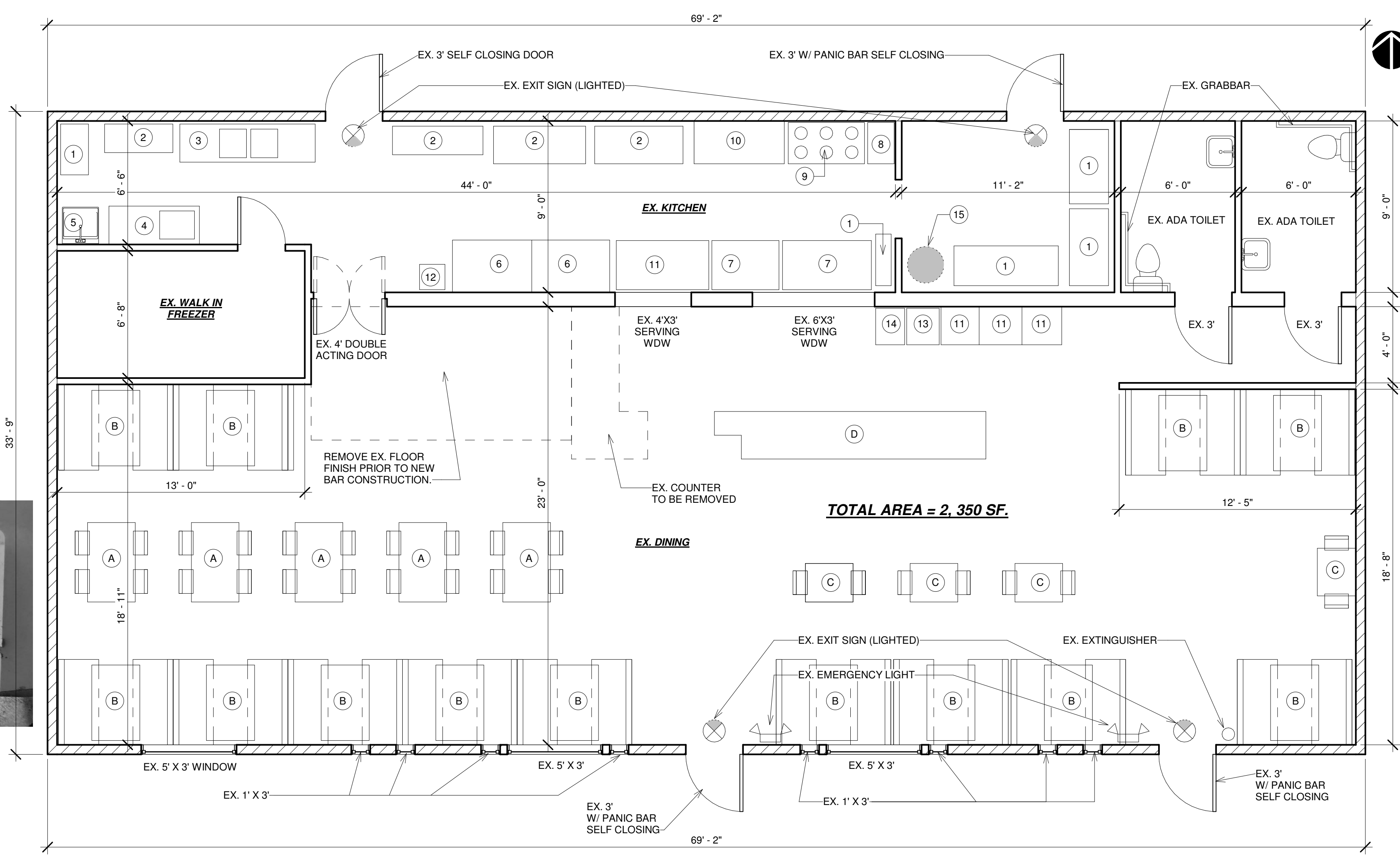


EX. EQUIPMENT SCHEDULE	
NO.	DESCRIPTION
1	EX. SHELVES W/ STAINLESS STEEL FINISH
2	EX. PREP TABLE W/ STAINLESS STEEL FINISH
3	EX. 3-SINK COMPARTMENTS W/ STAINLESS STEEL FINISH
4	EX. 1-SINK COMPARTMENT W/ STAINLESS STEEL FINISH
5	EX. UTILITY SINK W/ STAINLESS STEEL FINISH
6	EX. FREEZER
7	EX. SANDWICH PREP TABLE W/ STAINLESS STEEL FINISH
8	EX. DEEP FRYER
9	EX. 6-BURNER STOVE
10	EX. HAMBURGER GRIDDLE
11	EX. REFRIGERATOR
12	EX. HAND SINK
13	EX. ICE MAKER
14	EX. SODA DISPENSER
15	EX. HOT WATER TANK BY A.O. SMITH GCN-75 100, 74 GALLON, 75100 BTU



EX. MILLWORK SCHEDULE	
NO.	DESCRIPTION
A	EX. 4-SEAT TABLE TYPE 1
B	EX. 4-SEAT TABLE TYPE 2
C	EX. 2-SEAT TABLE
D	EX. CASHIER COUNTER



5 EXISTING & DEMOLITION PLAN
1/4" = 1'-0" AREA = 2,350 SF.

SCOPE OF WORK - TENANT IMPROVEMENT

- REFRAME AND ADD NEW WALLS AS REQUIRED. NONE TO BE INTRICATELY STRUCTURED TO THE BUILDING.
- DO ELECTRICAL WORK AS REQUIRED FOR NEW PLAN.
- DO PLUMBING WORK AS REQUIRED FOR NEW PLAN. INSTALL NEW LIGHTING AS REQUIRED.
- INSTALL COUNTERS & COVE AS REQUIRED.
- INSTALL & PROVIDE FLOORING AND ALL OTHER REQUIRED FINISHES.
- PROVIDE AND INSTALL NEW EQUIPMENT AS REQUIRED.

APPLICABLE CODES:

2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 TITLE 24 ENERGY STANDARDS AND ANY OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS, AND REGULATIONS.

GENERAL NOTES:

ALL WORK SHALL BE EXECUTED IN ACCORDANCE W/ THE 2019 CRC, CBC, CPC, CMC, CEC, AND ALL APPLICABLE CITY STANDARDS.

ALL MECHANICAL, PLUMBING & ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE W/ THE FOLLOWING:
MECHANICAL -2019 CMC, PLUMBING -2019 CPC, ELECTRICAL -2019 CEC.

DOORS & WINDOWS TO EXTERIOR SHALL FULLY WEATHERSTRIPPED.

SLOPE ALL GRADE AWAY FROM NEW CONSTRUCTION AT 6" IN 5'.

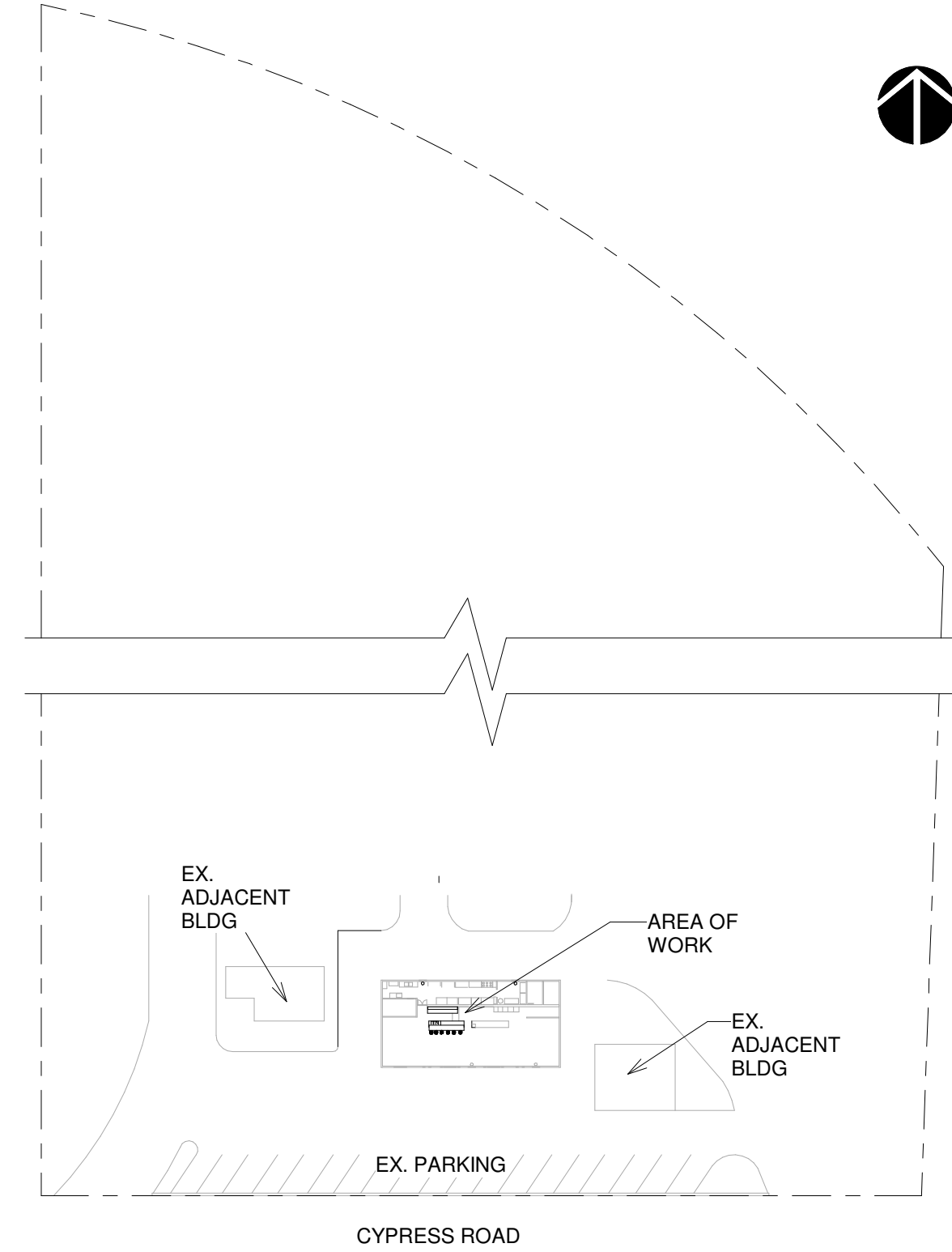
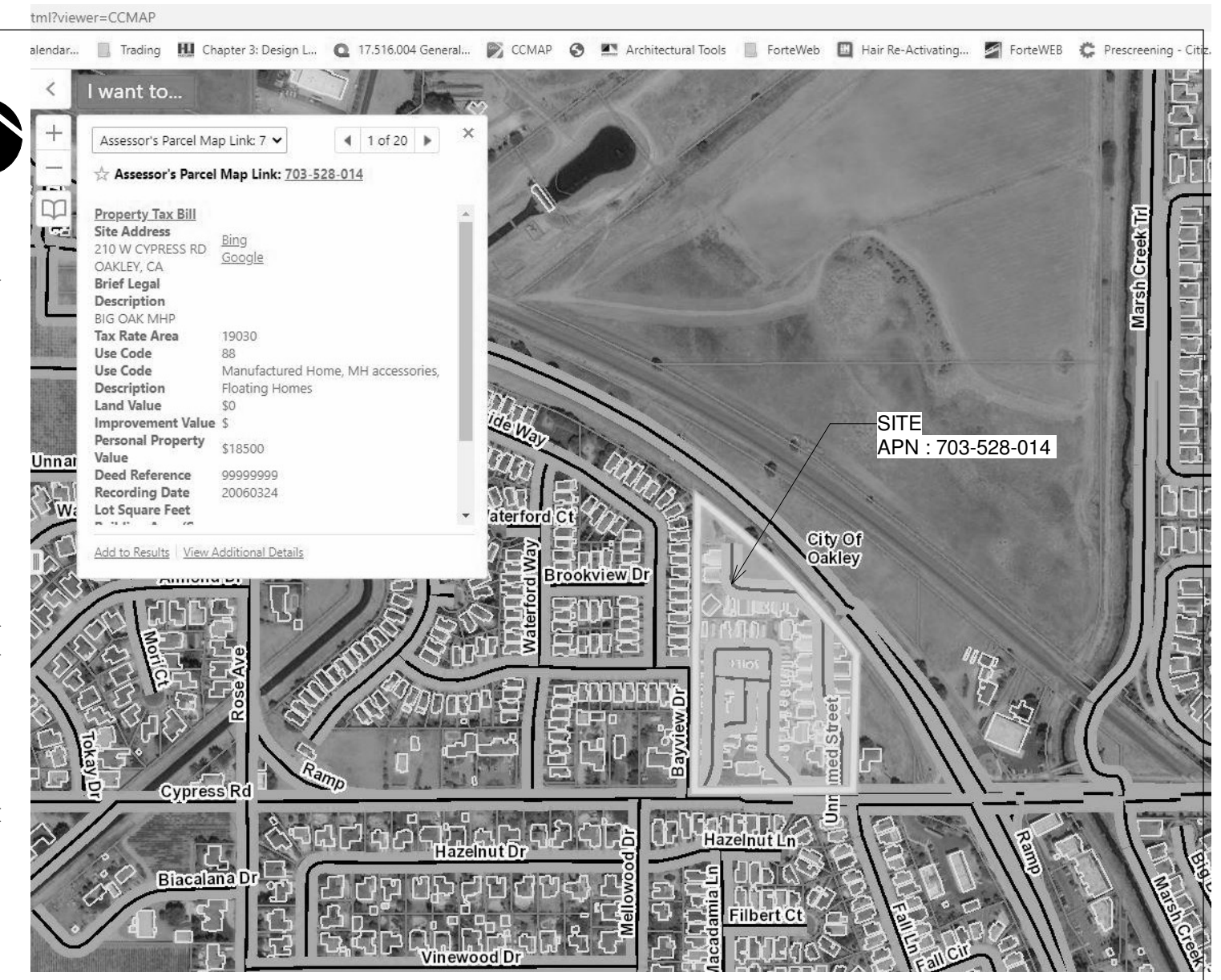
ALL NEW GLASS TO BE DUAL GLAZED, LOW E, APPROVED.

CONTRACTOR TO PROVIDE DAMP PROOFING ON EXISTING & NEW CONCRETE SLABS AT LIVING AREA.

ALL WOOD CONSTRUCTION TO BE D.F. #2 OR BETTER UNLESS OTHERWISE NOTED.

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD.

ALL NEW CONSTRUCTION MUST MATCH & BLEND WITH EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.



PROJECT INFORMATION:

OWNER: ANNA FARIAS (925-305-6847)
ADDRESS: 200 W. CYPRESS ROAD, OAKLEY CA
TOTAL AREA: 2,350 SF. (EXISTING)
PROPOSED: BAR ADDITION TO 7 MARES RESTAURANT
ZONING DISTRICT: C
APN #: 703-528-014
SPRINKLER: NO
SEAT: 80 (NO CHANGE)
CONSTRUCTION TYPE: IV
GROUP: A-2

Sheet List

Sheet Number	Sheet Name
A-1	ASSESSOR MAP, SITEPLAN, EXISTING & DEMOLITION PLAN
A-2	PROPOSED BAR & ELECTRICAL/ LIGHTING PLAN, PLUMBING PLAN, DETAILS



No.	Description	Date

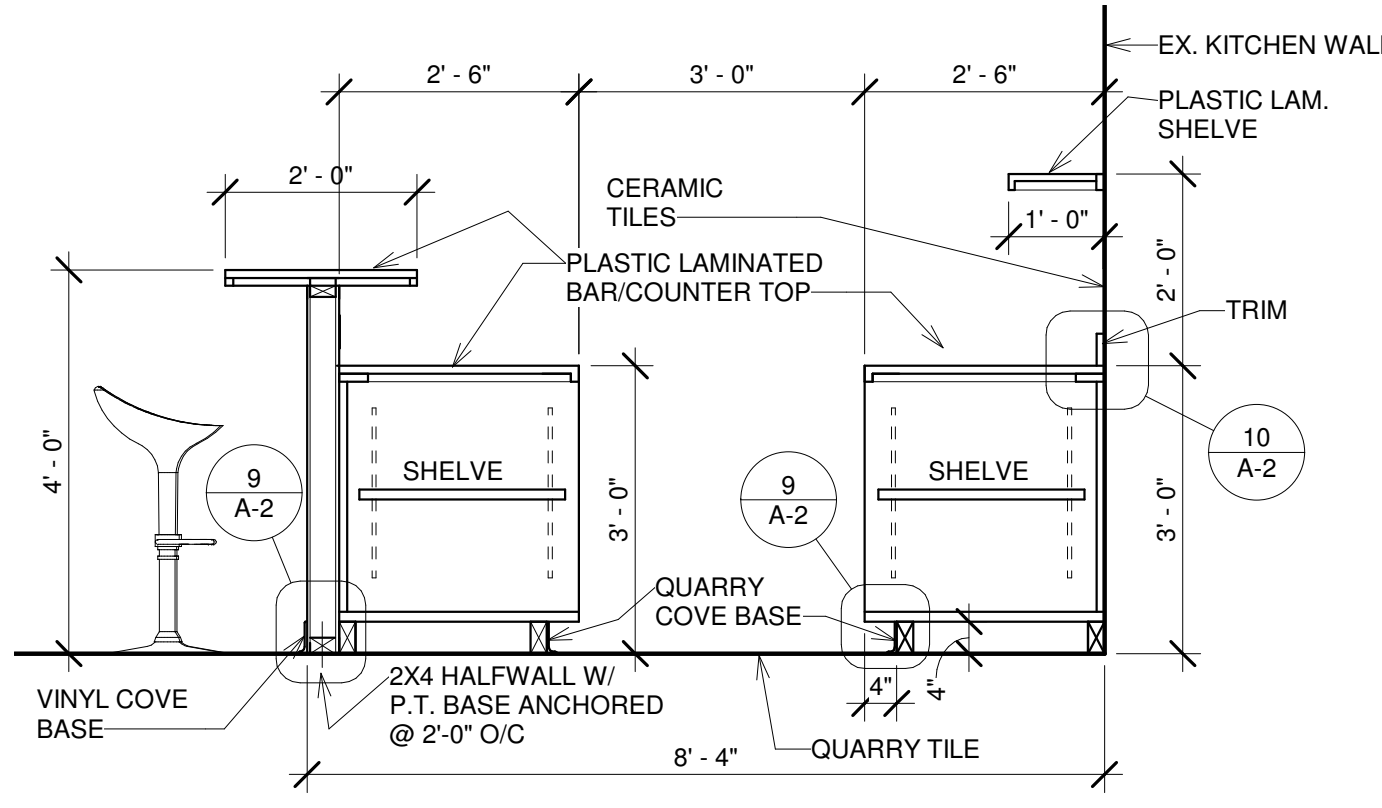
CURIEL CONSTRUCTION INC.
527 BROWNSTONE ROAD
OAKLEY CA 94651
925-237-7038
973-948-1670
License # 953462
Drafter: ROMEO ABLIAR
romeo.abliar@gmail.com

ANA FARIAS
Bar Addition to 7 Mares Grill Restaurant
200 W. Cypress Road Oakley CA

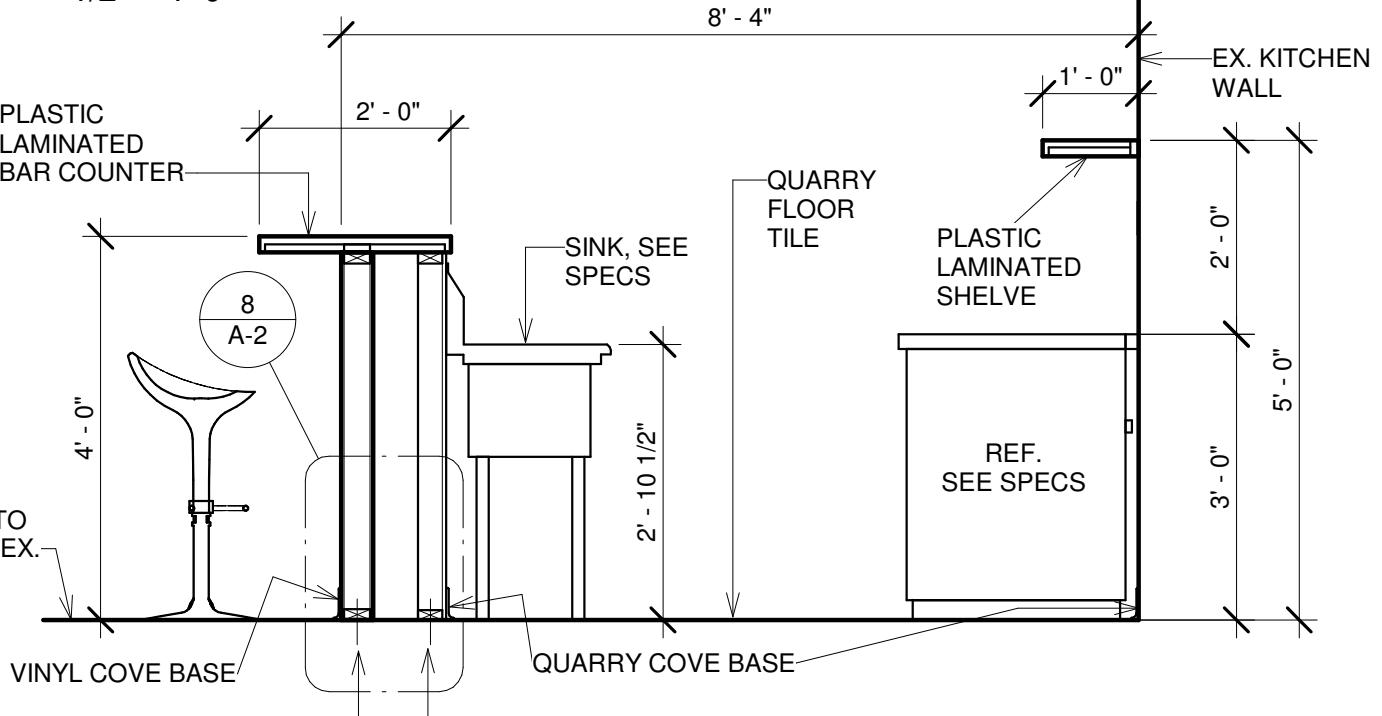
ASSESSOR MAP, SITEPLAN, EXISTING & DEMOLITION PLAN

Drawn by RA
Checked by RA
Date 2021.06.30
Scale As indicated
Project number

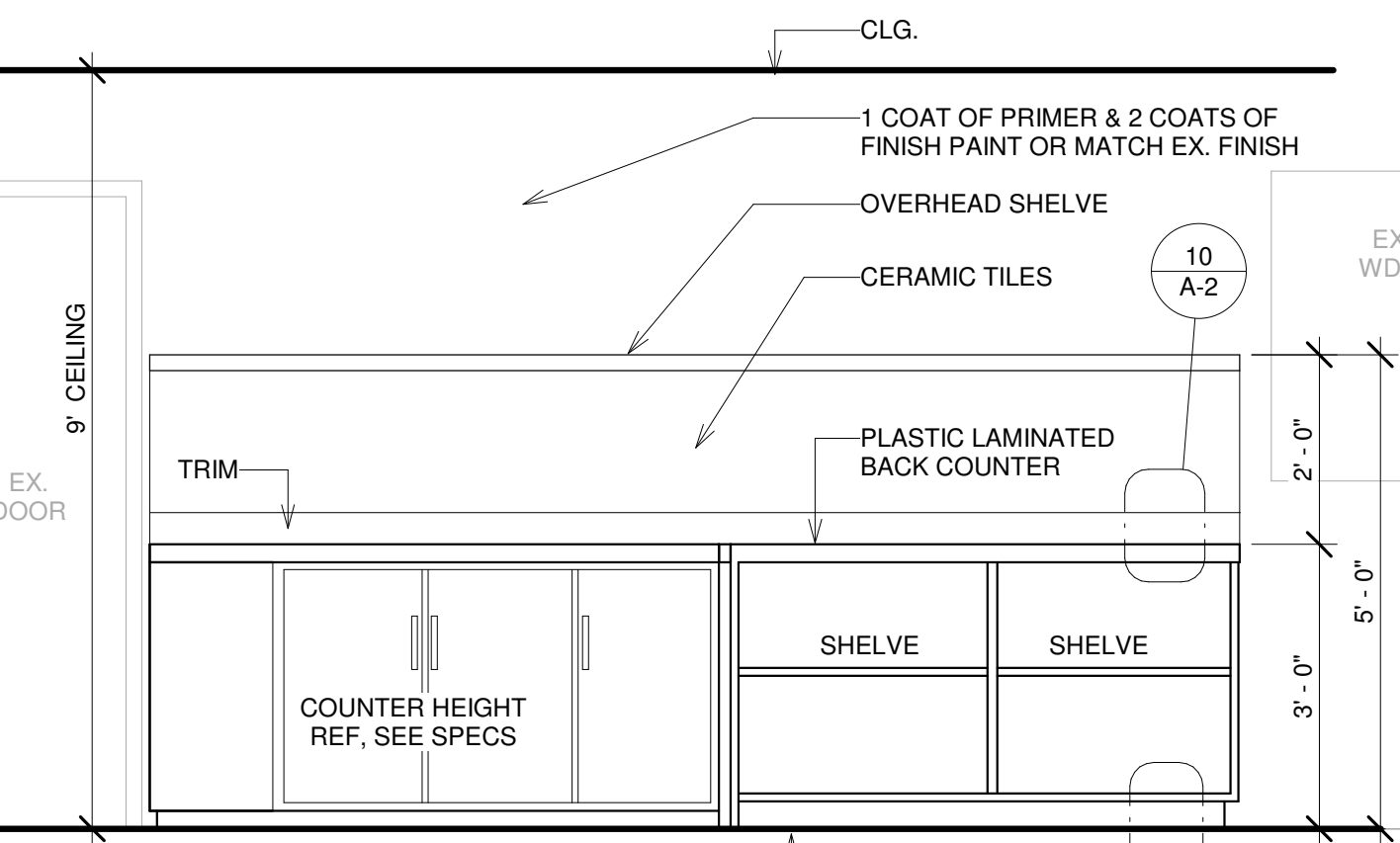
A-1



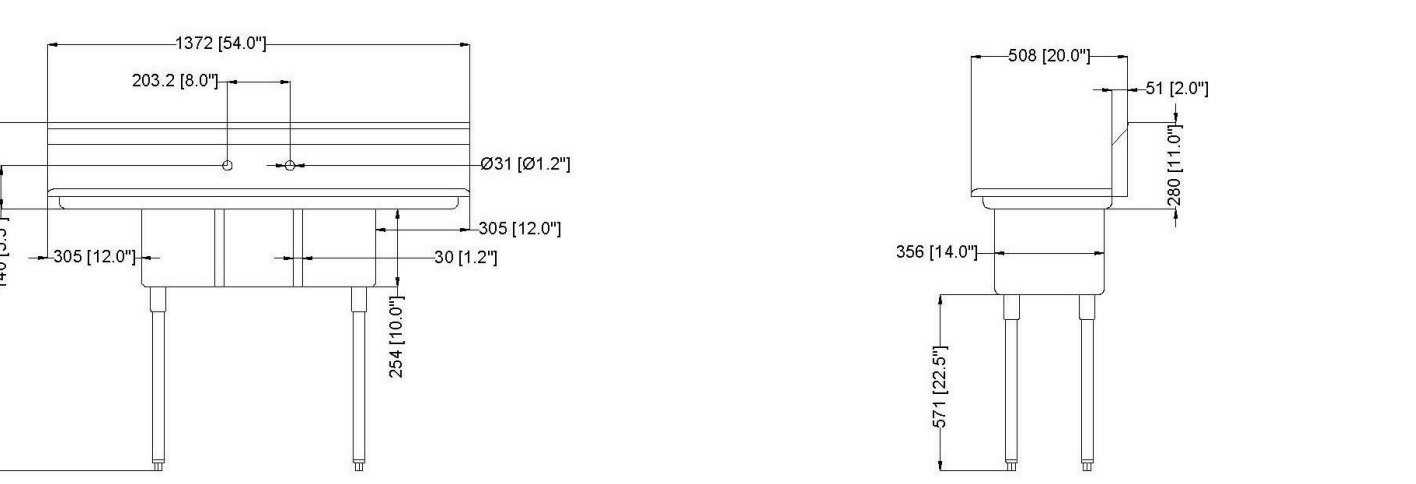
3 FRONT & BACK COUNTER DETAIL
1/2" = 1'-0"



6 SINK AND REF SECTION
1/2" = 1'-0"



4 BACK COUNTER ELEVATION
1/2" = 1'-0"



8 TYP. WALL/COUNTER BASE
1" = 1'-0"

KoolMore - SC101410-12B3 3 Compartment Stainless Steel NSF Commercial Kitchen Sink with Right and Left Drainboards - Bowl Size 10" x 14" x 10", Silver
Visit the KoolMore Store
Available in Triple Bowl Kitchen Sinks
Price: \$543.04
Get \$10 bonus when you rebid \$100 or more to your gift card balance.
Available at a lower price than other sellers that may not offer free Prime shipping.
Size: 2 Drainboards
1 Drainboard \$162.04
2 Drainboards \$184.04
2 Drainboards w/ Faucet \$192.04
Right Drainboard \$112.04
Without Drainboard \$112.04
Brand: KoolMore
Color: Silver
Material: Stainless Steel
Size: 2 Drainboards
Style: 3 Compartment Sink
About this item
• HEAVY DUTY STAINLESS STEEL - Built with high quality 304 type 18 gauge stainless steel which is rust and corrosion resistant and will withstand the high volume fast paced commercial kitchen.
• SPACE SAVING - Compact size yet has three tubs and two drain boards which makes it large enough to keep over the most stringent health departments. Holes, overall size 44" x 20" W x 44" D x 7 1/2"
• EASY CLEAN - Stainless steel finish and rounded bowl corners make cleaning and sanitizing this sink a breeze. For optimal stability, the sink should be secured to a wall.
• TWO DRAINBOARDS - The two 12" drain boards provide convenient space for drying and loading dishes. They have a slanted surface to drain excess water.
• HIGH BACKSPASH AND RANDED EDGES - The 10" back splash with 1" center holes for faucet mount front included will keep walls dry and clean while the randed edges will prevent splashes and overflow.

Size	Price
2 Drainboards	\$162.04
2 Drainboards w/ Faucet	\$192.04
Right Drainboard	\$112.04
Without Drainboard	\$112.04

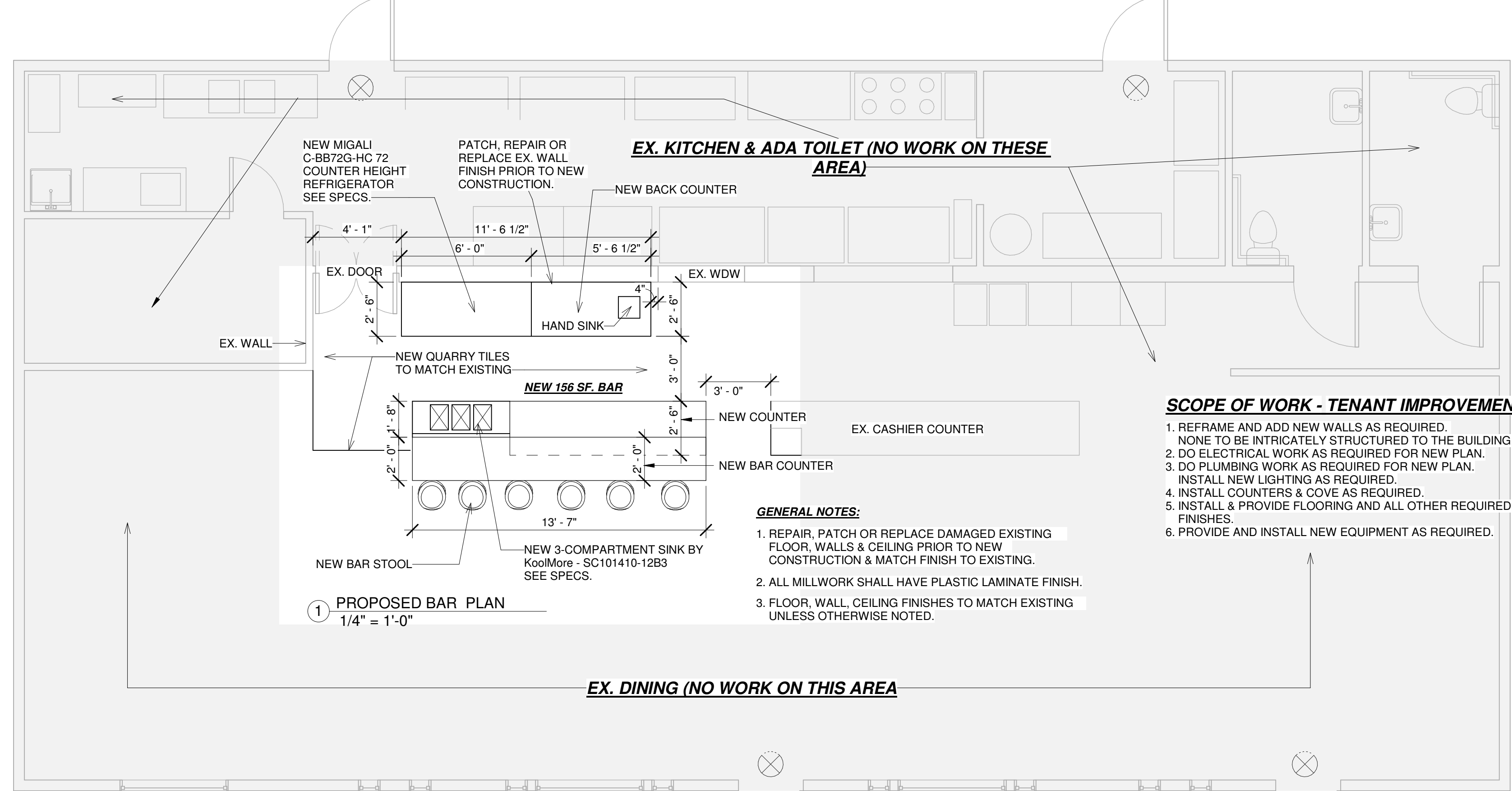
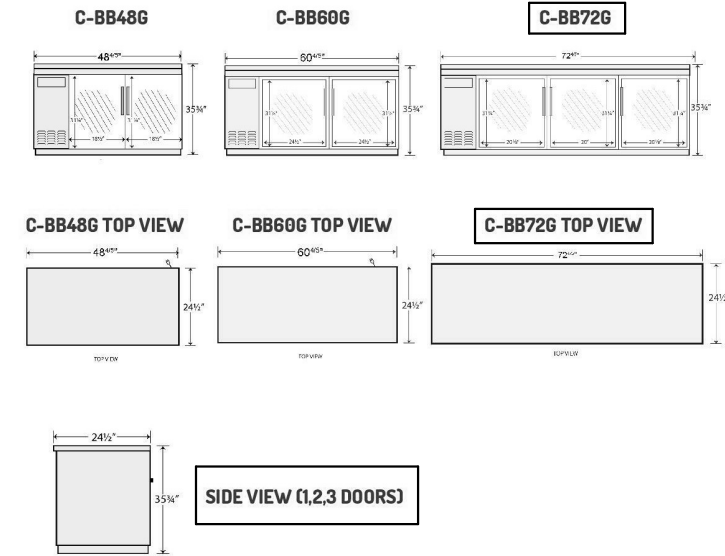
1 COAT PRIMER, 2 COATS PAINT FINISH OR MATCH EX.
1/2" GWB
CUSTOMER SIDE
CUSTOMER SIDE
FRP
WATER RESISTANT GWB
EMPLOYEE SIDE
BEVERAGES
WASTELINE
6" QUARRY BASE w/ 3/8" COVE
QUARRY TILE
TOE KICK
9 A-2

9 BASE COVE DETAILS
1 1/2" = 1'-0"



GLASS DOOR BACK BAR REFRIGERATORS
• Beautiful ergonomic construction
• Black control panel and stainless steel exterior and stainless steel top
• Quiet Mechanical thermostat with temperature read-out
• 2014 Star 2015 Digital temperature controller & read-out
• Closed air refrigeration system
• Side mount compressor
• Safety grip door handles
• LED interior lighting
• Star Series
• 90 leading feet included
• Necessary optional cables upon request
• 5 Year Protection Plan (Year Parts & Labor Warranty, 5 Year Compressor Warranty)
Model: C-88480, C-88600, C-88720
Tel: 800.822.5292, Fax: 800.822.5296, Email: contact@migali.com, Web: www.migali.com
MIGALI REMAINS AN AMERICAN FAMILY COMPANY SINCE 1955

DIMENSIONAL DRAWINGS



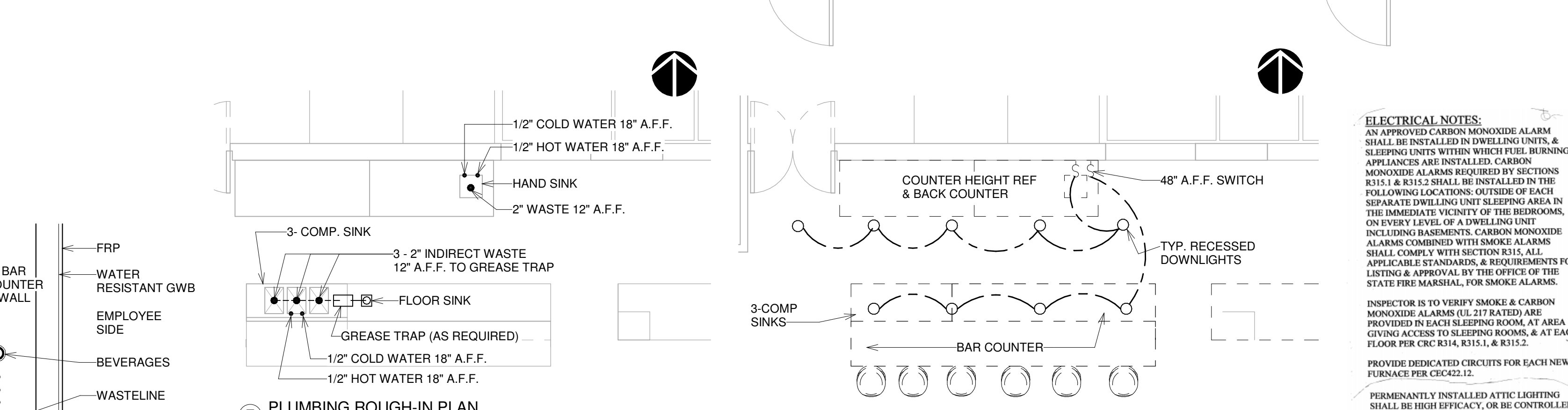
1 PROPOSED BAR PLAN
1/4" = 1'-0"

SCOPE OF WORK - TENANT IMPROVEMENT

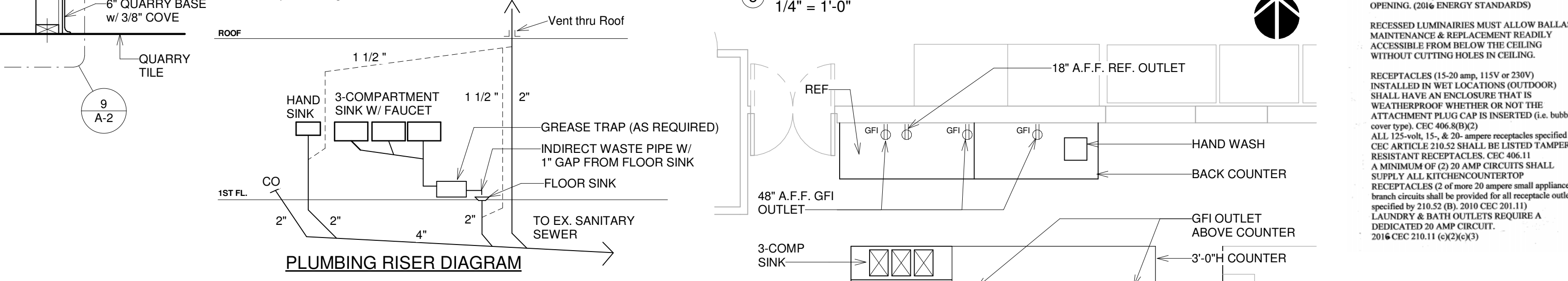
1. REFRAME AND ADD NEW WALLS AS REQUIRED. NONE TO BE INTRICATELY STRUCTURED TO THE BUILDING.
2. DO ELECTRICAL WORK AS REQUIRED FOR NEW PLAN.
3. DO PLUMBING WORK AS REQUIRED FOR NEW PLAN. INSTALL NEW LIGHTING AS REQUIRED.
4. INSTALL COUNTERS & COVE AS REQUIRED.
5. INSTALL & PROVIDE FLOORING AND ALL OTHER REQUIRED FINISHES.
6. PROVIDE AND INSTALL NEW EQUIPMENT AS REQUIRED.

GENERAL NOTES:

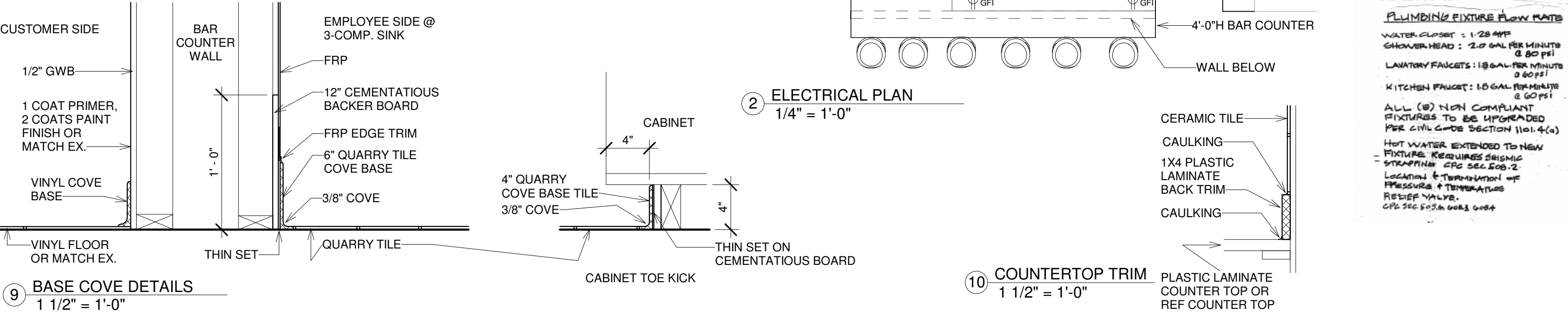
1. REPAIR, PATCH OR REPLACE DAMAGED EXISTING FLOOR, WALLS & CEILING PRIOR TO NEW CONSTRUCTION & MATCH FINISH TO EXISTING.
2. ALL MILLWORK SHALL HAVE PLASTIC LAMINATE FINISH.
3. FLOOR, WALL, CEILING FINISHES TO MATCH EXISTING UNLESS OTHERWISE NOTED.



7 PLUMBING ROUGH-IN PLAN
1/4" = 1'-0"



5 LIGHTING PLAN
1/4" = 1'-0"



PLUMBING RISER DIAGRAM

2 ELECTRICAL PLAN
1/4" = 1'-0"

10 COUNTERTOP TRIM
1 1/2" = 1'-0"

ELECTRICAL NOTES:
AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS, & SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED. CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 & R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EVERY LEVEL OF A DWELLING UNIT. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315. ALL APPLICABLE STANDARDS, & REQUIREMENTS FOR LISTING & APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARMS.
INSPECTOR IS TO VERIFY SMOKE & CARBON MONOXIDE ALARMS (IF INSTALLED) ARE PROVIDED IN EACH SLEEPING ROOM, AT AREA GIVING ACCESS TO SLEEPING ROOMS, & AT EACH FLOOR PER CRC R314, R315.1, & R315.2.
PROVIDE DEDICATED CIRCUITS FOR EACH NEW FURNACE PER CEC422.12.
PERMANENTLY INSTALLED ATTIC LIGHTING SHALL BE HIGH EFFICACY, OR BE CONTROLLED BY EITHER A DIMMER OR VACANCY (OCCUPANT) SENSOR LOCATED AT THE ATTIC OPENING. (2016 ENERGY STANDARDS)
RECESSED LUMINAIRES MUST ALLOW BALLAST MAINTENANCE & REPLACEMENT READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN CEILING.
RECEPTACLES (15-20 amp, 115V or 230V) INSTALLED IN WET LOCATIONS (OUTDOOR) SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (i.e. bubble cover type). NEC 406.8(B)(2)
ALL 15-amp, 15, & 20-amp receptacles specified in CEC ARTICLE 210.52 SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES, NEC 406.11
A MINIMUM OF (2) 20 AMP CIRCUITS SHALL SUPPLY ALL KITCHEN COUNTERTOP RECEPTACLES (2 of more 20 ampere small appliance branch circuits shall be provided for all receptacle outlets specified by 210.52 (B), 2016 CEC 201.11)
LAUNDRY & BATH OUTLETS REQUIRE A DEDICATED 20 AMP CIRCUIT. 2016 CEC 210.11 (G)(4)(5)

PLUMBING FIXTURES & FINISHES
WATER CLOSURE: 1/2" OFF
DRAINAGE HEAD: 2" OFF PER MINUTE @ 80 PSI
LAUNDRY FAUCETS: 18" OFF PER MINUTE @ 80 PSI
KITCHEN FAUCET: 18" OFF PER MINUTE @ 80 PSI
ALL (8") HIGH COMPLIANT FIXTURES TO BE HIGH PLACED PER CIVIL CODE SECTION 11614.4
HOT WATER EXTENDED TO NEW FINISHES. REQUIRES DESIGN CONTRACTOR TO SEE SPEC 2- PROVISIONS & THERMOSTAT RETARD VALVE. SEE SPEC 5.0.6.3 & 5.0.6.4

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License # 953462
Draftsman: ROMEO ABLIAR
romeo.abliar@gmail.com

ANA FARIAS
Bar Addition to 7 Mares Grill Restaurant
200 W. Cypress Road Oakley CA

PROPOSED BAR & ELECTRICAL/LIGHTING PLAN, PLUMBING PLAN, DETAILS

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A-2