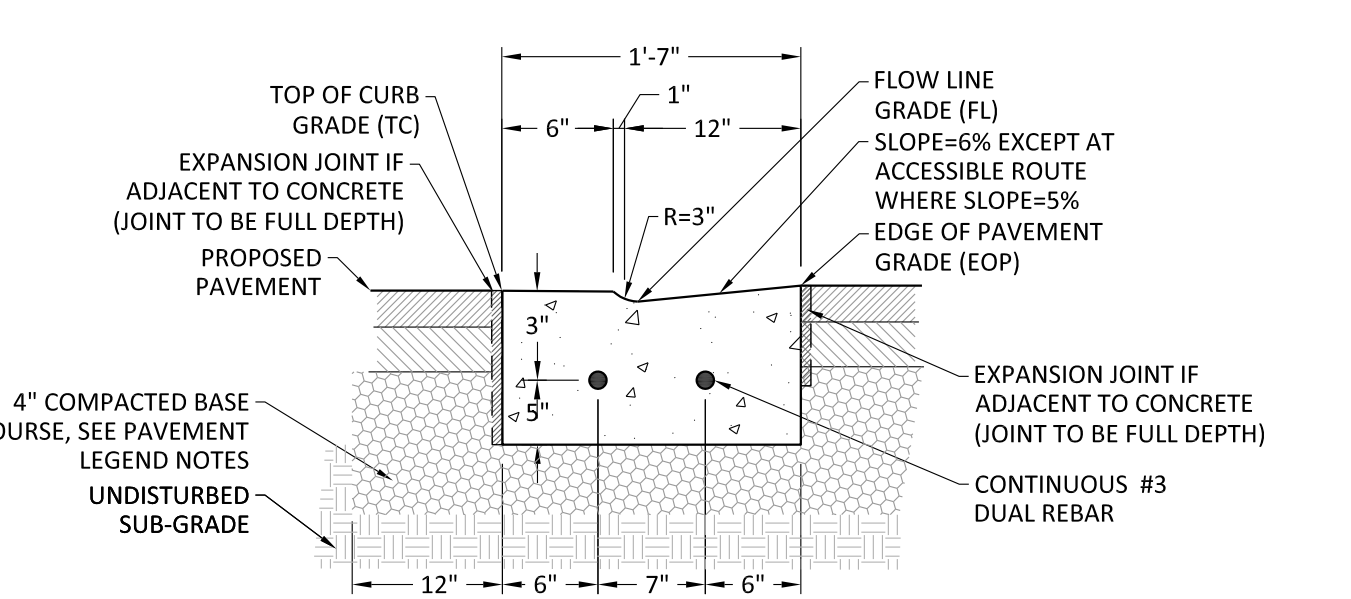


- CONTRACTION JOINTS**
1. 1/4" DEEP FOR CONCRETE PAVEMENT, 2" DEEP FOR CONCRETE SIDEWALKS.
 2. TOOLED JOINTS WITH 1/4" JOINT RADII.
 3. 3/4" MAXIMUM WIDTH.
- EXPANSION JOINTS**
1. ALL EXPANSION JOINTS TO BE 1/4" PREMOLDED JOINTS.
 2. JOINT TO BE FULL DEPTH OF CONCRETE.
 3. CLEAN ALL DEBRIS WITH HIGH PRESSURE AIR BEFORE JOINT SEALANT INSTALLATION.
 4. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS ABUTTING A CURB.
 5. EXPANSION JOINTS SHALL BE PROVIDED AROUND THE PERIMETER OF ANY BLOCKOUT IN THE CONCRETE PAVING.
1. SEE PAVEMENT SECTIONS FOR DETAILS.
 2. SIDEWALK WIDTHS MAY VARY.
 3. ALL REINFORCEMENT BARS SHALL BE GRADE 40 KSI DEFORMED REINFORCING STEEL. SIZING AND SPACING SHALL BE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.

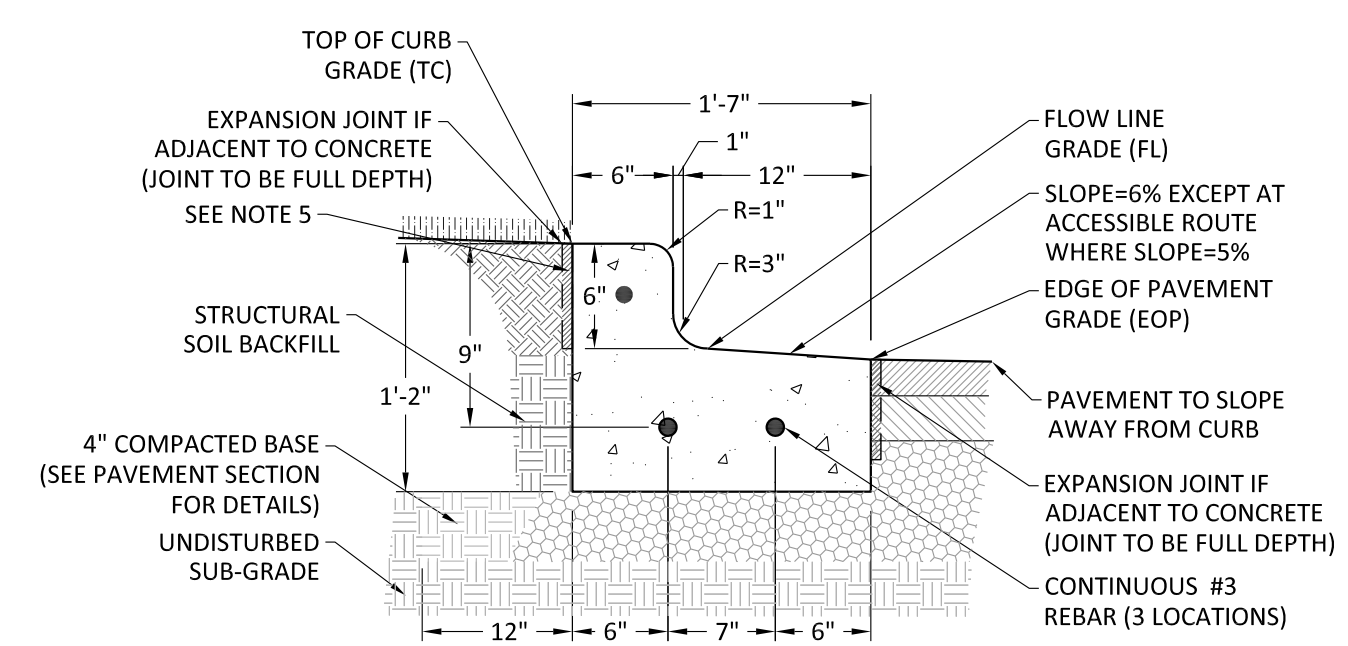
CONCRETE JOINTS
NOT TO SCALE



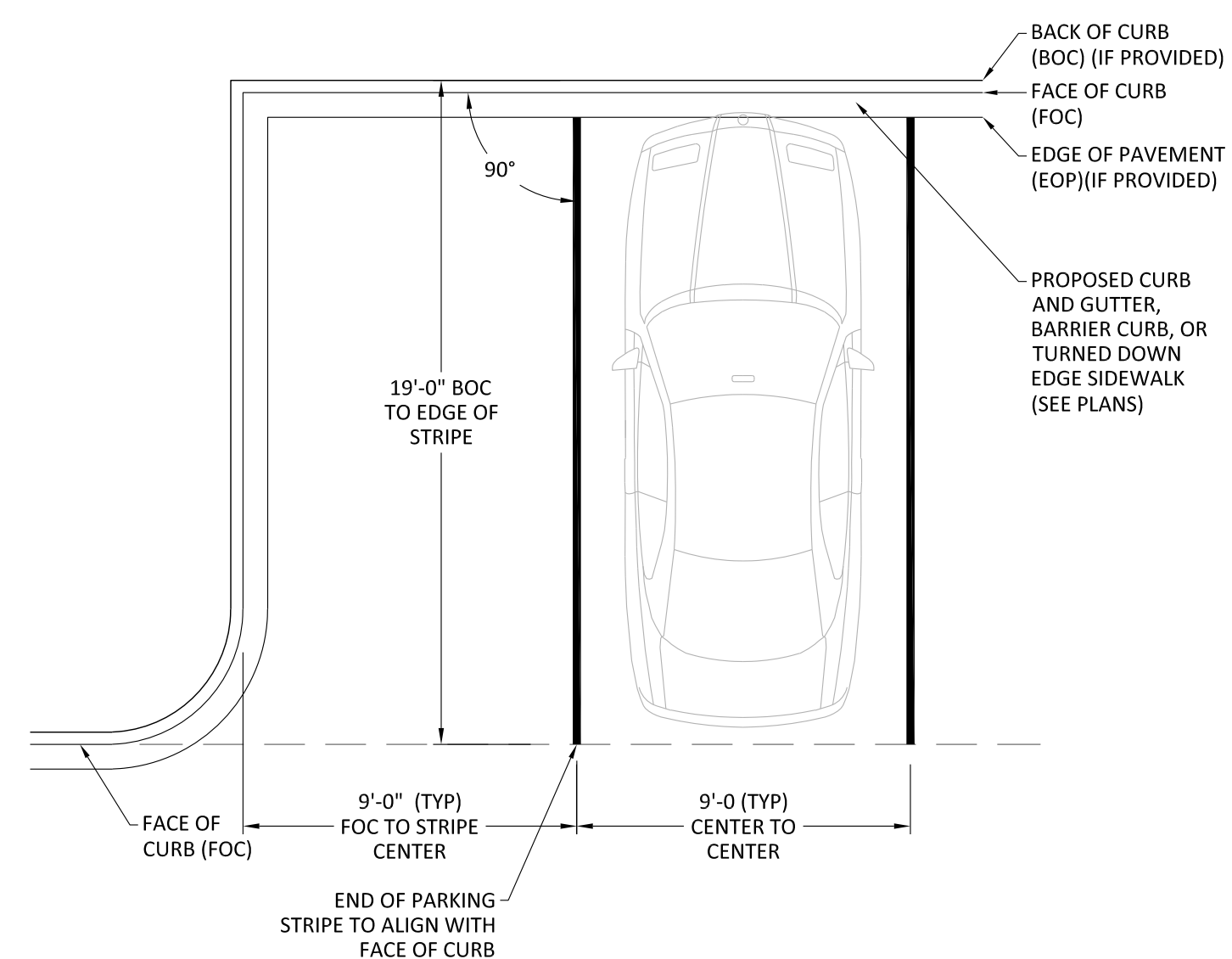
1. SEE PLANS FOR LOCATIONS.
CALIFORNIA FINISH CONCRETE
NOT TO SCALE



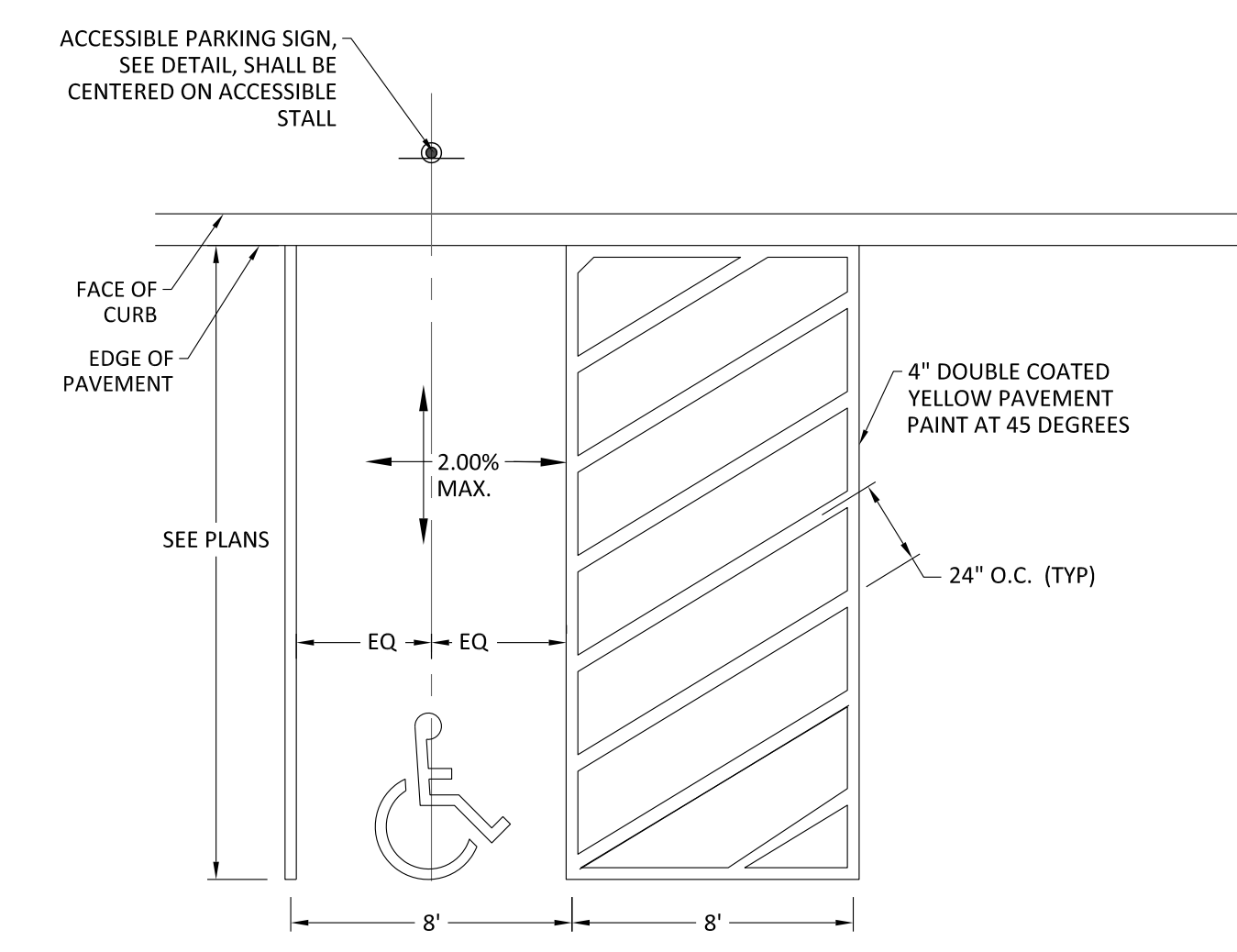
1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB AND STANDARD PITCH GUTTERS WHERE WATER DRAINS TOWARD CURB.
2. LONGITUDINAL SLOPE SHALL BE 0.30% SLOPE MIN.
3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'.
4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'.
5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.
6. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS
COMBINATION CONCRETE CURB AND GUTTER - DEPRESSED
NOT TO SCALE



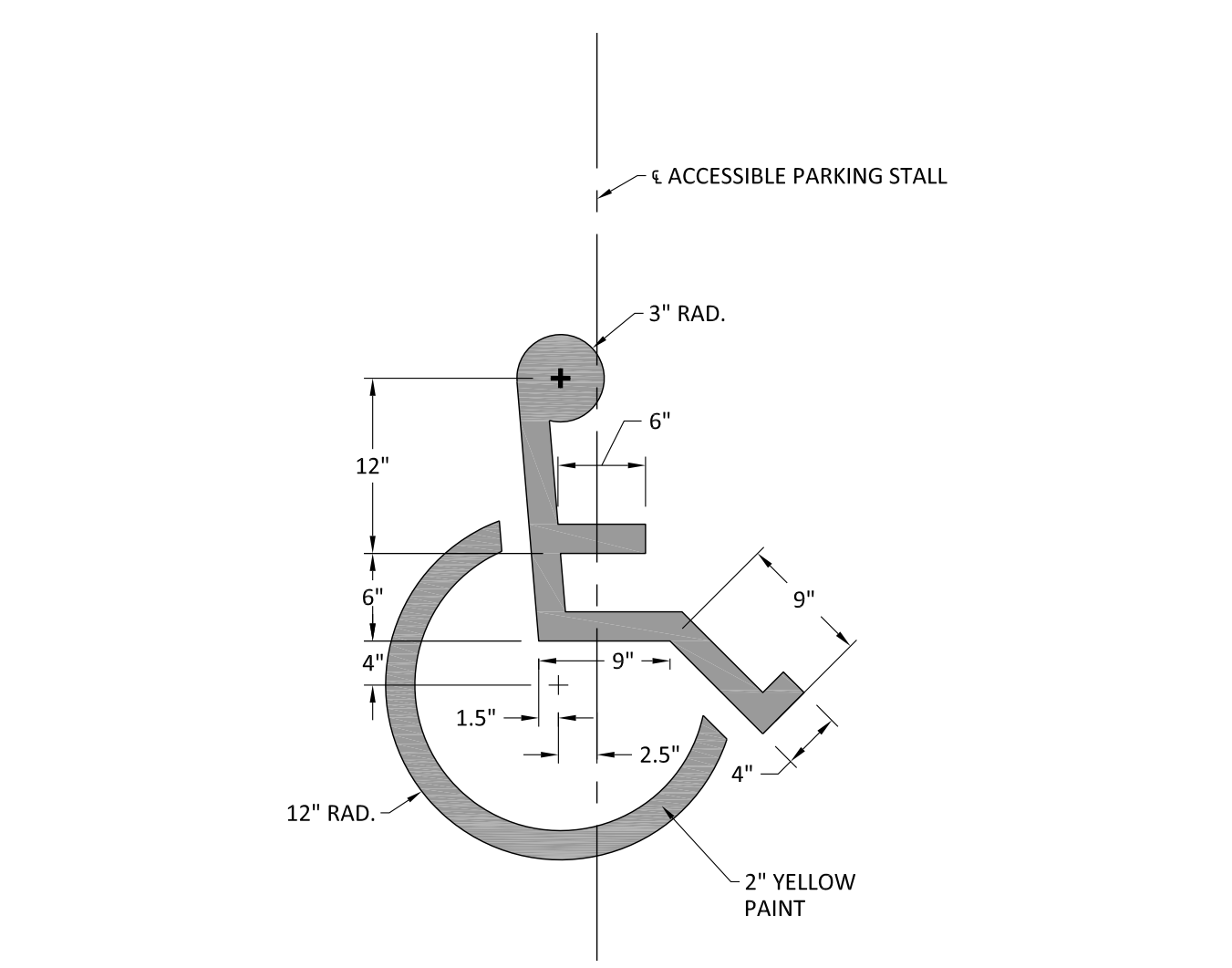
1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB.
2. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'.
3. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'.
4. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.
5. BACK OF CURB TO BE EXPOSED IN SEVERAL LOCATIONS. SEE PLANS FOR LOCATIONS AND INCLUDES ALL BMP ISLANDS. CONCRETE TO BE POURED 1'-2" THICK FROM ELEVATION AT BACK OF CURB.
COMBINATION CONCRETE CURB AND GUTTER - REVERSE PITCH
NOT TO SCALE



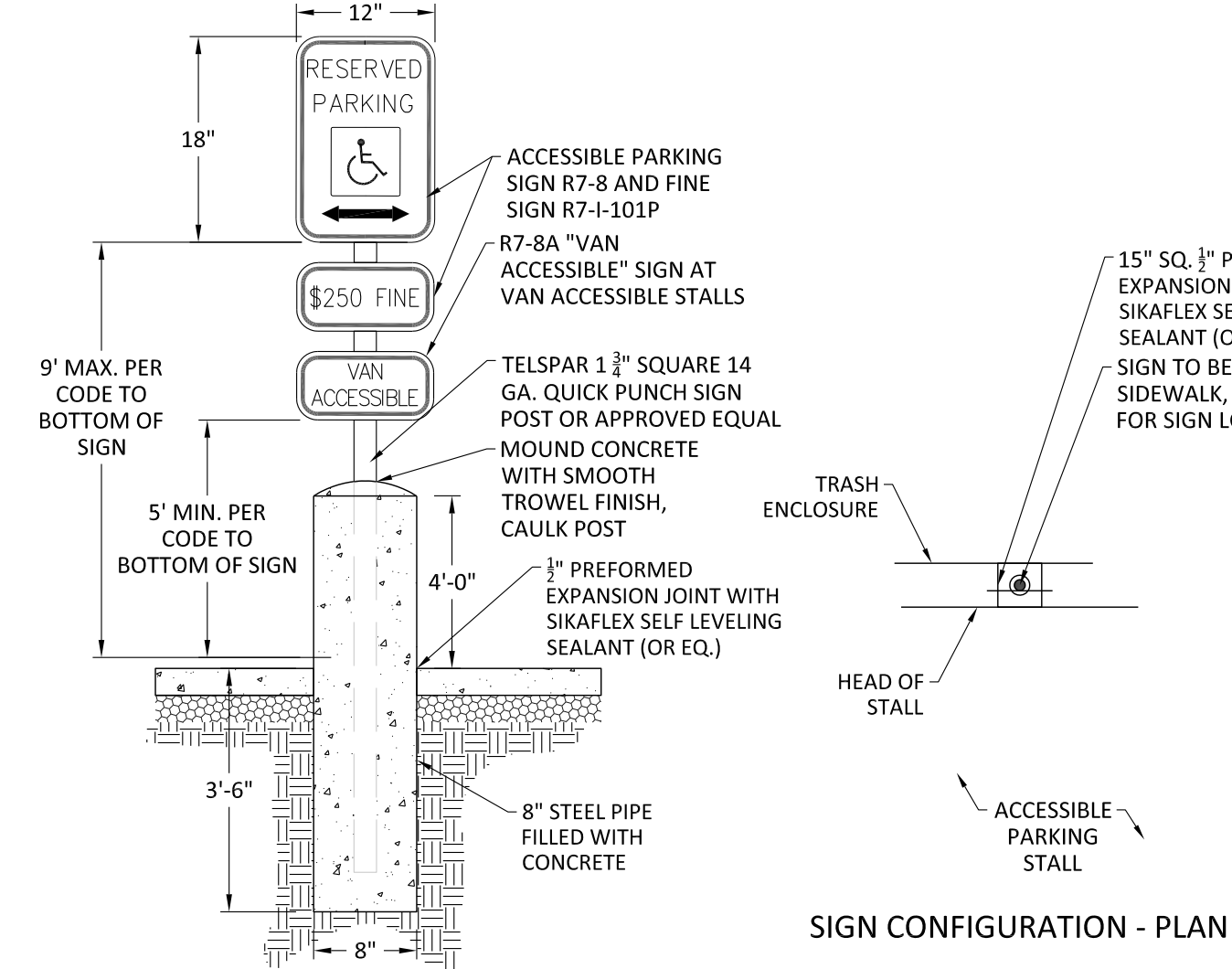
1. ALL STRIPING SHALL BE DOUBLE COATED YELLOW PAVEMENT PAINT
PARKING STALL STRIPING - 90 DEGREE
NOT TO SCALE



1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR WALL AT FRONT CENTER OF THE PARKING SPACE, NO MORE THAN 6 FEET HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE.
2. ACCESSIBLE PARKING STALL SLOPES NOT TO EXCEED 2.00% IN ANY DIRECTION.
ACCESSIBLE PARKING STALL - 90 DEG 8' x 8'
NOT TO SCALE

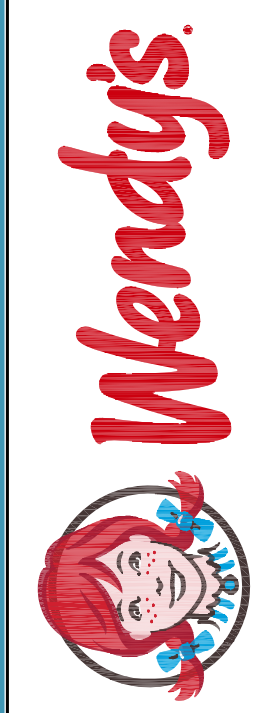


1. SEE PLAN FOR QUANTITIES AND LOCATIONS.
2. BOTTOM OF SYMBOL SHALL ALIGN WITH END OF STALL.
ACCESSIBLE PARKING STALL PAVEMENT SYMBOL
NOT TO SCALE



1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR WALL AT FRONT CENTER OF THE PARKING SPACE, NO MORE THAN 6 FEET HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE.
2. FOR EVERY 6 ACCESSIBLE STALLS (OR FRACTION THEREOF) AT LEAST ONE STALL SHALL BE VAN ACCESSIBLE INCLUDING THE "VAN ACCESSIBLE" SIGN.
ACCESSIBLE PARKING SIGN AT STALL IN SIDEWALK
NOT TO SCALE

MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
1082 E. MAIN STREET
OAKLEY, CA

PROJECT DETAILS 1

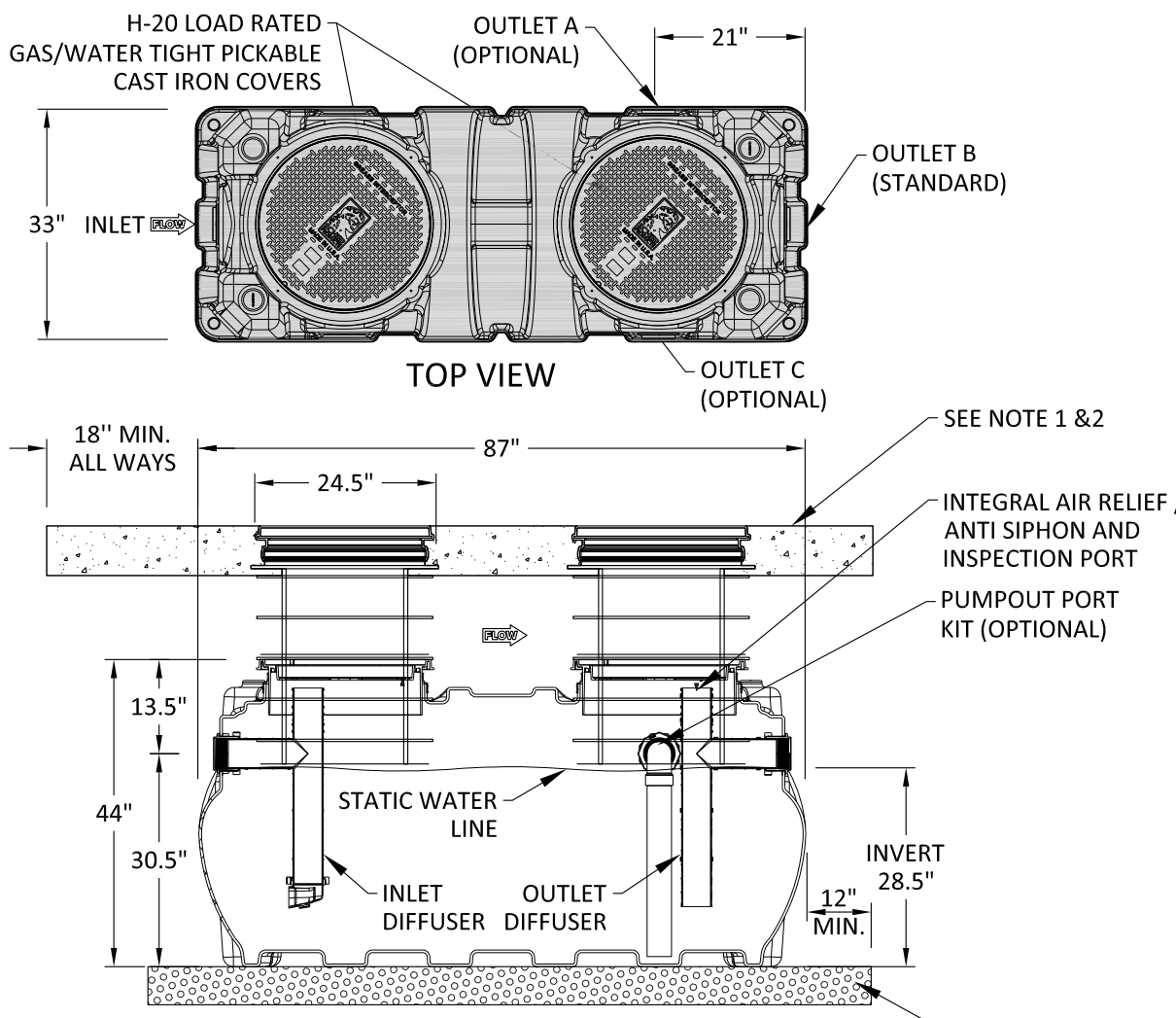
NO.	DATE	REVISION DESCRIPTION	BY	KMP	DATE
1	01/15/2021	PER CITY COMMENTS - 5/24/2021			
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021			

DESIGNED BY: KMP
REVIEWED BY: BP
DATE: 04/09/2021
PHONE: 5325-300-32-01



OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
HAVERHILL, ILLINOIS 60563
(630) 717-4848
wcgrp.com

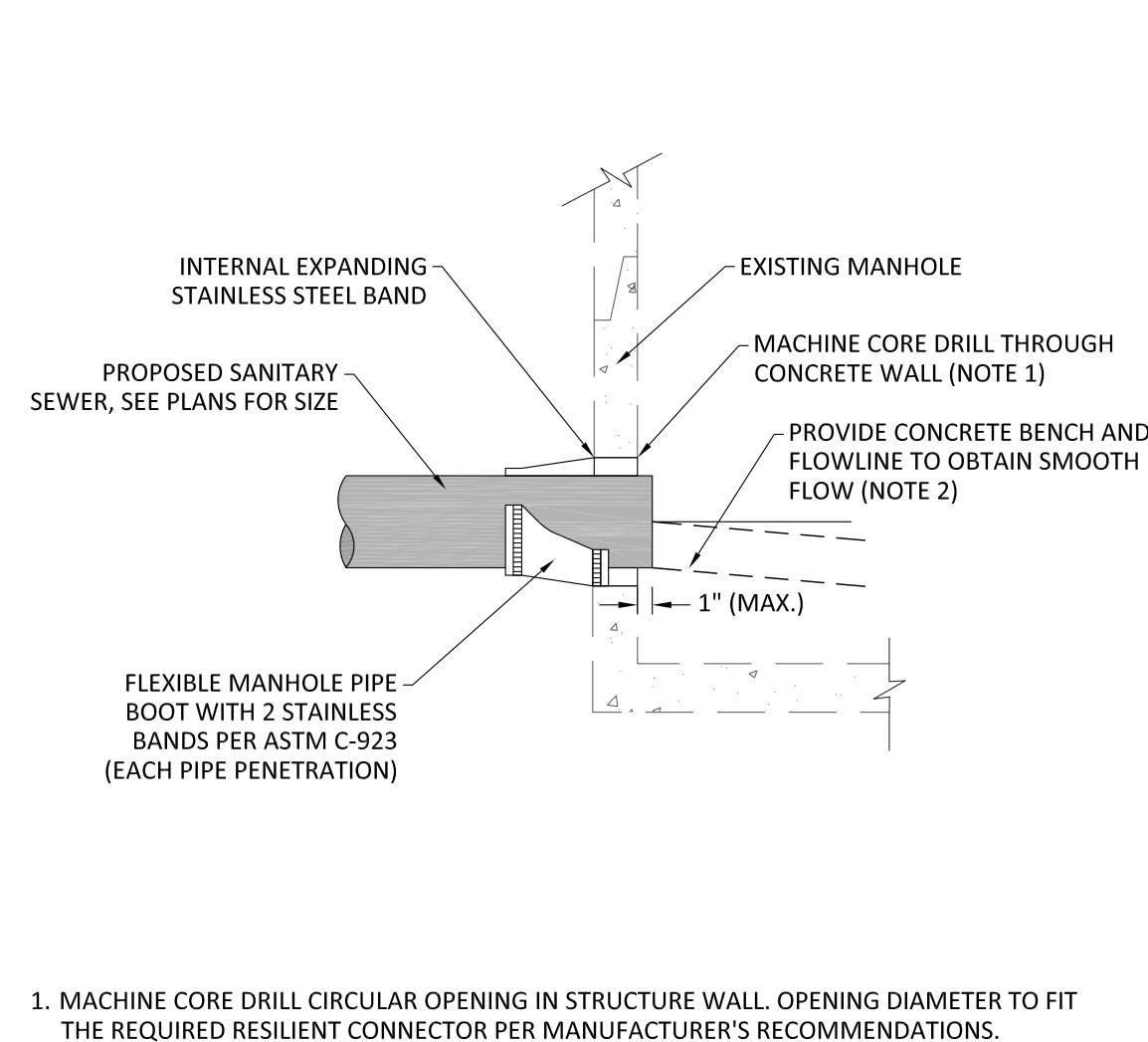
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1. PROVIDE 8" CONCRETE PAVEMENT IN VEHICULAR AREAS, PROVIDE 4" FOR PEDESTRIAN OR LAWN AREAS. ALL PAVEMENT SHALL HAVE #4 REBAR REINFORCEMENT 12" O.C. SEE PRODUCT SPECIFICATIONS FOR ADDITIONAL DETAILS.
2. AGGREGATE COMPACTION AROUND GREASE TRAP SHALL BE DONE BY HAND. NO MECHANICAL COMPACTION IS ALLOWED.

SCHIER GB-250 GREASE TRAP

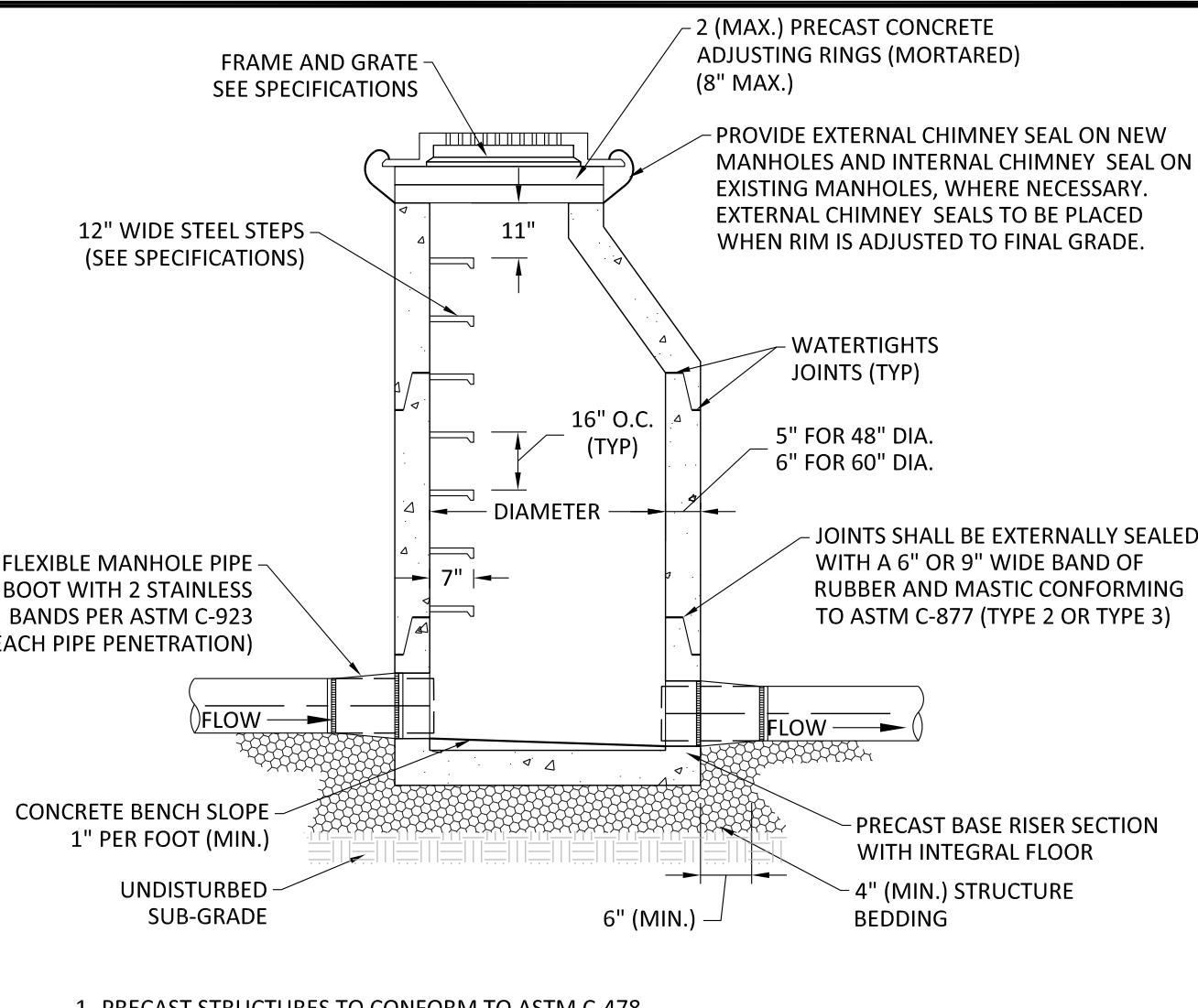
NOT TO SCALE



1. MACHINE CORE DRILL CIRCULAR OPENING IN STRUCTURE WALL. OPENING DIAMETER TO FIT THE REQUIRED RESILIENT CONNECTOR PER MANUFACTURER'S RECOMMENDATIONS.
2. CUT, SHAPE, AND SLOPE NEW INVERT CHANNEL IN THE EXISTING CONCRETE BENCH FOR SMOOTH FLOW.
3. CLEAN EXISTING STRUCTURE AND SEWER PIPE OF ANY DIRT, CONCRETE, OR DEBRIS WHICH MAY ACCUMULATE DURING THE CONSTRUCTION PROCESS.
4. ANY DAMAGE TO THE EXISTING MANHOLE SHALL BE REPAIRED BY THE CONTRACTOR.

SANITARY SEWER PIPE CONNECTION TO EXISTING MANHOLE

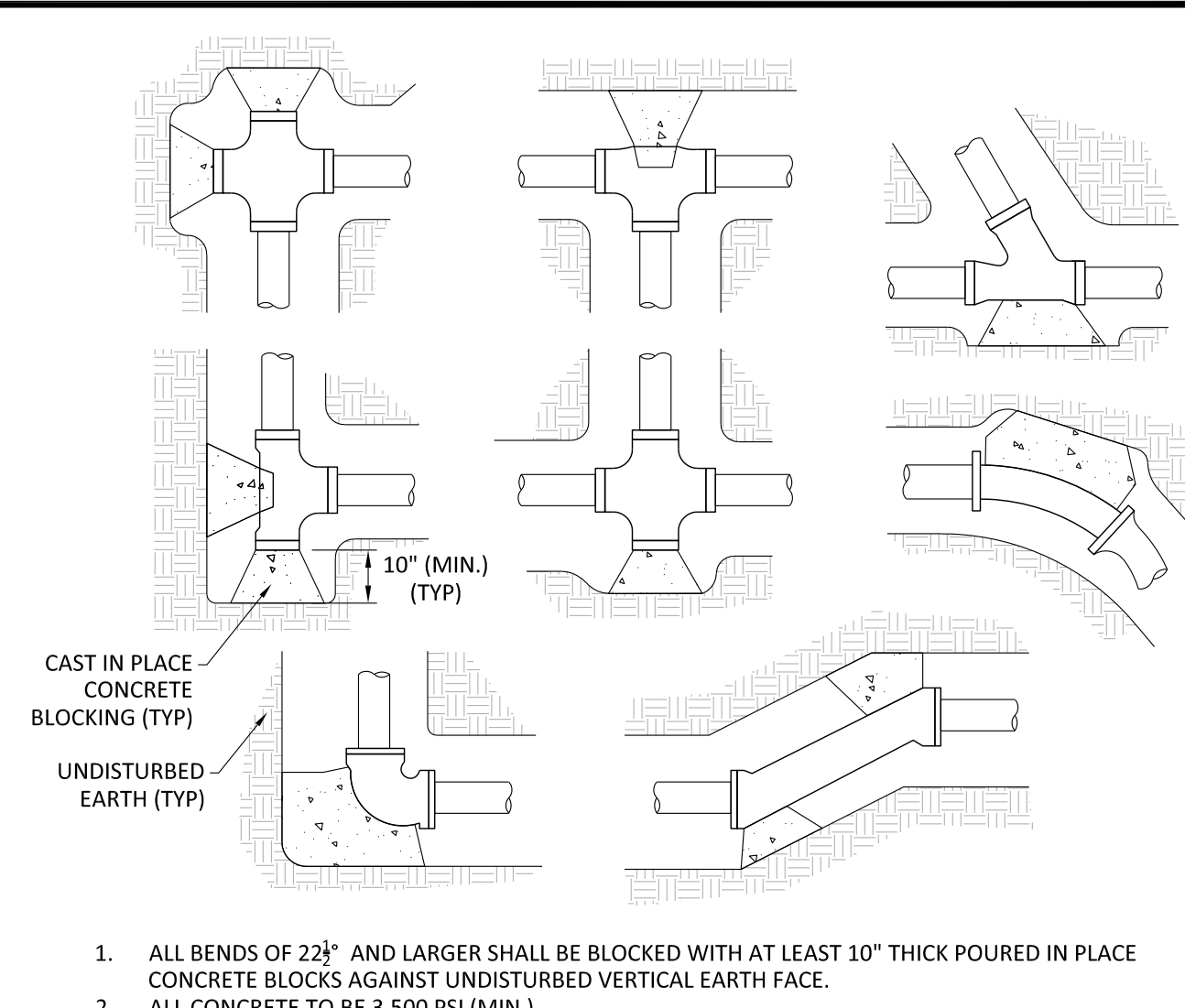
NOT TO SCALE



1. PRECAST STRUCTURES TO CONFORM TO ASTM C-478.
2. STRUCTURE SECTIONS TO BE TONGUE AND GROOVE.
3. BENCHES MUST BE PROVIDED IN ALL SANITARY SEWER MANHOLES.
4. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
5. USE ECCENTRIC CONE ONLY.
6. USE EXTERNAL LIFTING HOLES ONLY, BUT NOT FULL PENETRATION.

TYPE A SANITARY MANHOLE

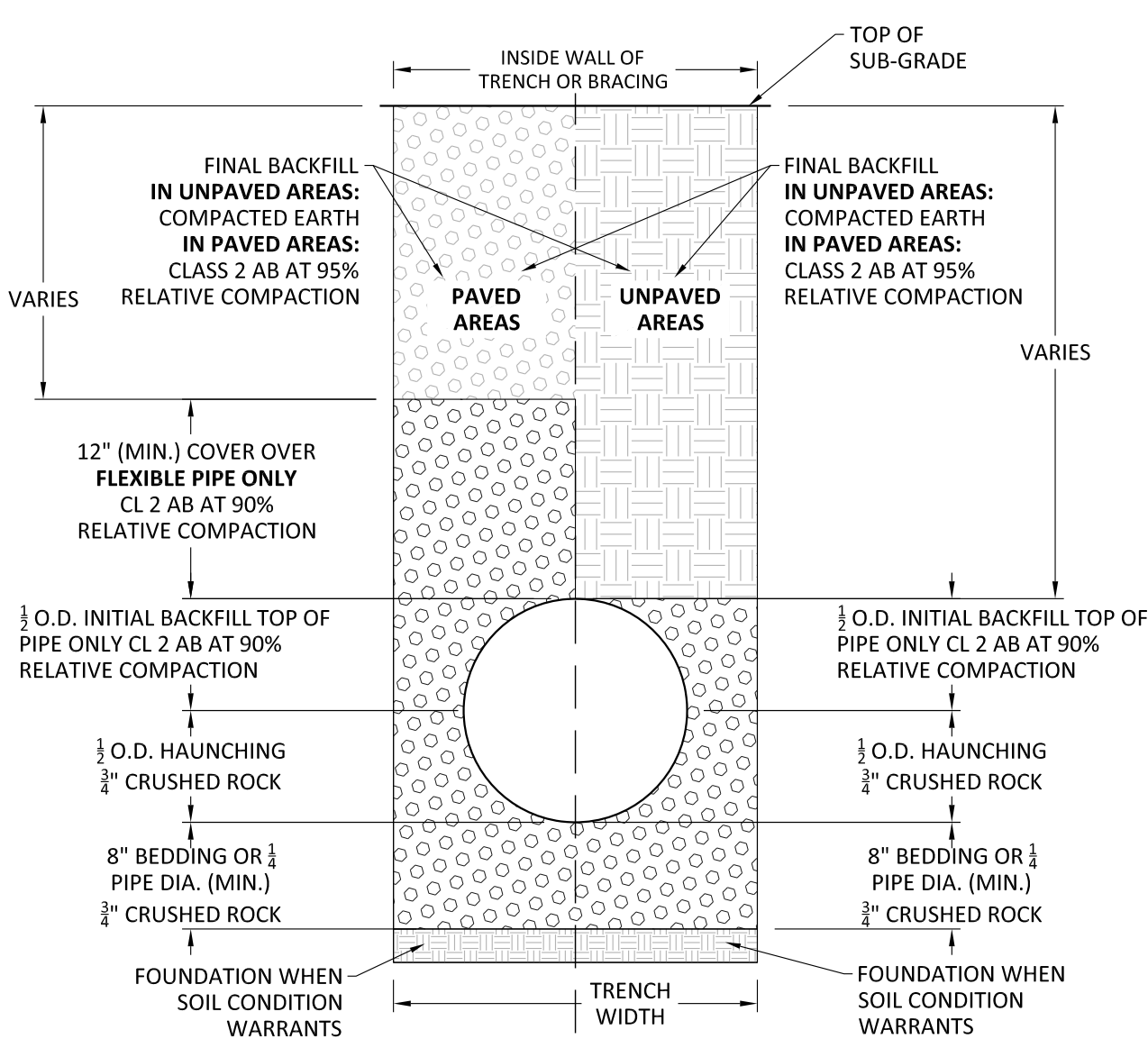
NOT TO SCALE



1. ALL BENDS OF 22 1/2" AND LARGER SHALL BE BLOCKED WITH AT LEAST 10" THICK POURED IN PLACE CONCRETE BLOCKS AGAINST UNDISTURBED VERTICAL EARTH FACE.
2. ALL CONCRETE TO BE 3,500 PSI (MIN.)
3. IN ADDITION TO THE ABOVE THRUST BLOCKING, ALL MECHANICAL JOINTS, BENDS OVER 10 DEG, TEES, CROSSES, VALVES, AND FIRE HYDRANTS SHALL HAVE A "MEGALUG" RESTRAINT, OR AS APPROVED BY THE MUNICIPAL ENGINEERING DIVISION. BOLTS SHALL BE "COR-TEN".
4. PLACE THE BASE AND THRUST BEARING SIDES OF THRUST BLOCK DIRECTLY AGAINST UNDISTURBED EARTH.

THRUST BLOCKING

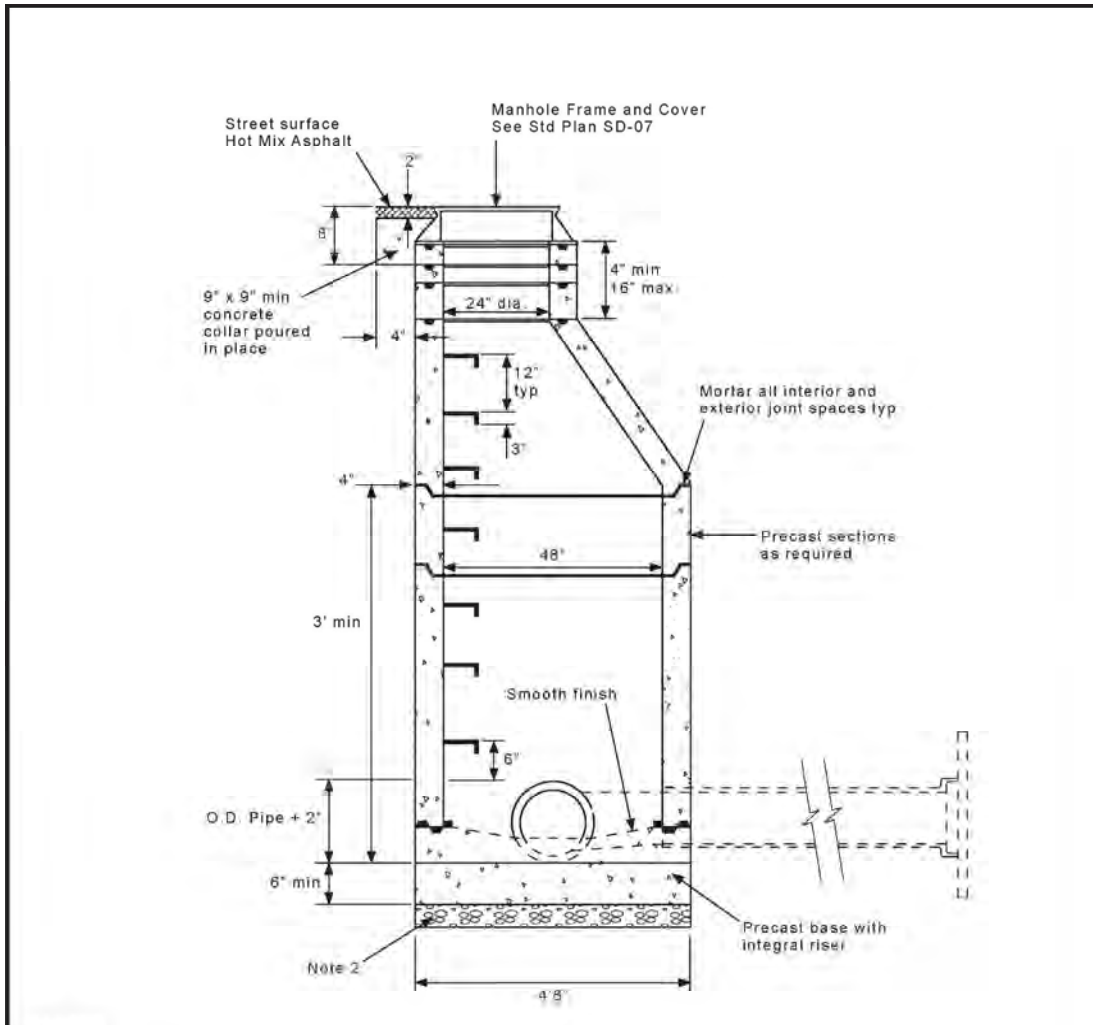
NOT TO SCALE



1. BEDDING NOT REQUIRED FOR WATERMAIN.

UTILITY TRENCH AND BEDDING DETAIL

NOT TO SCALE



- Notes**
1. Precast Manhole sections shall conform to applicable provisions of ASTM C478.
 2. 9" Class II for Aggregate Base bedding compacted to 95% maximum ASTM D1557
 3. Steps shall be galvanized steel 3/4" diameter inserted 3" minimum.
 4. All joints with flexible plastic joint
 5. Compound (Ram-Neck, Quick Seal, or equal) two layers may be required to seal base; luster with mortar thereafter.
 6. Manhole base must be poured against undisturbed soil. If excavated too deep, fill with concrete.
 7. For manhole with large diameter pipes, see Contra Costa County Standard Plans.

DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
July 2021	1	STANDARD MANHOLE	July 2021	1	MANHOLE FRAME AND COVER

BEDDING MATERIAL

Granular bedding material requirements
Caltrans durability Index Equivalent of 20

Slieve Sizes	Percentage Passing
3/4"	90-100
#4	20-52
#8	0-10
#8	0-5

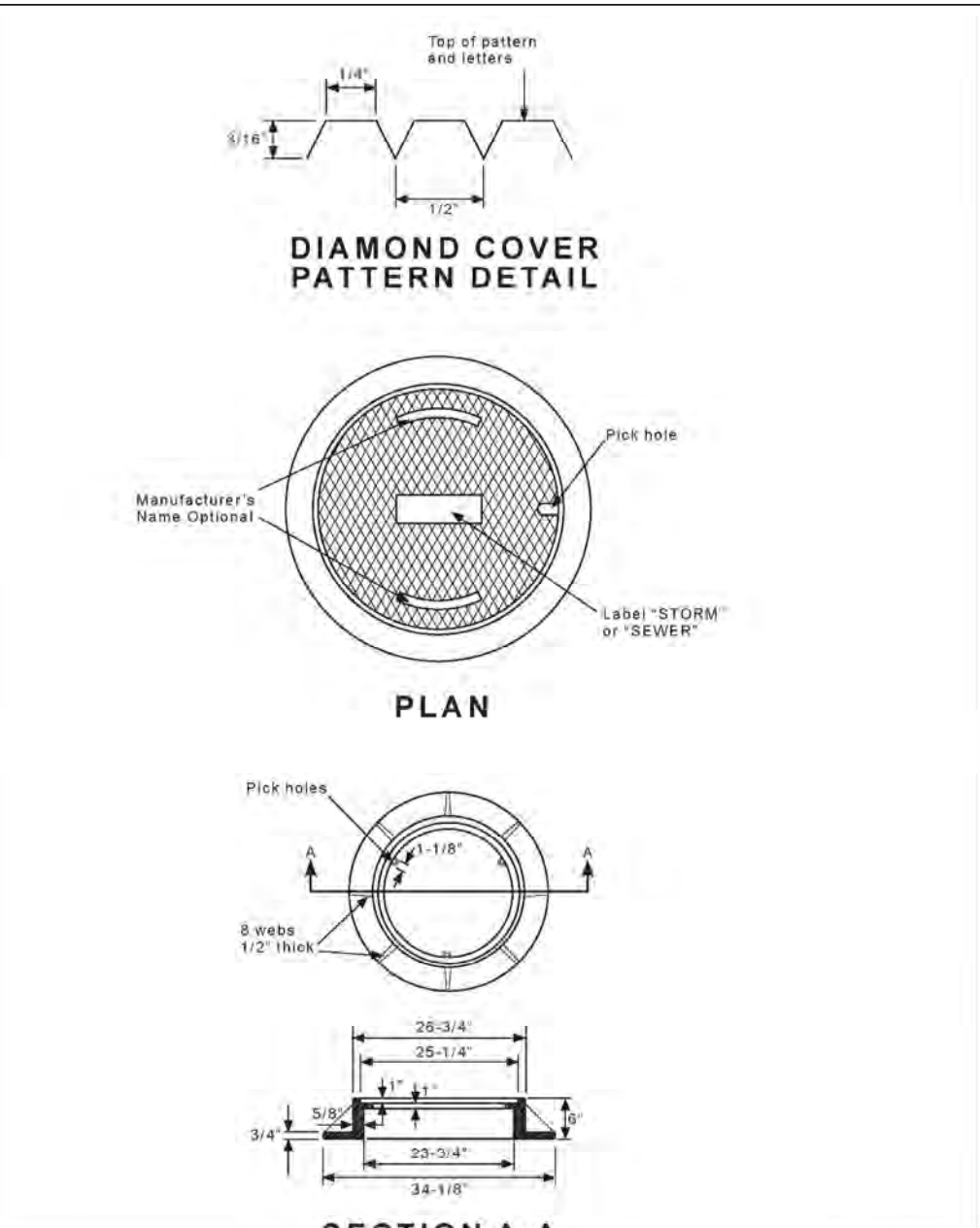
STRUCTURAL BACKFILL

Structural backfill requirements percent passing
Minimum Sand Equivalent of 20

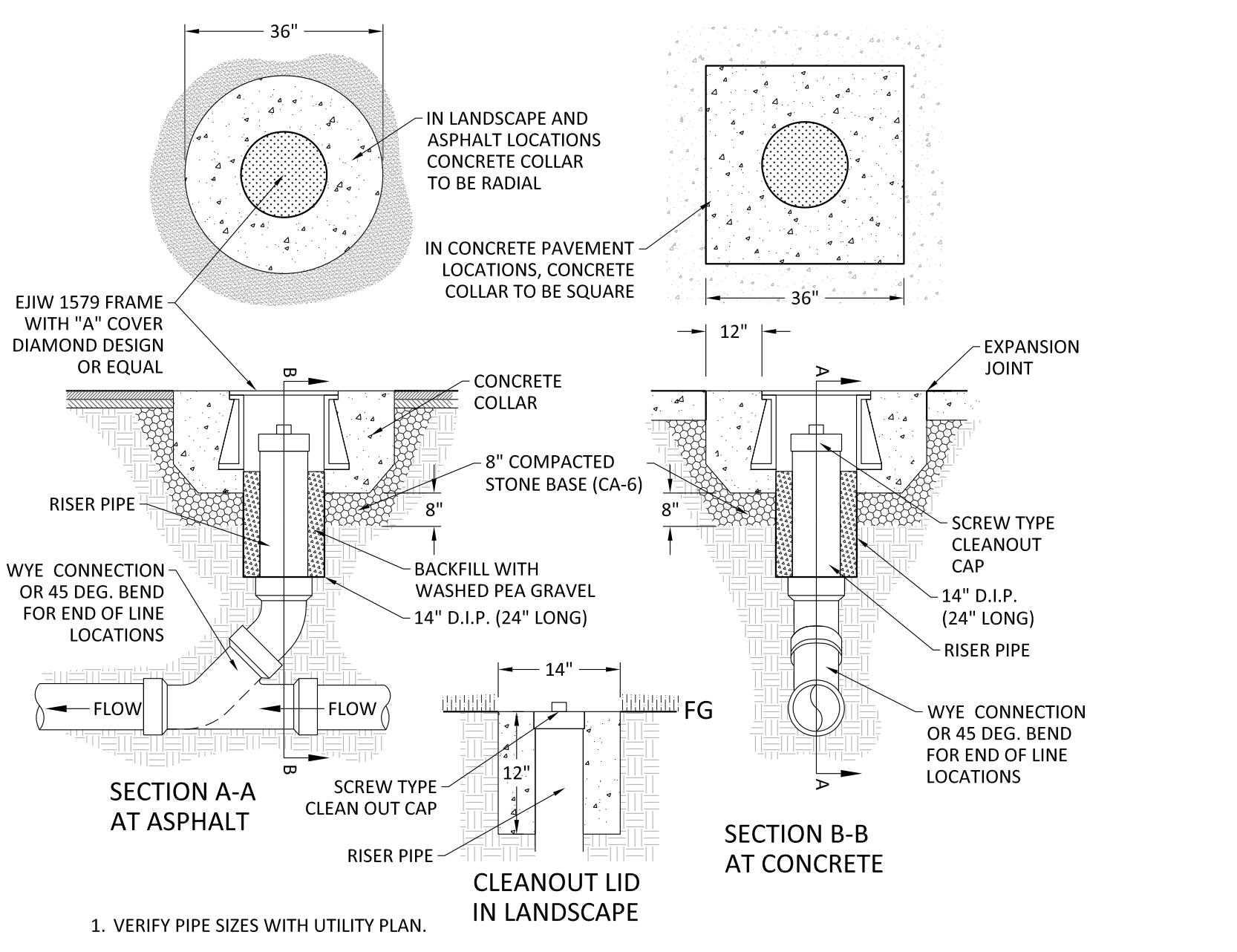
Slieve Sizes	Percentage Passing
1-1/2"	100
3/4"	80-100
#4	30-60
#30	5-35
#200	0-12

- Notes**
1. All backfill material shall be placed in lifts not to exceed 6 inches before compaction unless authorized by the City Engineer.
 2. Mechanical compaction of backfill material shall not begin until the depth of compacted backfill material is 2 feet above the top of pipe.
 3. Each lift shall be mechanically compacted to the required density prior to placing succeeding lifts of backfill material.
 4. Compaction tests shall be as required by the city construction inspector, but in no case less than 2 tests every 200 feet of trench.
 5. In-place density will be determined by one or more of the following methods:
(A) ASTM U1557, test for density of soil in place by the sand cone method.
(B) ASTM D2922, Nuclear method.
 6. Laboratory density will be determined by ASTM D 1557, Moisture-Density Relations of soils and soil-aggregate materials.
 7. If the edge of the trench falls within 3 feet of the gutter, the entire pavement shall be removed to the gutter.
 8. On steep slopes, construct clay or concrete dam through the bedding material as determined by the City Engineer.
 9. For concrete streets place 6 inches of Class A Portland Cement Concrete over 6" of Class 2 Aggregate Base for finished surface.
 10. All trench construction shall be in compliance with local OSHA standards.
 11. Place permanent pavement within 30 days after backfilling. Install temporary Asphalt Concrete (AC) to finish grade until permanent hot mix Asphalt (HMA) is placed.
 12. If existing HMA section is less than 4" grid AC to full depth of existing AC and replace full depth of HMA section (4" minimum).
 13. In paved streets, all cuts shall be smooth and vertical with the area being generally rectangular. Native material may be used as backfill if approved by the City Engineer. If sand backfill is used, it must be well graded, tamped with vibratory compactor and lightly jetted, if needed with vibratory vibrator.
 14. A semi-finished surface or lowered cross-section (Max lowered depth: 1/2" of AC) will be allowed for a maximum of 15 days after backfilling to allow for setting. NO CUT BACK OR COLD PATCH only hot mix asphalt or recessed trench plates allowed. Contractor shall immediately patch any time that excessive setting occurs or as directed by the City Engineer or City representative.
 15. Within 15 days, Contractor shall restore surface to its original condition with hot mix asphalt (HMA) per the requirements below. No restoration shall be less substantial than existing construction. In cases of concrete streets, a 6" thickness of concrete on a 6" CL II AB is the minimum standard.
 16. A 6" course of CL II AB and 3" HMA is minimum surface to be restored. No restoration shall be less substantial than existing construction. In cases of concrete streets, a 6" thickness of concrete on a 6" CL II AB is the minimum standard.

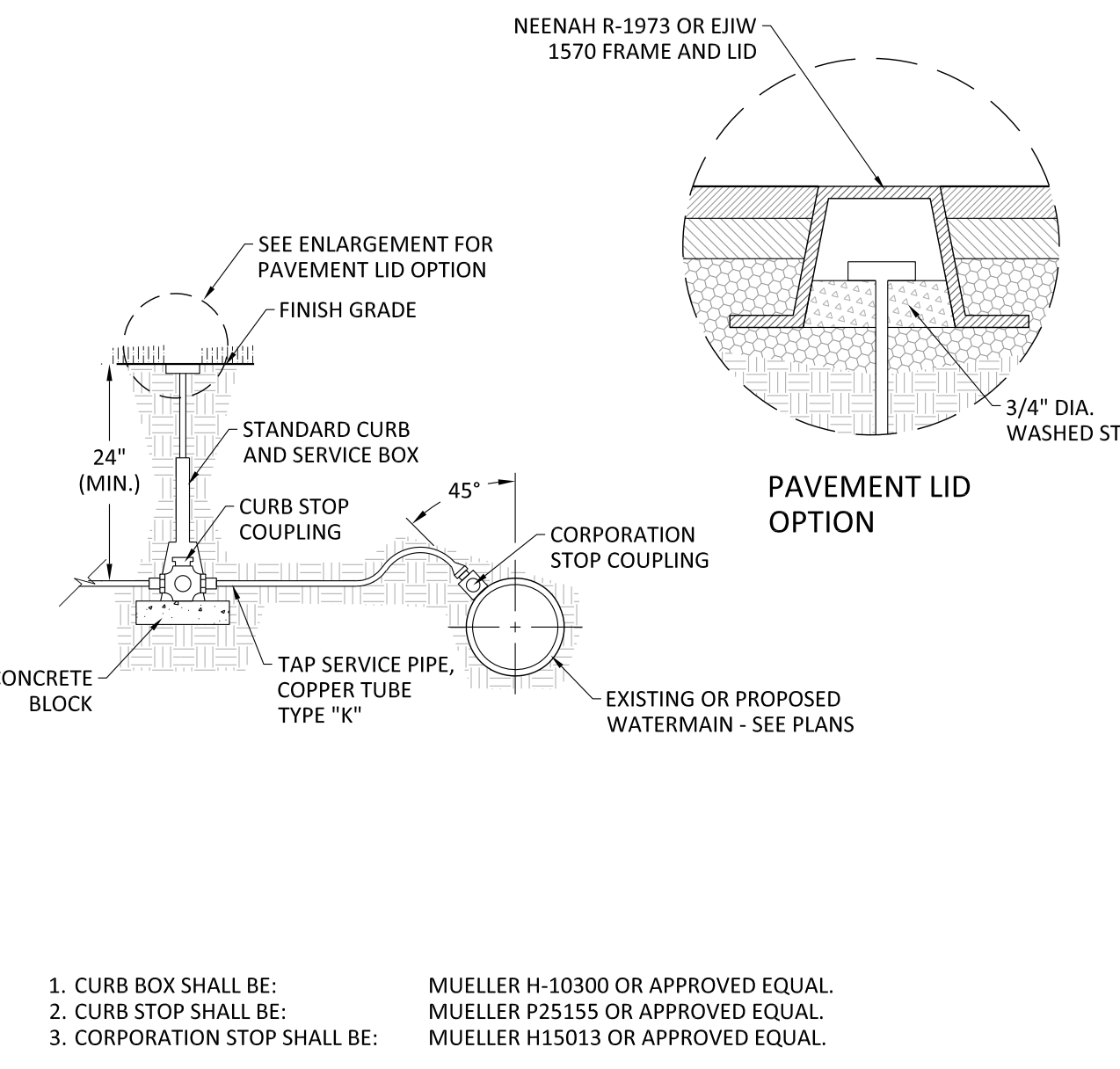
DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
July 2021	1	PIPE TRENCH NOTES	July 2021	1	PIPE TRENCH NOTES



DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
July 2021	1	MANHOLE FRAME AND COVER	July 2021	1	MANHOLE FRAME AND COVER



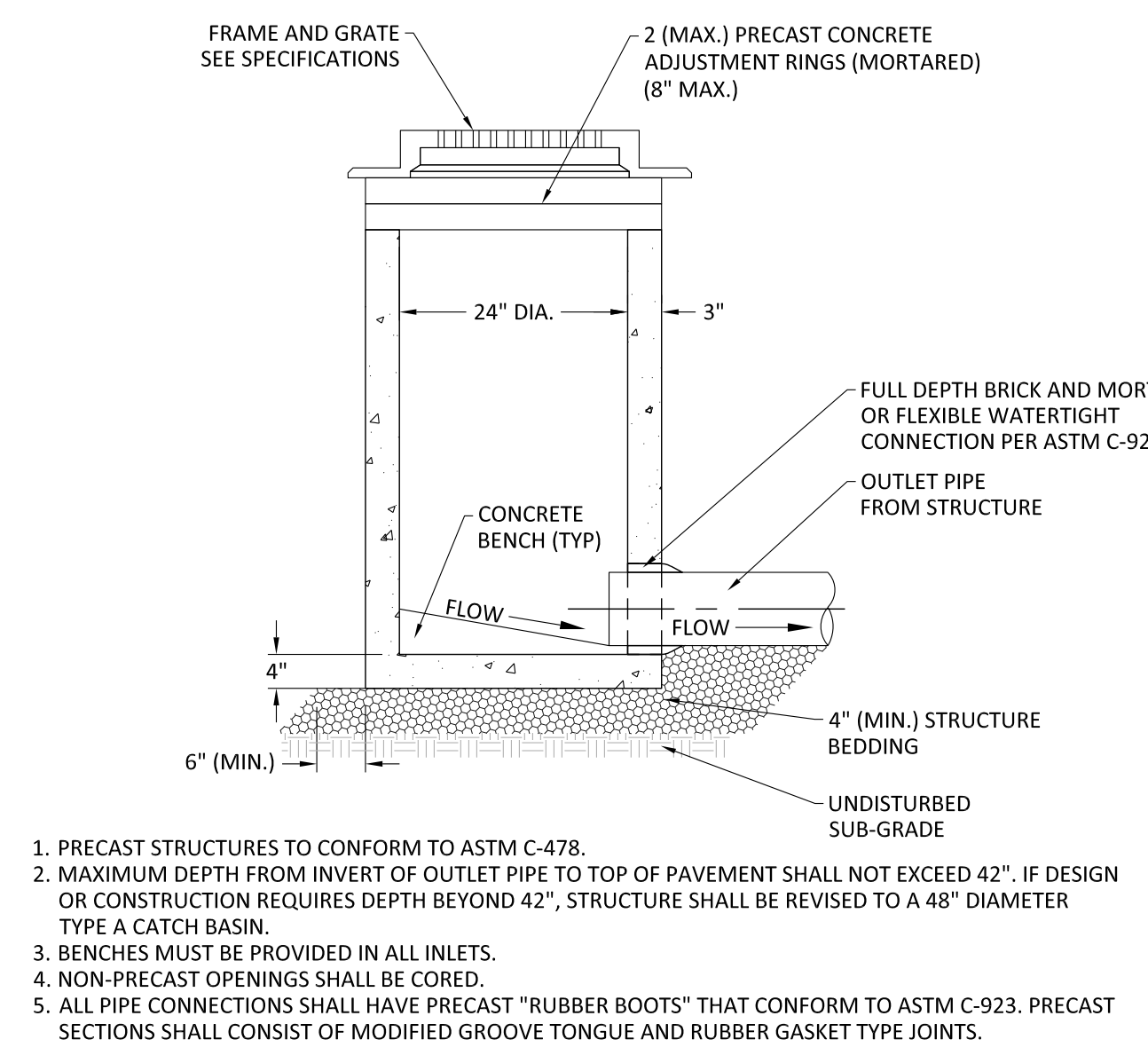
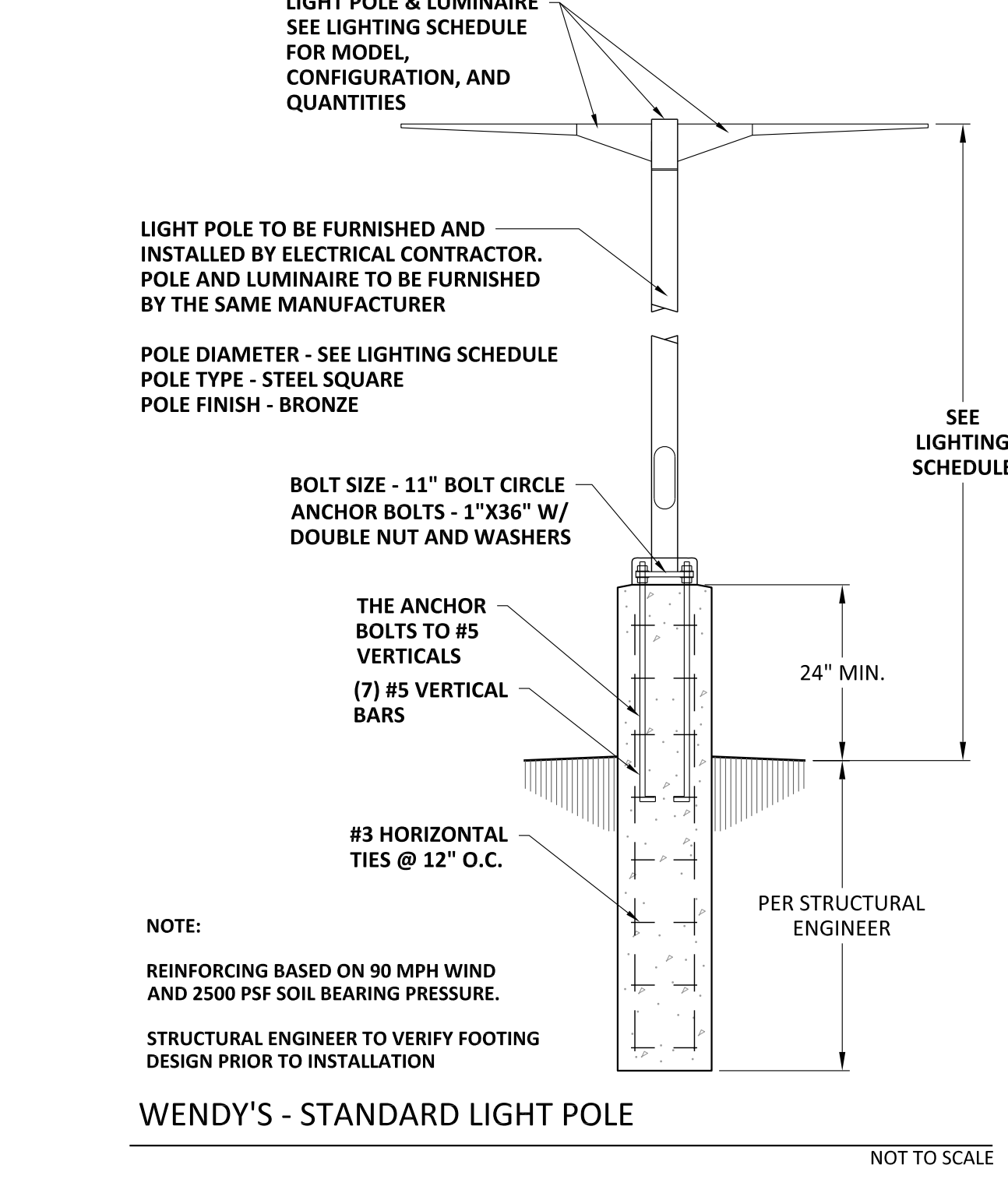
DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
July 2021	1	PIPE TRENCH NOTES	July 2021	1	PIPE TRENCH NOTES



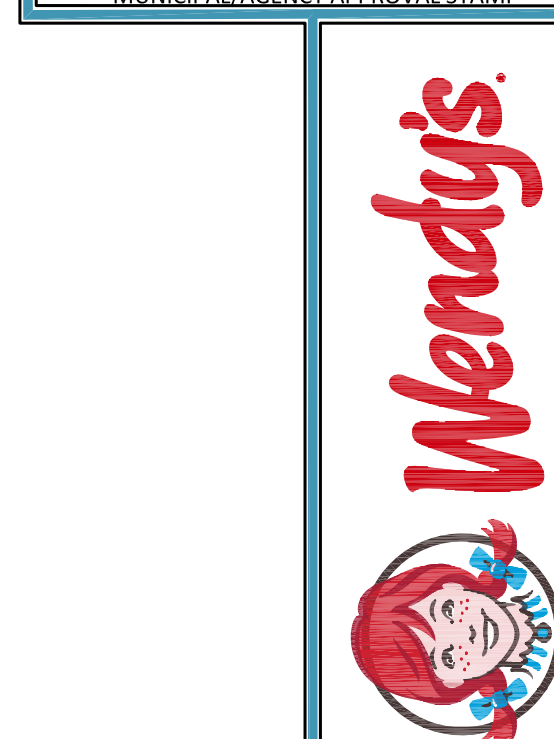
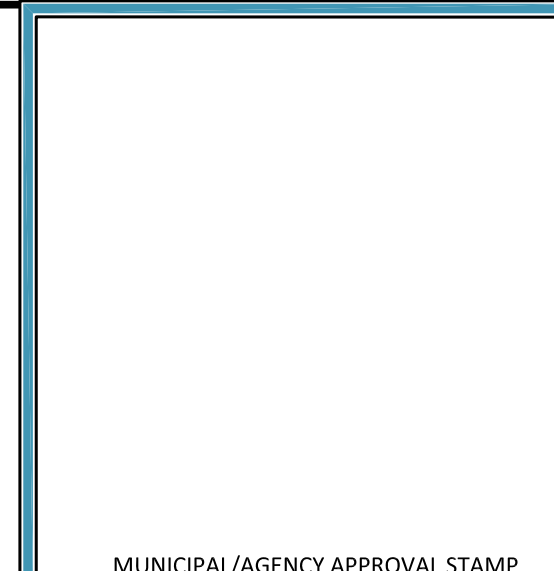
1. CURB BOX SHALL BE: MUELLER H-10300 OR APPROVED EQUAL.
2. CURB STOP SHALL BE: MUELLER P25155 OR APPROVED EQUAL.
3. CORPORATION STOP SHALL BE: MUELLER H15013 OR APPROVED EQUAL.

DOMESTIC SERVICE TAP CONNECTION

NOT TO SCALE



DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION
July 2021	1	PIPE TRENCH NOTES	July 2021	1	PIPE TRENCH NOTES



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)

1082 E. MAIN STREET
OAKLEY, CA

PROJECT DETAILS 2

NO.	DATE	REVISION DESCRIPTION	BY	CHKD.	APP.
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2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021	KMP		

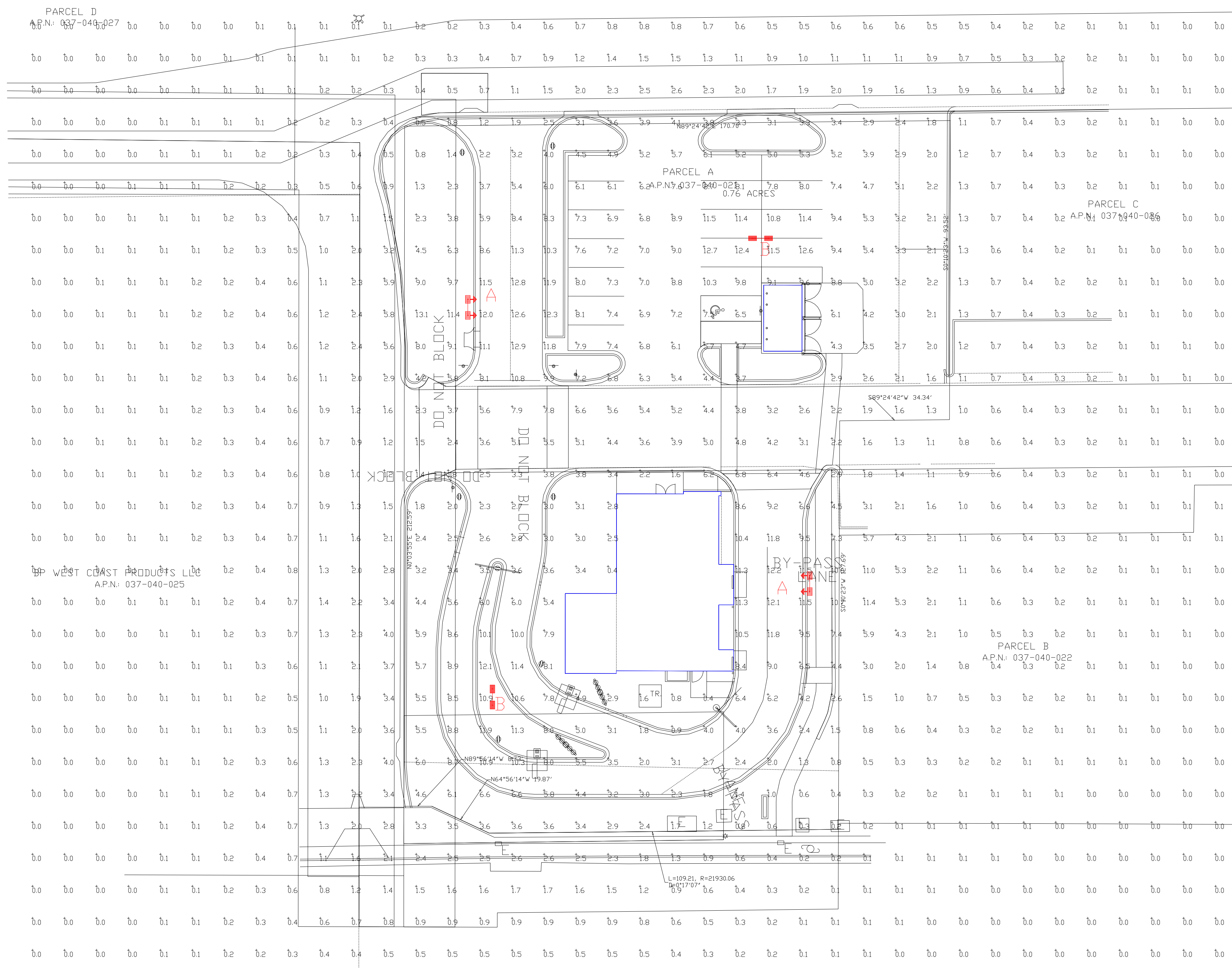
DESIGNED BY: KMP
REVIEWED BY: BP
DATE: 04/09/2021
PHONE: 5325-300-32-01

Weaver Consultants Group

OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
MARTINEZ, CALIFORNIA 94553
(630) 717-4848
wecgp.com

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SHEET #: C-11

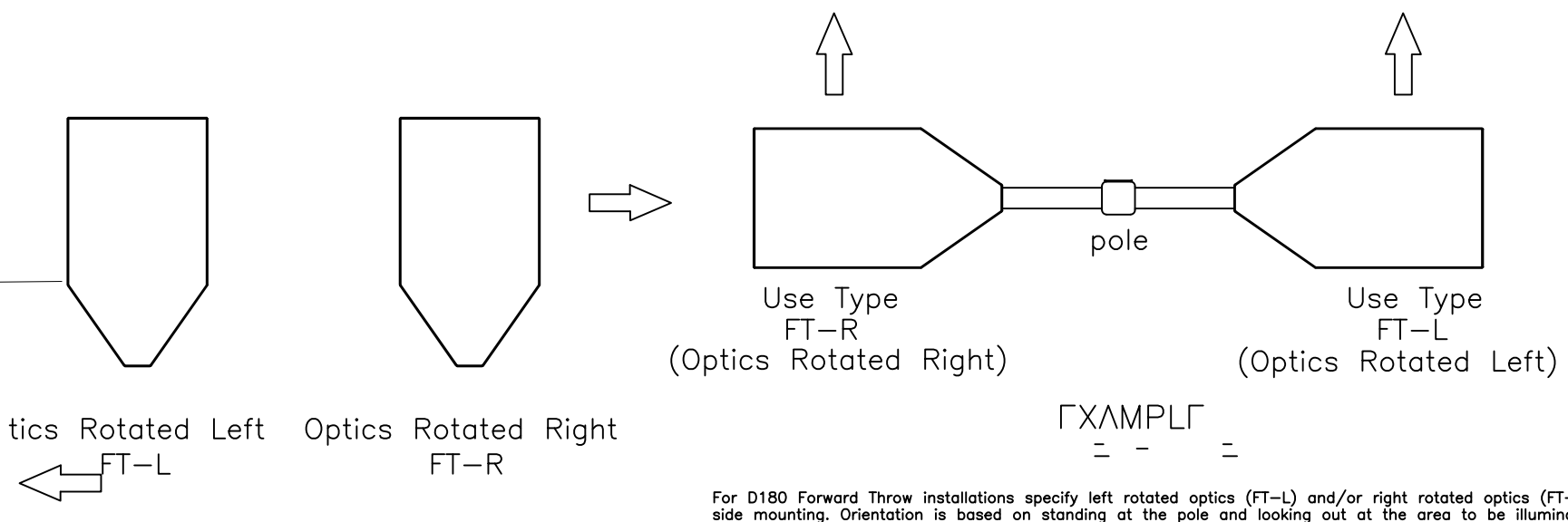


Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE	Illuminance	Fc	2.01	13.1	0.0	NA.	NA.
PARKING & DRIVE SUMMARY	Illuminance	Fc	6.40	12.9	1.6	4.00	8.06

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	2	A	D180° 2RTD	SLM-LED-30L-SIL-(1)FT-L,(1)FT-R-50-70CRI-D180RT-24' POLE+2' BASE	1.000	1.000	1.000	63844	464
	2	B	D180°	SLM-LED-30L-SIL-FT-50-70CRI-D180-24' POLE+2' BASE	1.000	1.000	1.000	63844	464

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Top View
Fixture Type A



Steel Poles
Square Straight



QUICK LINKS

- [Ordering Guide](#)
- [Configurations](#)
- [Dimensions](#)
- [EPA](#)

FEATURES & SPECIFICATIONS

- Pole Shaft**
 - Straight poles are 4", 5", or 6" square.
 - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi.
 - On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length.
- Hand-Hole**
 - Standard hand-hole location is 12" above pole base.
 - Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.
- Base**
 - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.
 - Two-piece square base cover is optional.
- Anchor Bolts**
 - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional.
 - Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.
- Ground Lug**
 - Ground lug is standard.
- Duplex Receptacle**
 - Weatherproof duplex receptacle is optional.
- Ground Fault Circuit Interrupter**
 - Self-testing Ground fault circuit interrupter is optional.
- Finishes**
 - Every pole is provided with the DuraGrip® Protection System and a 5-year limited warranty.
 - When the top-of-the line DuraGrip® Plus Protection System is selected, in addition to the DuraGrip® Protection System, a non-porous, automotive-grade corrosion coating is applied to the lower portion of the pole interior, sealing and further protecting it from corrosion. This option extends the limited warranty to 7 years.
- Determining The Luminaire/Pole Combination For Your Application:**
 - Select luminaire from luminaire ordering information
 - Select bracket configuration if required
 - Determine EPA value from luminaire/bracket EPA chart
 - Select pole height
 - Select MPH to match wind speed in the application area (See Windspeed maps)
 - Confirm pole EPA equal to or exceeding value of luminaire/bracket EPA
 - Consult factory for special wind load requirements and banner brackets
- Pole Vibration Damper**
 - A pole vibration damper is recommended in open terrain areas of the country where low steady state winds are common.
 - Non-tapered poles and lightly loaded poles are more susceptible to destructive vibration if a damper is not installed.
- Listings**
 - UL Listed
 - BAA/TAA Compliant

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Page 1/5 Rev: 04/02/21
SPEC 1070.A.0920

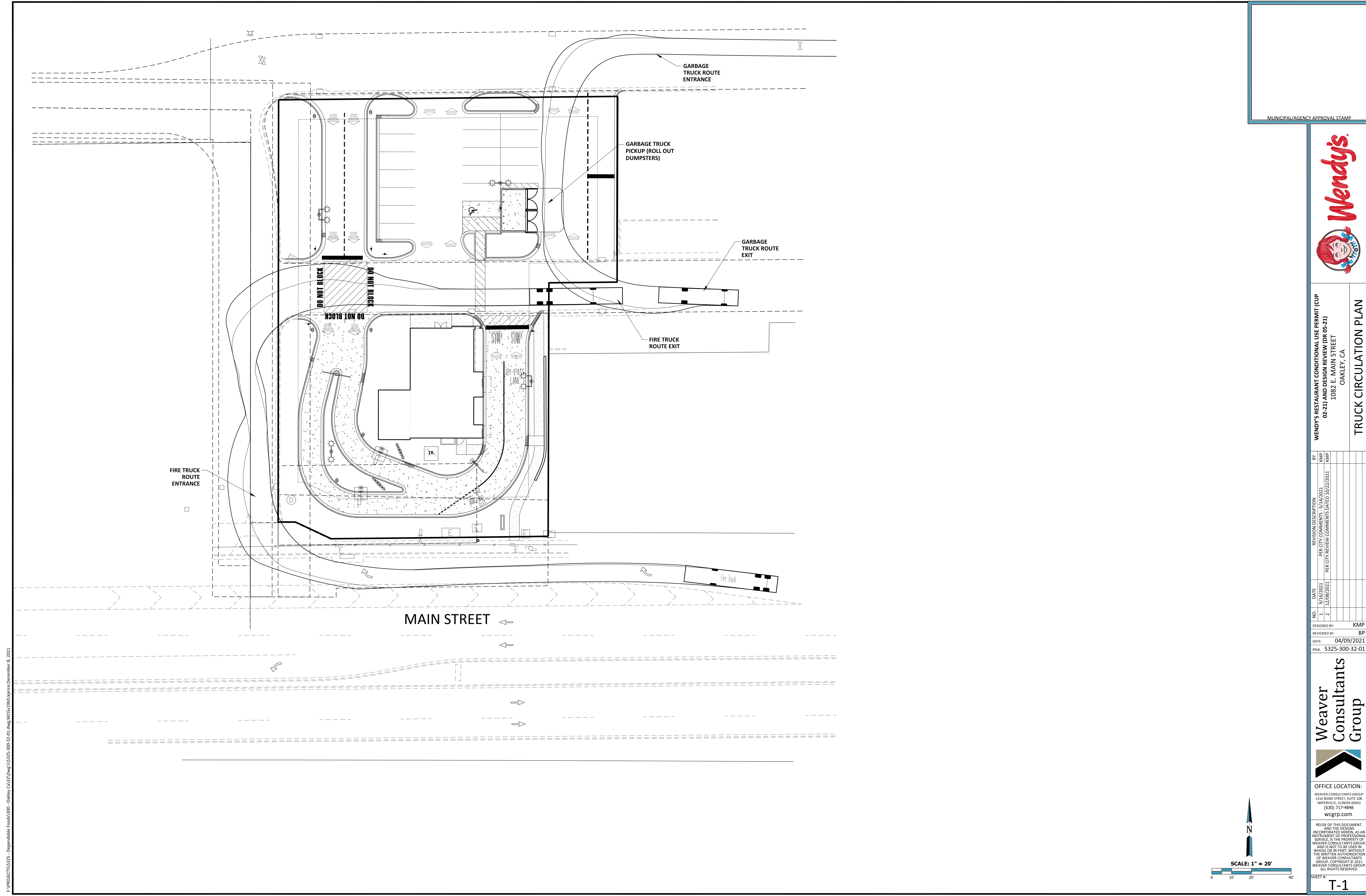
Total Project Watts
Total Watts = 1856

LIGHTING PROPOSAL LD-154455

WENDY'S
MAIN ST
GAINLEY, CA

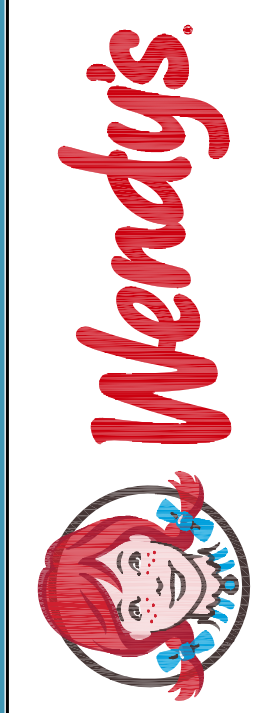
BY: AHK DATE: 9/16/21 REV: SHEET 1 OF 1

SCALE: 1"=20'



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MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)
1082 E. MAIN STREET
OAKLEY, CA
TRUCK CIRCULATION PLAN

NO.	DATE	REVISION DESCRIPTION	BY
1	07/16/2021	PER CITY COMMENTS - 5/24/2021	KMP
2	12/08/2021	PER CITY REVIEW COMMENTS DATED 10/27/2021	KMP

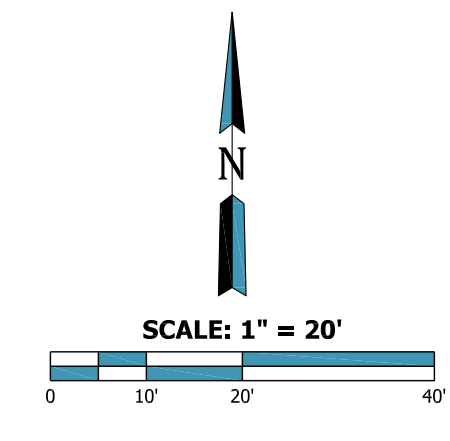
DESIGNED BY: KMP
REVIEWED BY: BP
DATE: 04/09/2021
PRJ# 5325-300-32-01



OFFICE LOCATION:
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
WAKESVILLE, ILLINOIS 60063
(630) 717-4848
wcgrp.com

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SHEET # T-1



10/12/2022, 10:17 AM, R:\Project\Wendy's\Exterior\A2.2 - Wendy's Elevations.dwg, \$GETVAR(7)

EXTERIOR FINISH SCHEDULE

SF-1	STOREFRONT - "DARK BRONZE"
PUW	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP / BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOXIDIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL-"LIGHT OAK"
KW-2	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL-"KNIGHTS-ARMOUR"
KW-3	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL-"BRITE-RED-MATTE"
E-2	EIFS - "WENDY'S RED"
E-7	EIFS - "DARK GREY"
E-8	EIFS - "TAN"
E-9	EIFS - "SILVER"(SMOOTH FINISH)
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)
ST-1	CORONADO STONE - EASTERN MOUNTAIN LEDGE "PROVO CANYON"

SITE NUMBER: 12898
 BUILDING TYPE: (2.0) SMART 30+
 ASSET TYPE: FREESTANDING
 CLASSIFICATION: NEW
 OWNER: COMPANY/FRANCHISE
 BASE VERSION: 2020
 UPGRADE CLASSIFICATION:
 NEW BUILD
 PROJECT YEAR: 2021
 DESIGN TYPE: (2.0) UM BRITE
 DRAWING RELEASE: SUMMER

**DUSTIN CURTIS,
 ARCHITECT**

513 MAIN STREET SUITE 300
 FORT WORTH TX 76102

**WENDY'S RESTAURANT
 CONDITIONAL USE
 PERMIT (CUP 02-21) &
 DESIGN REVIEW (DR
 05-21)**

PROJECT TYPE: NEW
 SMART 30+

Wendy's

12898 MAIN STREET
 OAKLEY, CA 94561

REV.	DATE	DESCRIPTION
1	05/28/21	CITY COMMENTS
2	11/17/21	CITY COMMENTS
3	01/19/22	CITY COMMENTS

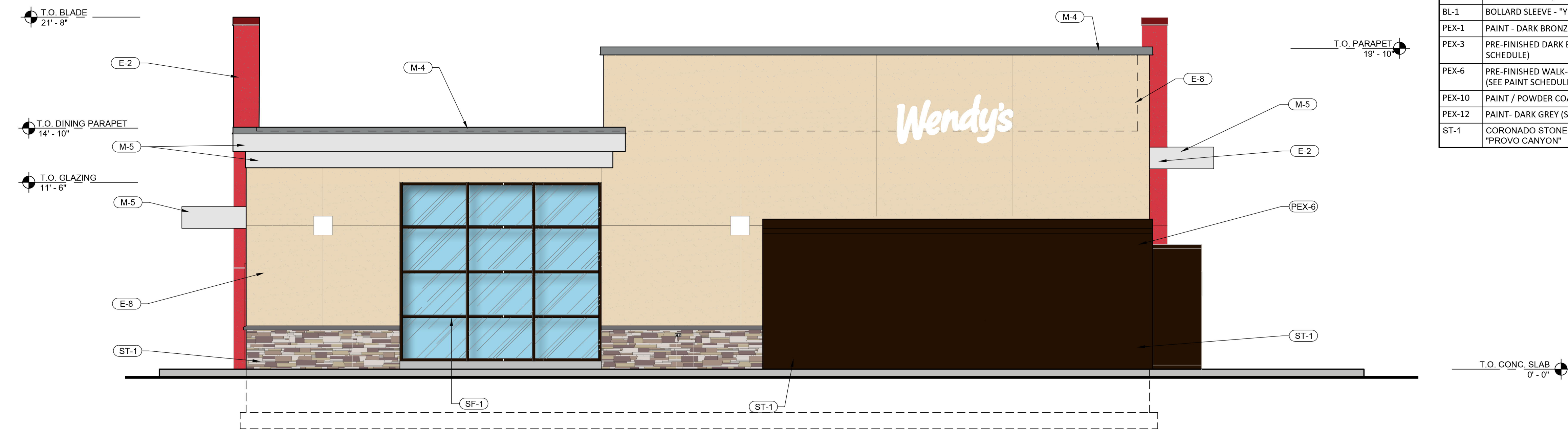
ISSUE DATE: TBD
 PROJECT NUMBER: 21-0111
 DRAWN BY: BCI
 CHECKED BY: RD

SEAL

SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NUMBER

A2.2



RIGHT SIDE ELEVATION (2)
 1/4" = 1'-0"



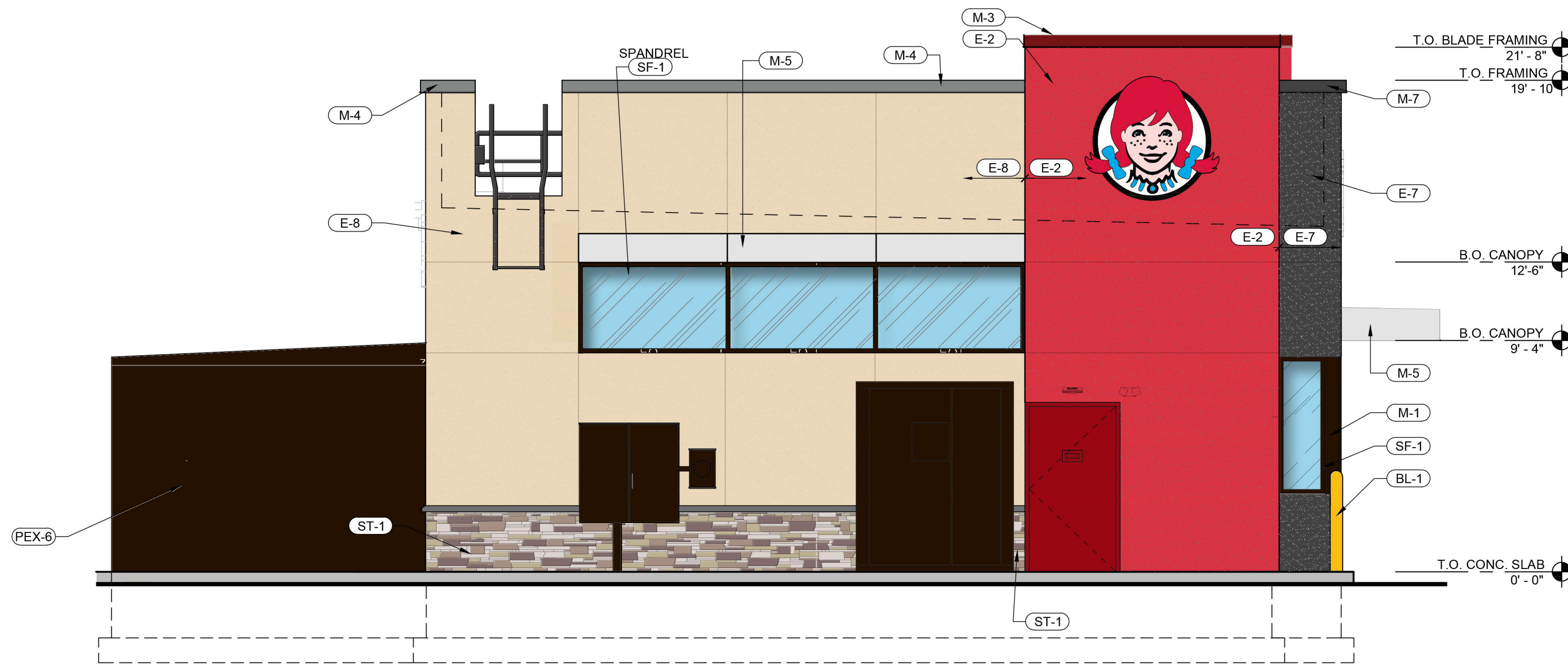
LEFT SIDE ELEVATION (1)
 1/4" = 1'-0"

NOT USED.

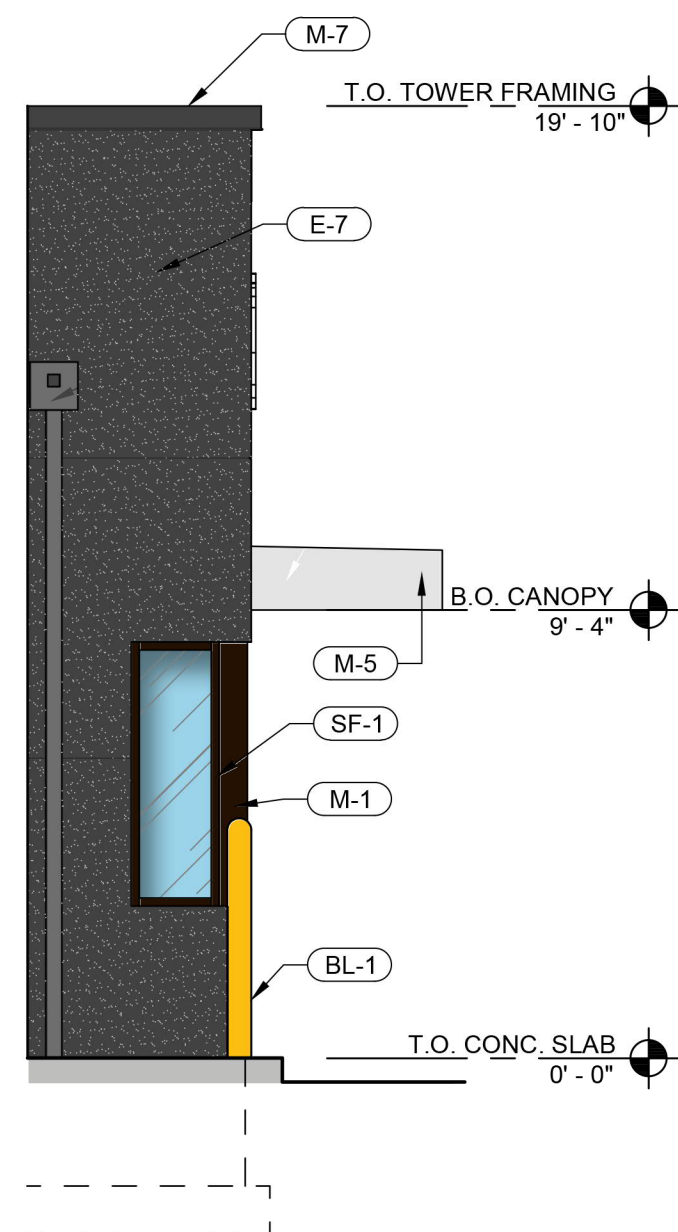
3/8" = 1'-0" 6

NOT USED

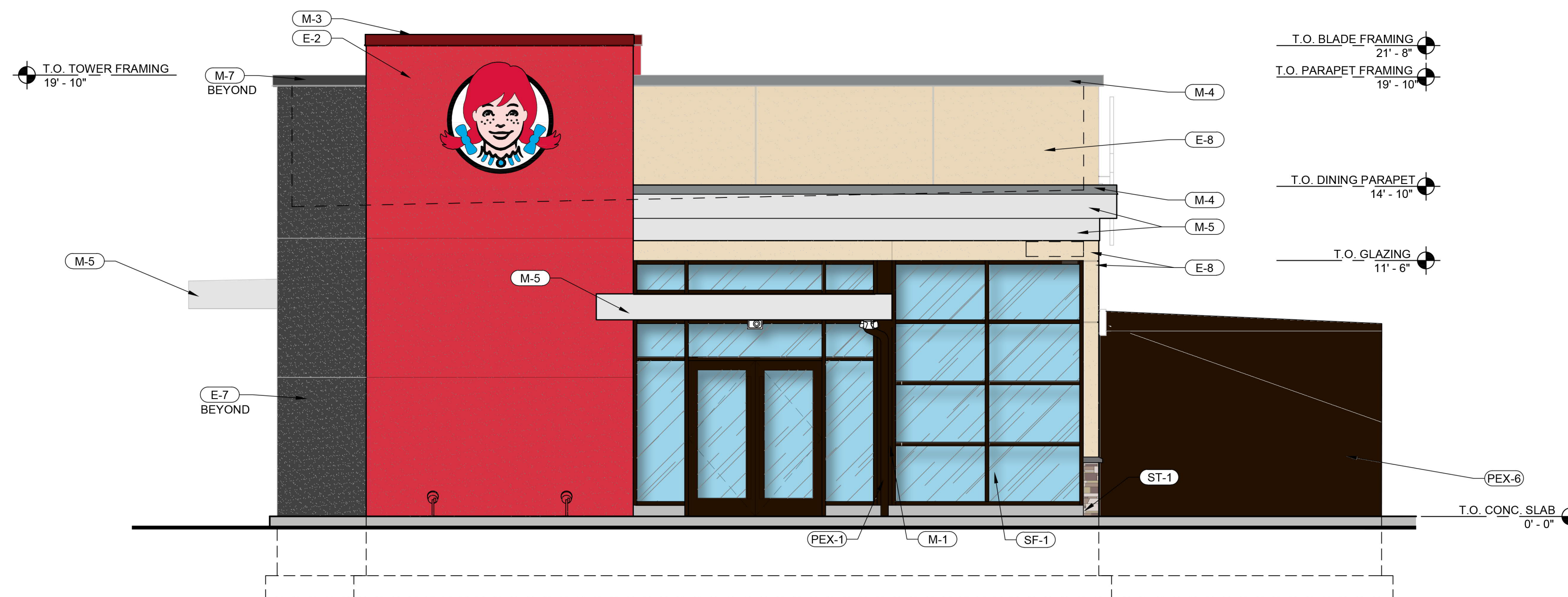
3/4" = 1'-0" 5



REAR ELEVATION 2
1/4" = 1'-0"



REAR DRIVE-THRU ELEVATION 3
1/4" = 1'-0" ON 24" x 36" SHEET



FRONT ELEVATION 1
1/4" = 1'-0" ON 24" x 36" SHEET

EXTERIOR FINISH SCHEDULE

SF-1	STOREFRONT - "DARK BRONZE"
PW	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP/ BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOXIDIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL- "LIGHT OAK"
KW-2	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL- "KNIGHTS ARMOUR"
KW-3	KNOTWOOD-PREFINISHED-ALUMINUM-SIDING-MATERIAL- "BRITE RED MATT"
E-2	EIFS - "WENDY'S RED"
E-7	EIFS - "DARK GREY"
E-8	EIFS - "TAN"
E-9	EIFS - "SILVER" (SMOOTH FINISH)
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)
ST-1	CORONADO STONE -EASTERN MOUNTAIN LEDGE "PROVO CANYON"

NOTE:
SCALE IS ACCURATE ON 24" X 36" SIZE SHEET

SITE NUMBER: 12898
BUILDING TYPE: (2.0) SMART 30+
ASSET TYPE: FREESTANDING
CLASSIFICATION: NEW
OWNER: COMPANY/FRANCHISE
BASE VERSION: 2020
UPGRADE CLASSIFICATION: NEW BUILD
PROJECT YEAR: 2021
DESIGN TYPE: (2.0) UM BRITE
DRAWING RELEASE: SUMMER

DUSTIN CURTIS,
ARCHITECT

513 MAIN STREET SUITE 300
FORT WORTH TX 76102

WENDY'S RESTAURANT
CONDITIONAL USE
PERMIT (CUP 02-21) &
DESIGN REVIEW (DR
05-21)

PROJECT TYPE: NEW
SMART 30+

Wendy's
12898 MAIN STREET
OAKLEY, CA 94561

REV.	DATE	DESCRIPTION
1	05/28/21	CITY COMMENTS
2	11/17/21	CITY COMMENTS
3	01/19/22	CITY COMMENTS

ISSUE DATE: TBD
PROJECT NUMBER: 21-0111
DRAWN BY: BCI
CHECKED BY: RD

SEAL

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1

MATERIAL/COLOR BOARD

WENDY'S CONDITIONAL USE (CUP 02-21) & DESIGN REVIEW (DR 05-21)



SF - 1: STORE FRONT - "DARK BRONZE".

PUW - PICK UP WINDOW TO MATCH STOREFRONT



M-1: PARAPET CAP/BRAKE METAL - "DARK BRONZE".



M-3: EXCEPTIONAL METALS - "BRIGHT RED"



M-4: EXCEPTIONAL METALS - "SILVER METALLIC".



M-7: EXCEPTIONAL METALS - "CUSTOM DARK GREY".



E-2: EIFS - "WENDY'S RED".



E-7: EIFS - "DARK GREY".



E-8: - "TAN".



PEX-1: PAINT - "DARK BRONZE".

PEX-3: PRE-FINISHED "DARK BRONZE" SIGN CABINETS



PEX-2: PAINT "RED" AT REAR DOOR



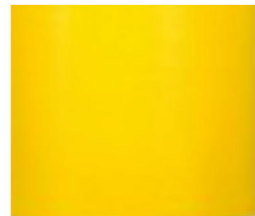
PEX-6: PRE-FINISHED WALK-IN FREEZER / COOLER "DARK BRONZE"



PEX-10: PAINT/ POWDER COAT - "BLACK"



M-5: BRAKE METAL – “CLEAR ANNOIDIZED”.



BL-1: BOLLARD SLEEVE- “YELLOW “.



PEX-12: PAINT – “DARK GREY”



Eastern Mountain Ledge® - Provo Canyon Grey

ST-1: STONE WAINSCOT - “PROVO CANYON GREY” EASTERN MOUNTAIN LEDGE STONE