

# WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)

## PRELIMINARY CIVIL ENGINEERING PLANS

1082 E. MAIN STREET  
OAKLEY, CA

MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
1082 E. MAIN STREET  
OAKLEY, CA

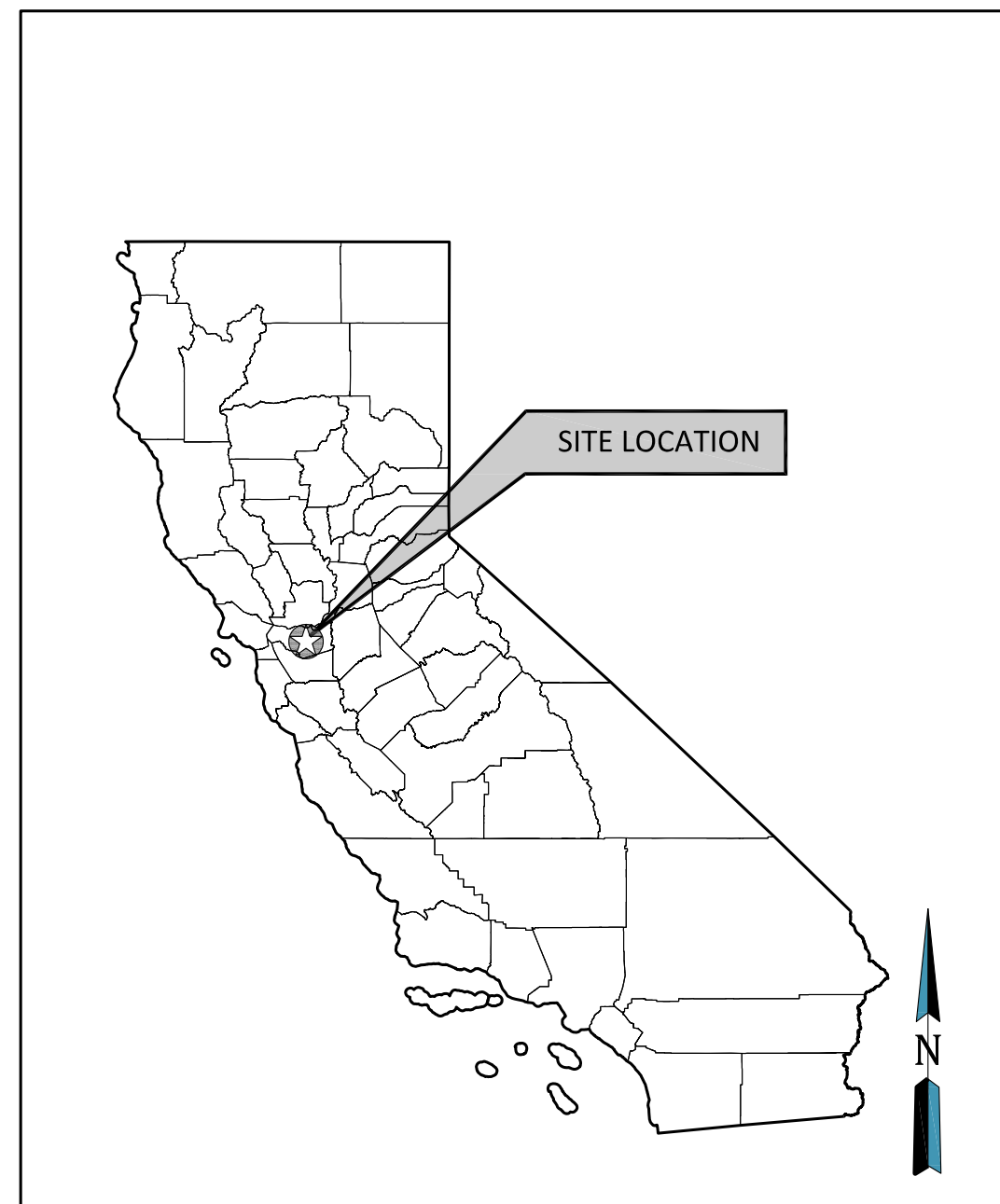
NO.	DATE	REVISION DESCRIPTION	BY	DATE
1	9/15/2021	PER CITY COMMENTS - 5/14/2021	KMP	

DESIGNED BY: KMP  
REVIEWED BY: BP  
DATE: 04/09/2021  
PRJ# 5325-300-32-01

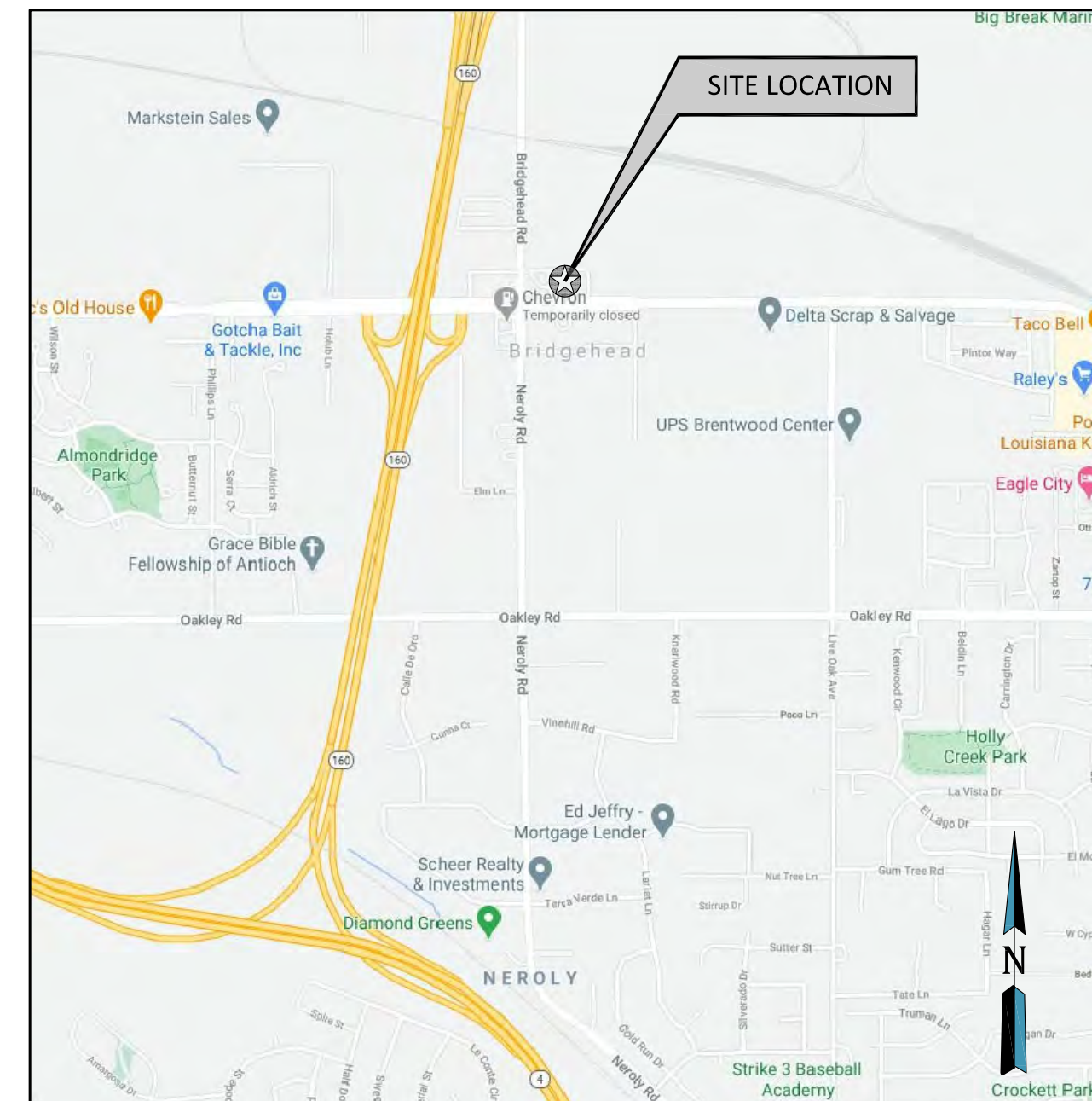
**Weaver Consultants Group**  
OFFICE LOCATION:  
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SHEET #:  
**C-1**



STATE OF CALIFORNIA - CONTRA COSTA COUNTY  
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SITE LOCATION KEY  
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P-1	PHOTOMETRIC PLAN
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**DESIGN TEAM CONTACT INFORMATION**

**ROGUE ARCHITECTURE**  
513 MAIN STREET #300,  
FORT WORTH, TX 76102  
817.820.0433

**CIVIL ENGINEER  
LANDSCAPE ARCHITECT**

**LAND SURVEYOR**  
COOK SURVEYING & ASSOCIATES, LLC  
331 S. RIO GRANDE STREET SUITE 320  
SALT LAKE CITY, UTAH 84101  
901-364-4051

**CITY & UTILITY CONTACT INFORMATION**

**CITY OF OAKLEY**  
3231 MAIN STREET  
OAKLEY, CA 94561  
ZONING ADMINISTRATOR:  
ARIANA RUIZE  
925-625-7000  
REVIEW ENGINEER:  
BILLILEE SAENGCHALERN, P.E., T.E.  
925-625-7154

**AT&T ROW MANAGER**  
ED BEYER  
650-575-2405

**PG&E**  
P.O. BOX 997300  
SACRAMENTO, CA 95899-7300  
1-800-PGE-5000

**DIABLO WATER DISTRICT**  
P.O. BOX 127  
87 CAROL LANE  
OAKLEY, CA 94561  
925-625-0588

**IRONHOUSE SANITARY DISTRICT**  
P.O. BOX 1105  
OAKLEY, CA 94561  
925.809.3003

OWNER INFORMATION:	APPLICANT INFORMATION:
NICK DHILLON 2937 BAILEY WAY SAN RAMON, CA 94582 925-365-1375	WEAVER CONSULTANTS GROUP 1316 BOND ST. SUITE 108 NAPERVILLE, IL 60563 630-717-4848

**SURVEY INFORMATION:**  
ALTA/ACSM LAND TITLE SURVEY TOPOGRAPHY  
COOK SURVEYING & ASSOCIATES  
801-364-4051  
SURVEY DATE: 10/20  
SURVEY NUMBER: 20-10-144

**NOTE: CONTRACTOR(S) TO VERIFY THEY HAVE THE CURRENT PLAN SET PRIOR TO CONSTRUCTION.**



F:\PROJECTS\5325 - Dependable Foods\300 - Oakley CA\320\DWG\5325-300-32-01.dwg (V:\CG\0915\lance\September\_16\_2021)



SPECIFICATIONS - GENERAL

- 1. STANDARDS AND SPECIFICATIONS: ALL APPLICABLE REQUIREMENTS OF THE ORDINANCES OF AUTHORITIES HAVING JURISDICTION...
2. ENGINEER OR RECORD: THE ENGINEER OF RECORD (ENGINEER) IS WEAVER CONSULTANTS GROUP NORTH CENTRAL, LLC (WEAVER)...

SPECIFICATIONS - PAVEMENT

- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITION OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS...
2. PAVING CONDITIONS: THE BITUMINOUS MATERIALS SHALL ONLY BE LAID ON A SURFACE WHICH IS DRY AND WHEN THE WEATHER CONDITIONS ARE SUITABLE...

SPECIFICATIONS - UTILITIES

- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITIONS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN CALIFORNIA"...
2. EXISTING UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN...

DIABLO WATER DISTRICT - GENERAL NOTES

- 1. WATER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE DIABLO WATER DISTRICT (DWD)...
2. ANYONE WHO TAKES WATER FROM THE DISTRICT'S WATER SYSTEM WITHOUT PROPER METERING SHALL BE SUBJECT TO THE DISTRICT'S TAMPERING CHARGE...

IRON HOUSE SANITARY DISTRICT - GENERAL NOTES

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE IRONHOUSE SANITARY DISTRICT (ISD) AND BE SUBJECT TO INSPECTION BY AN INSPECTOR REPRESENTING ISD...
2. ALL GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE CONFORMING TO ASTM D 3034, SDR 26...

Table with 2 columns: SEWER SIZE (INCHES) and MINIMUM SLOPE FEET/FT. Rows include 8, 10, 12, 12 inches and their corresponding slopes.

MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21) 1082 E. MAIN STREET OAKLEY, CA

SPECIFICATIONS & LEGENDS

SPECIFICATIONS - GRADING

- 1. EROSION CONTROL MEASURES: CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN INCLUDING, BUT NOT LIMITED TO, PERIMETER SILT FENCE AND INLET PROTECTION, PRIOR TO THE START OF DEMOLITION...
2. TESTING: ALL EARTHWORK OPERATIONS SHALL BE OBSERVED AND TESTED ON A CONTINUING BASIS BY THE GEOTECHNICAL ENGINEER...

SYMBOLS AND ABBREVIATIONS LEGEND

Legend table listing symbols for various features like FLAG POLE, SIGN, BOLLARD, GREASE TRAPS, SEWER CLEANOUT, etc., along with their corresponding symbols and abbreviations.

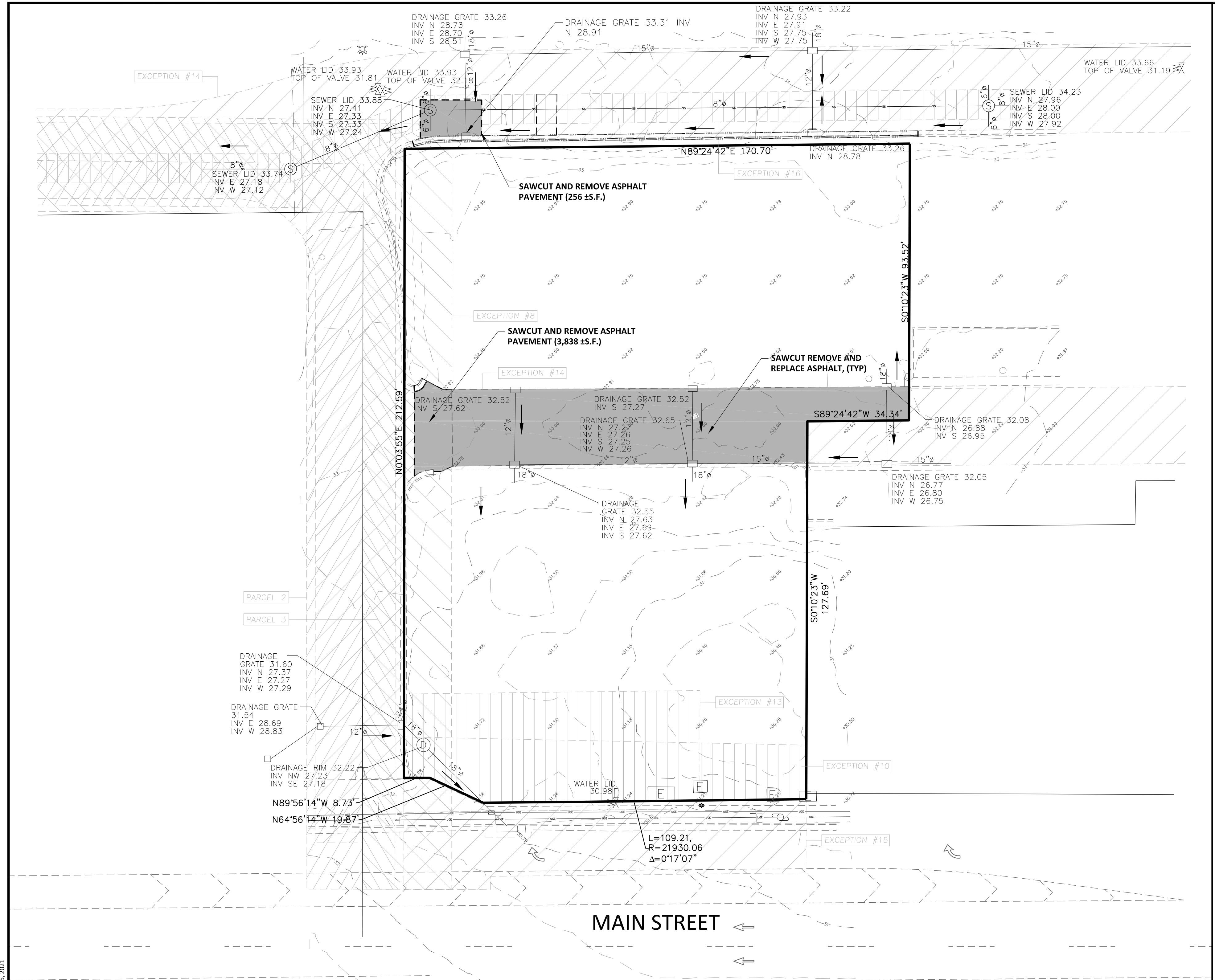
Table listing abbreviations for construction terms: TC (TOP OF CURB), FL (FLOW LINE), BC (BACK OF CURB), DC (DEPRESSED CURB), FC (FACE OF CURB), W (TOP OF WALK), P (PAVEMENT), E (EDGE), TOW (TOP OF WALL), BOW (BOTTOM OF WALL), etc.

OFFICE LOCATION: WEAVER CONSULTANTS GROUP 1316 BOND STREET, SUITE 108 WAREHOUSES, OAKLEY 94669 (630) 717-4848 wcrp.com

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SHEET: C-2





**DEMOLITION - KEY LEGEND**

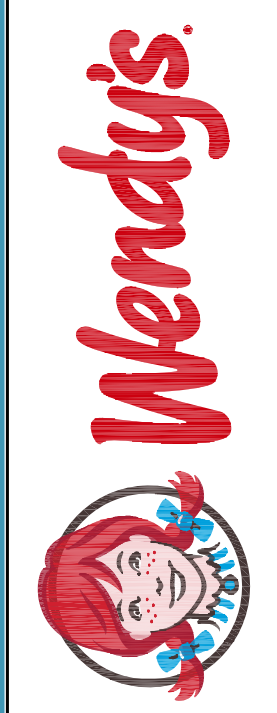
SYMBOL	DESCRIPTION
	REMOVE ASPHALT
	REMOVE CURB
	REMOVE ITEM
	REMOVE ITEM

MUNICIPAL/AGENCY APPROVAL STAMP

**SPECIFICATIONS - DEMOLITION**

- PERMITS:** CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS PRIOR TO DEMOLITION.
- EROSION CONTROL MEASURES:** CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN INCLUDING, BUT NOT LIMITED TO, PERIMETER SILT FENCE AND INLET PROTECTION, PRIOR TO THE START OF DEMOLITION.
- STRIPPING AND DEBRIS REMOVAL:** THE BUILDING PAD SITES, AREAS TO BE PAVED, AND ALL AREAS THAT ARE TO RECEIVE FILL MATERIAL SHALL BE STRIPPED OF VEGETATION, TREES, ROOTS, STUMPS, DEBRIS, AND OTHER ORGANIC MATERIAL. STRIPPED TOPSOIL SHALL BE STOCKPILED IN A LOCATION ON-SITE APPROVED BY THE DEVELOPER IF IT HAS BEEN DETERMINED THAT IT CAN BE RE-USED ON THE SITE. ALL TREES INCLUDING STUMPS AND ROOT SYSTEMS, VEGETATION, DEBRIS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OFF-SITE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL OF MATERIAL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- BURNING:** BURNING SHALL NOT BE PERMITTED ON THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.
- EXISTING UTILITIES:** ALL EXISTING UTILITIES ARE TO BE PROTECTED UNLESS OTHERWISE NOTED OR AGREED TO BY THE OWNER AND ENGINEER. ALL EXISTING UTILITIES THAT ARE NOTED TO BE REMOVED SHALL BE CAPPED AND REMOVED AS INDICATED AFTER EXISTING LINES ARE TAKEN OUT OF SERVICE AND UTILITY COMPANY APPROVALS ARE OBTAINED. EXISTING UTILITIES THAT ARE NOTED TO BE ABANDONED SHALL BE FILLED OR CRUSHED TO AVOID FUTURE PIPE FAILURE.
- RE-USE OF EXISTING MATERIALS:** CONTRACTOR SHALL RE-USE EXISTING MATERIALS ON THE SITE FOR BACKFILL AND/OR SUB-GRADE ONLY IF APPROVAL IS OBTAINED IN WRITING FROM THE OWNER, ENGINEER AND GEOTECHNICAL ENGINEER. DURING BIDDING, CONTRACTOR SHALL NOT ASSUME THAT MATERIALS CAN BE RE-USED ON-SITE.
- PLUGGING EXISTING SANITARY SEWERS:** CONTRACTOR SHALL PLUG DOWNSTREAM END OF EXISTING SANITARY SEWER PRIOR TO DEMOLITION TO PREVENT STORMWATER AND DEBRIS FROM ENTERING THE SEWER.
- DRAINAGE:** POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT DEMOLITION. CONTRACTOR SHALL PLAN DEMOLITION IN STAGES TO PREVENT EXCESS PONDING OR BLOCKAGE OF DRAINAGE. ALL STORM SEWER OR FIELD TILES DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND/OR RECONNECTED BEFORE THE END OF THE WORKDAY.
- REMOVAL OF BELOW GRADE IMPROVEMENTS:** ANY BUILDINGS, FOUNDATIONS, WALLS, FOOTINGS, CONCRETE, ETC. THAT ARE SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTH UNLESS APPROVED BY THE OWNER AND ENGINEER.
- TREE PROTECTION:** CONTRACTOR SHALL FOLLOW THE TREE PROTECTION PLAN IF IT HAS BEEN PROVIDED AS A PART OF THIS CONSTRUCTION SET. ANY TREES REMOVED THAT WERE INDICATED TO BE PROTECTED SHALL BE REPLACED BY THE CONTRACTOR AND FINED ACCORDINGLY.

ALL UTILITIES TO BE PROTECTED IN PLACE, CONTRACTOR RESPONSIBLE TO REPLACE/ REPAIR ANY DAMAGES



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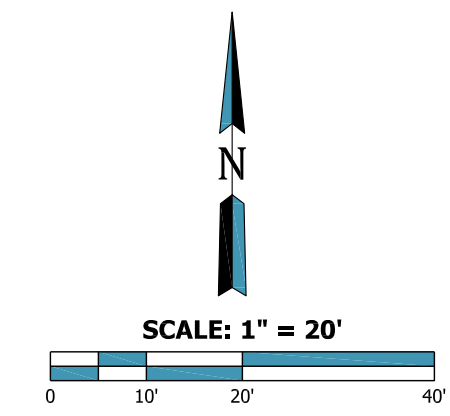
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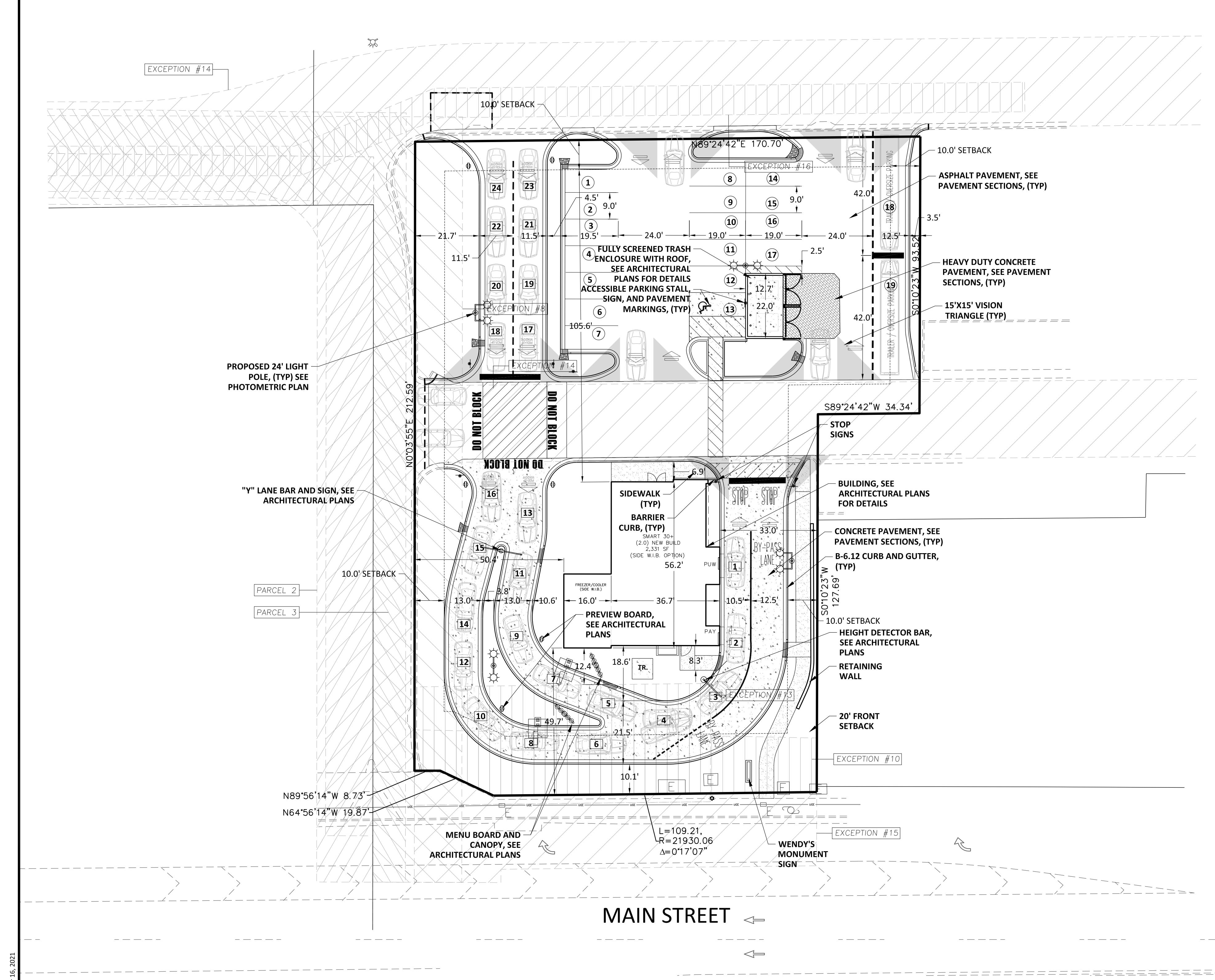
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SHEET #: C-3



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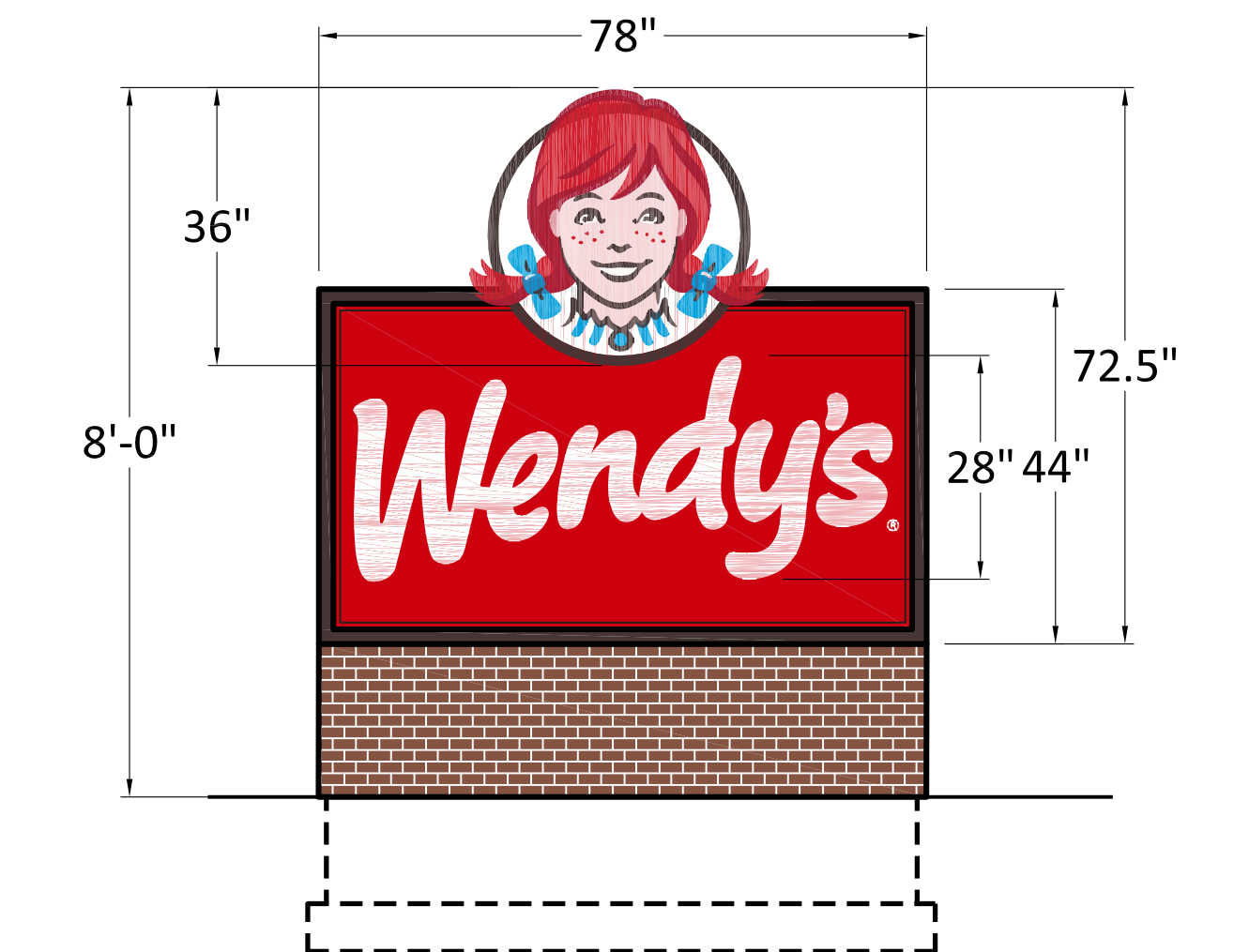
**PAVEMENT KEY SYMBOL**

NO HATCH	CONCRETE SIDEWALK
STANDARD DUTY ASPHALT PAVEMENT	STANDARD CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

**SITE DATA:**

GP LAND USE DESIGNATION:	COMMERCIAL
SITE AREA	= 33,186 S.F.
BUILDING AREA	= 2,331 S.F.
NET PUBLIC AREA	= 990 S.F.
LOT COVERAGE	= 24,412 S.F.
PROPOSED PARKING STALLS	= 19 INCLUDES ADA STALLS
REQUIRED PARKING STALLS	= 15 1/150 SF OF NET PUBLIC AREA
1ST DRIVE THRU QUEUE	= 16 CARS
DRIVE THRU OVERFLOW QUEUE	= 8 CARS
TOTAL DRIVE THRU QUEUE	= 24 CARS

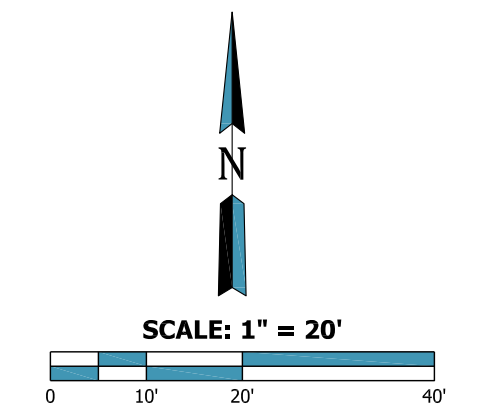
- SITE NOTES:**
1. THE BASELINE FOR GEOMETRIC LAYOUT IS THE WESTERN PROPERTY LINE.
  2. ALL DIMENSIONS ARE TO THE BACK OF CURB, OUTSIDE FACE OF BUILDING, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  3. ALL PARKING LOT STRIPING SHALL BE 4" WIDE YELLOW PAINT UNLESS OTHERWISE NOTED ON THE PLANS.
  4. ALL ITEMS NOTED ON PLANS REFER TO A PROPOSED CONDITION OR ITEM UNLESS OTHERWISE NOTED ON PLANS OR IDENTIFIED ON THE SURVEY.



WENDY'S MONUMENT SIGN (WM-25)

FOR EXCEPTION 13 - RESTRICTIONS FOR ANY IMPROVEMENTS PER THE RECORDED DOCUMENT 2004-242564, SECTION 2.11. THIS RESTRICTION WILL EXPIRE ON OCTOBER 14, 2023; 25 YEARS AFTER THE AGREEMENT.

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MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
10827 E. MAIN STREET  
OAKLEY, CA

GEOMETRIC PLAN

NO.	DATE	REVISION DESCRIPTION	BY	DATE
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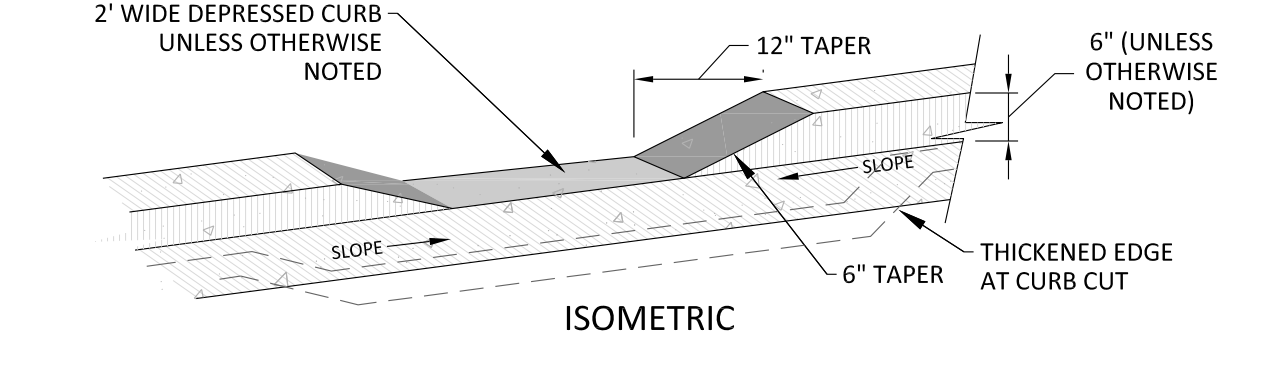
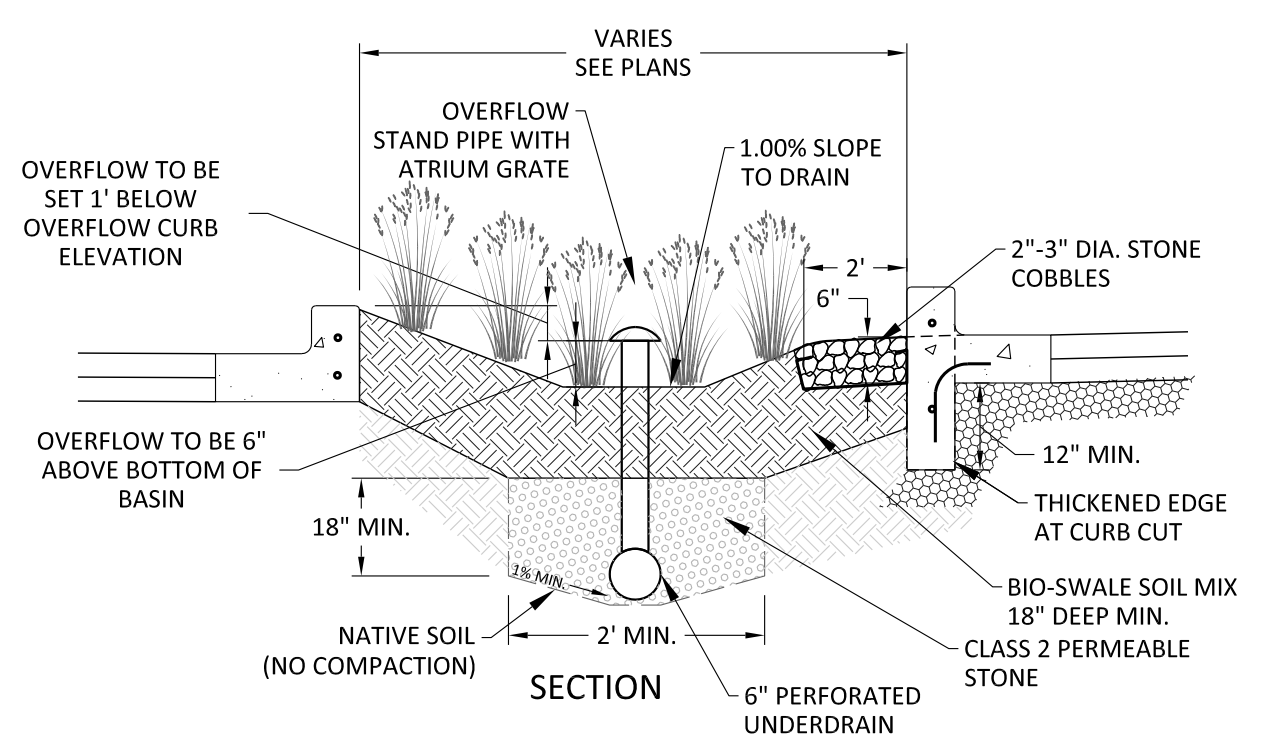
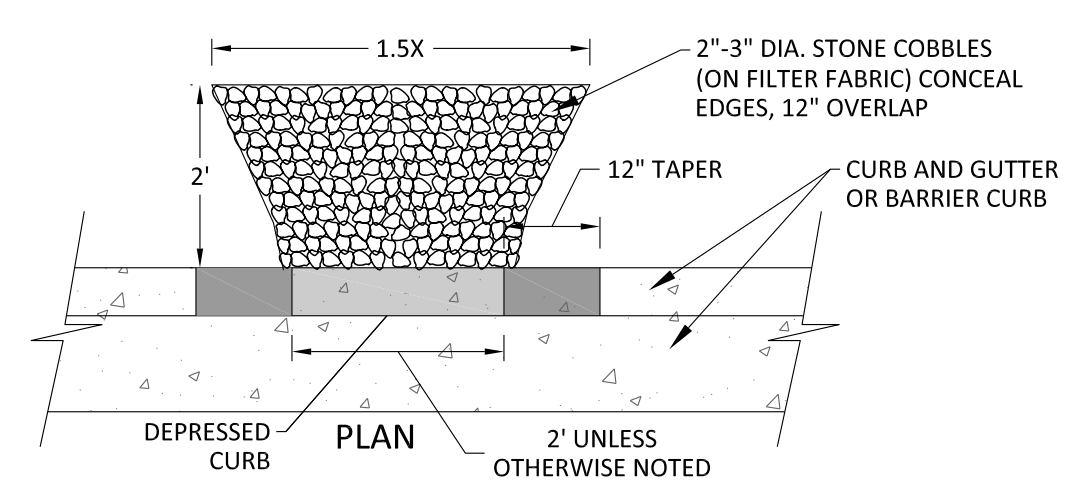
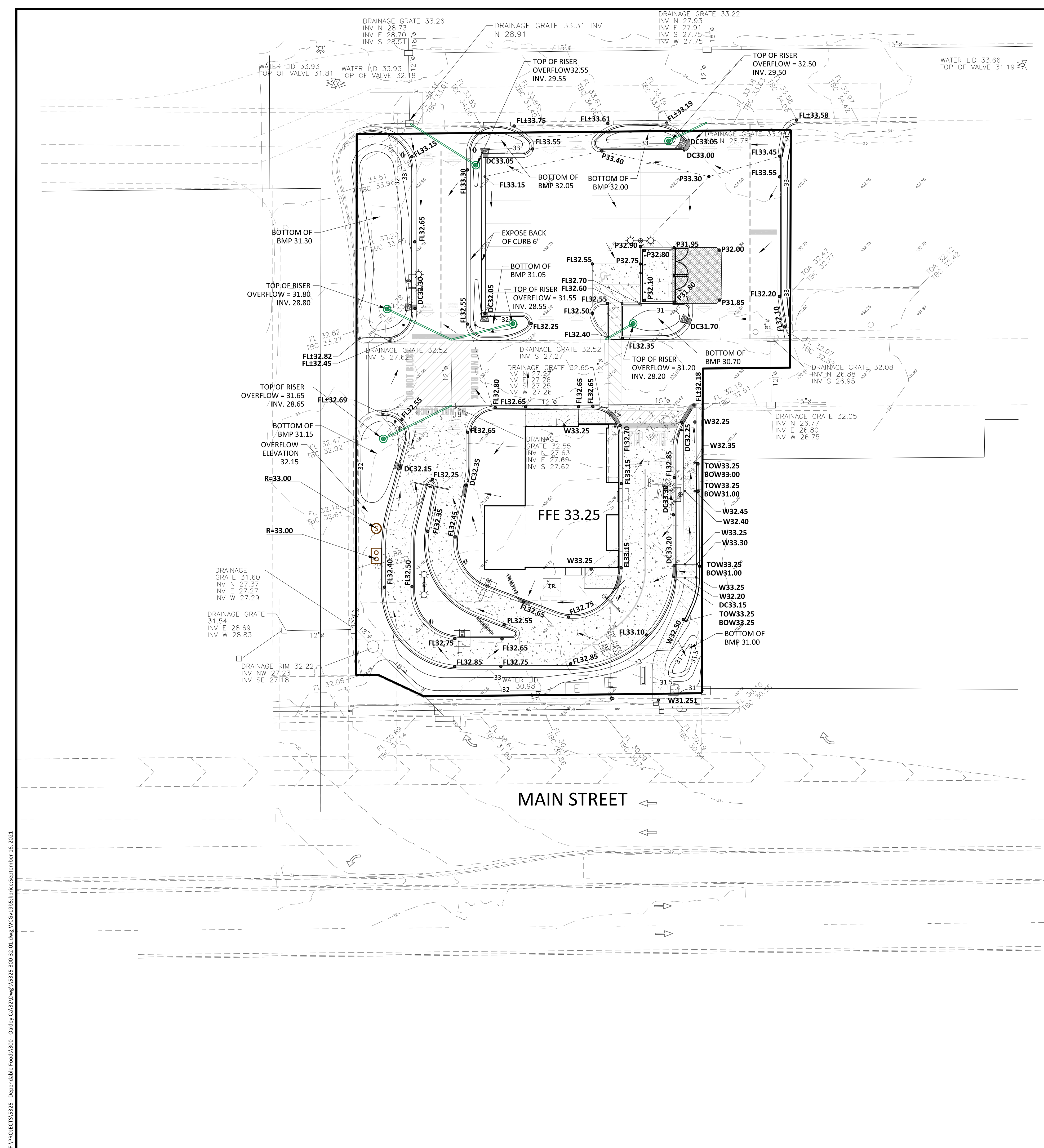
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1. BIO-SWALE SOIL MIX TO CONFORM TO APPENDIX B OF THE LATEST EDITION OF THE C.3 GUIDEBOOK SPECIFICATIONS.
2. SEE PLANS FOR LOCATIONS

BIO-RETENTION CROSS SECTION  
NOT TO SCALE

- GRADING NOTES:**
1. UNLESS OTHERWISE SPECIFIED, ADD 0.5' TO ALL FLOWLINE (FL) OR PAVEMENT (P) GRADES TO OBTAIN TOP OF CURB (TC) ELEVATION.
  2. CONTRACTOR TO MATCH EXISTING GRADE (ME) AT PERIMETER CONDITIONS. ALL GRADES SHOWN AS (+/-) HAVE BEEN INTERPRETED FROM THE SURVEY AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION OF ADJACENT IMPROVEMENTS.
  3. SEE ACCESSIBILITY PLAN FOR ADDITIONAL GRADES, DETAILS, AND REQUIREMENTS WITHIN THE ACCESSIBILITY AREAS.

**STORMWATER DETENTION SUMMARY:**

JURISDICTIONAL AUTHORITY IS: CITY OF OAKLEY  
STORMWATER DETENTION IS NOT REQUIRED FOR THIS SITE.  
BMP'S ARE REQUIRED FOR THIS SITE.

SITE AREA	= 33,186 S.F.
EXISTING PERVIOUS AREA	= 29,053 S.F.
PROPOSED PERVIOUS AREA	= 8,663 S.F.
NET PERVIOUS AREA	= 20,392 S.F.

**GRADING CALCULATIONS:**

PROPOSED CUT	= 530 C.Y.
PROPOSED FILL	= 133 C.Y.

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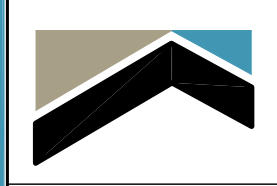


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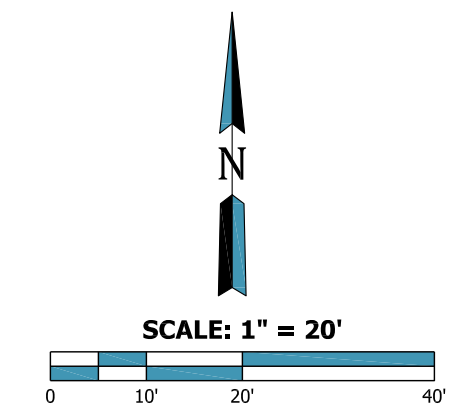
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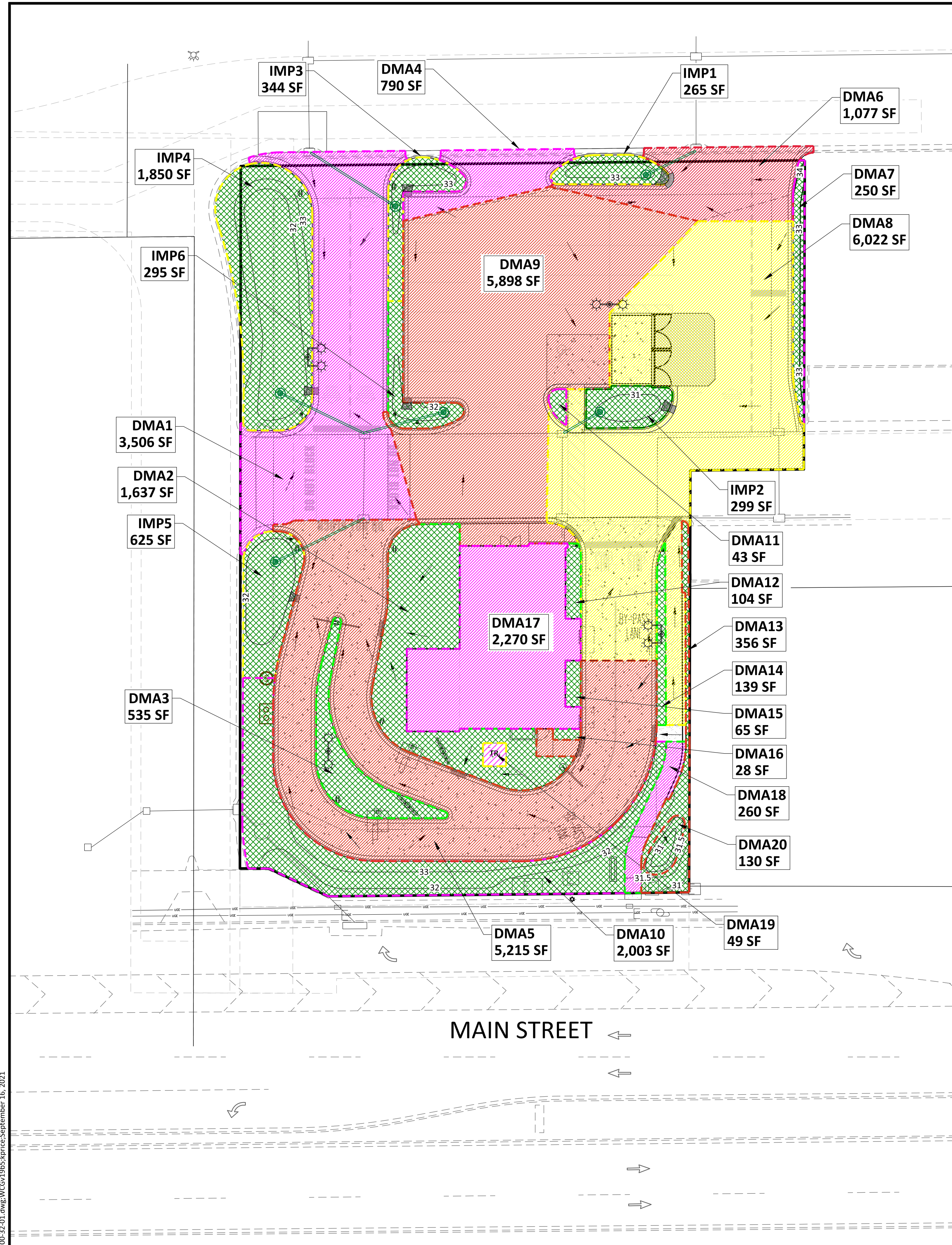
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SHEET #: C-5



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Project Name: Wendy's - Oakley CA  
 Project Type: Treatment Only  
 APN: 037-040-021  
 Drainage Area: 34,085  
 Mean Annual Precipitation: 12.5

### Self-Treating DMAs

DMA Name	Area (sq ft)
DMA2	1,837.0
DMA7	250.0
DMA10	2,003.0
DMA11	43.0
DMA12	104.0
DMA13	356.0
DMA14	139.0
DMA15	65.0
DMA16	28.0

### II. Self-Retaining Areas

DMA Name	Area (sq ft)
DMA3	3,506
DMA20	130

### III. Areas Draining to Self-Retaining Areas

DMA Name	Area (sq ft)	Surface Type	Runoff Factor	Product (Area x Runoff Factor) [A]	Receiving Self-Retaining DMA	Receiving Self-Retaining DMA Area (sq ft) [B]	Ratio [A]/[B]
DMA18	260	Concrete or Asphalt	1.0	260.0	DMA20	130	2.00

### IV. Areas Draining to IMPs

IMP Name: IMP1  
 IMP Type: Bioretention Facility  
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA6	1,077	Concrete or Asphalt	1.00	1,077	1.00	1.00	45	285	
<b>Total</b>					1,077	0.040	1,000	45	285

IMP Name: IMP2  
 IMP Type: Bioretention Facility  
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA8	6,022	Concrete or Asphalt	1.00	6,022	1.00	1.00	241	200	
<b>Total</b>					6,022	0.040	1,000	241	200

IMP Name: IMP3  
 IMP Type: Bioretention Facility  
 Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA4	790	Concrete or Asphalt	1.00	790	1.00	1.00	32	344	
<b>Total</b>					790	0.040	1,000	32	344

IMP Name: IMP4  
 IMP Type: Bioretention Facility  
 Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA1	3,506	Concrete or Asphalt	1.00	3,506	1.00	1.00	46	1,850	
<b>Total</b>					3,506	0.040	1,000	46	1,850

IMP Name: IMP5  
 IMP Type: Bioretention Facility  
 Soil Group: IMP5

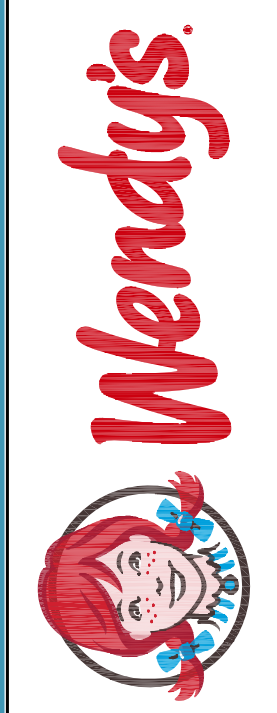
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA5	5,215	Concrete or Asphalt	1.00	5,215	1.00	1.00	236	250	
DMA17	2,270	Conventional Roof	1.00	2,270	1.00	1.00	236	250	
DMA19	49	Concrete or Asphalt	1.00	49	1.00	1.00	236	250	
<b>Total</b>					7,534	0.040	1,000	301	625

IMP Name: IMP6  
 IMP Type: Bioretention Facility  
 Soil Group: IMP6

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA9	5,898	Concrete or Asphalt	1.00	5,898	1.00	1.00	236	250	
<b>Total</b>					5,898	0.040	1,000	236	250

Report generated on 9/16/2021 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).

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PRELIM. STORMWATER CONTROL PLAN

NO.	DATE	REVISION DESCRIPTION	BY	DATE
1	9/16/2021	PER CITY COMMENTS - 5/14/2021	KMP	

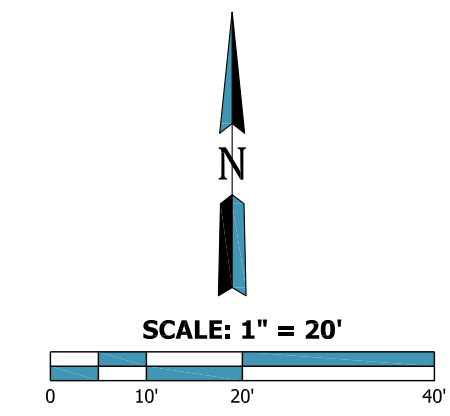
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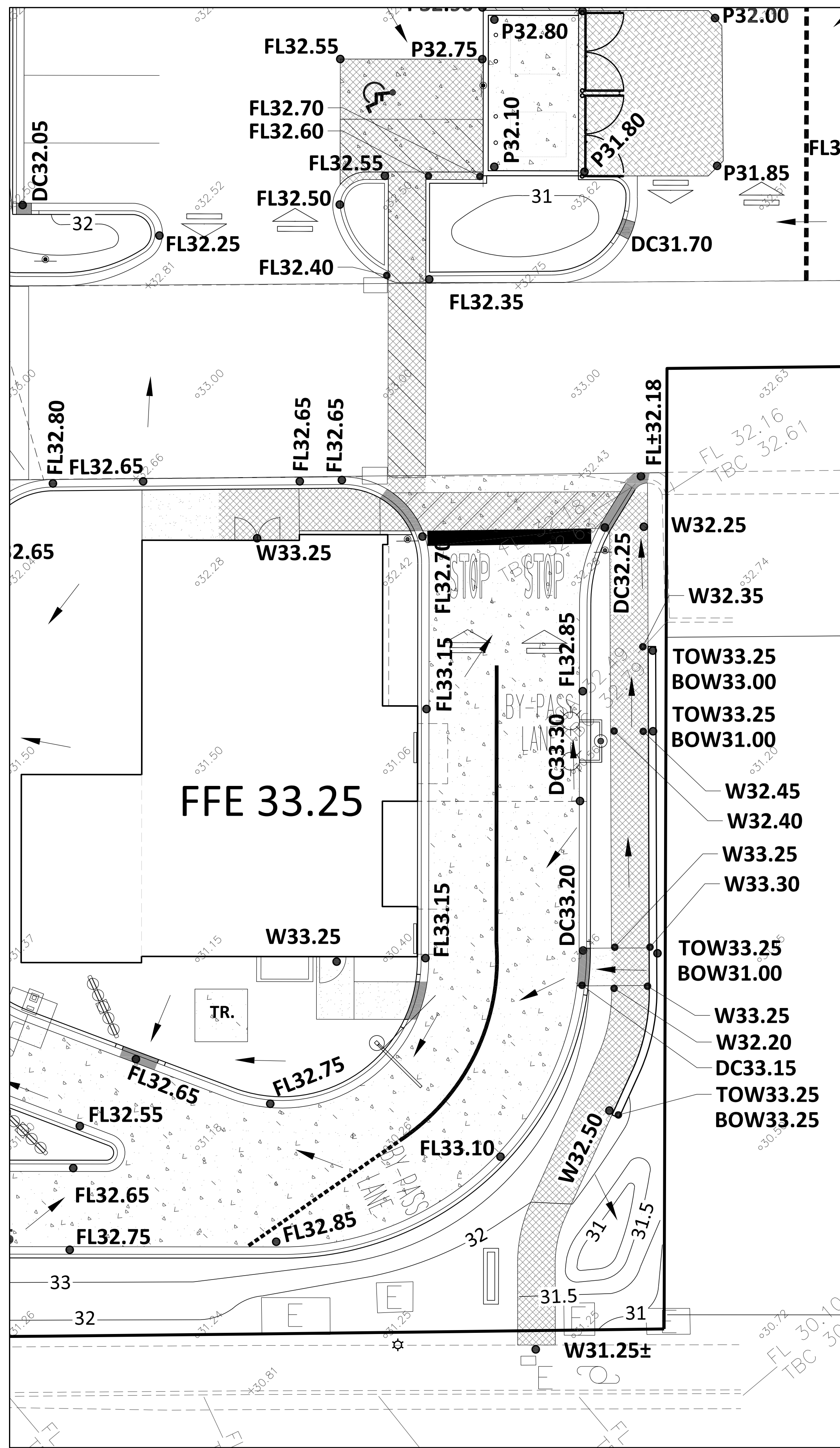
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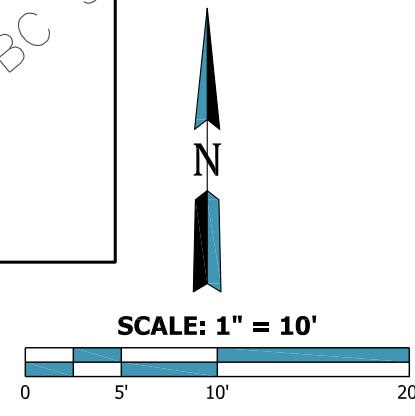


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ACCESSIBLE PATH ENLARGEMENT



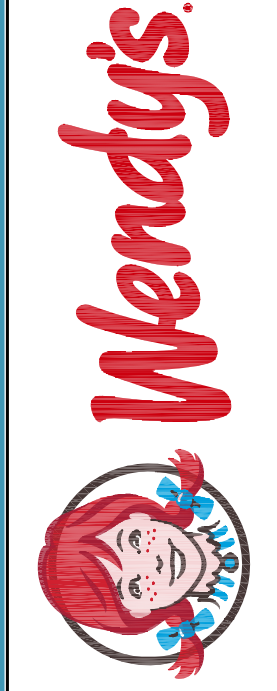
ACCESSIBLE PATH - KEY

ACCESSIBLE ROUTE TO THE PUBLIC WAY AND ACCESSIBLE PARKING STALLS

MUNICIPAL/AGENCY APPROVAL STAMP

**ACCESSIBILITY NOTES:**

- THIS PLAN HAS BEEN INCLUDED FOR SPECIFIC GRADING WITHIN THE ACCESSIBILITY AREAS. SEE GRADING AND STORMWATER PLAN FOR ADDITIONAL GRADES THROUGHOUT THE SITE.



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
 1082 E. MAIN STREET  
 OAKLEY, CA

ACCESSIBILITY PLAN

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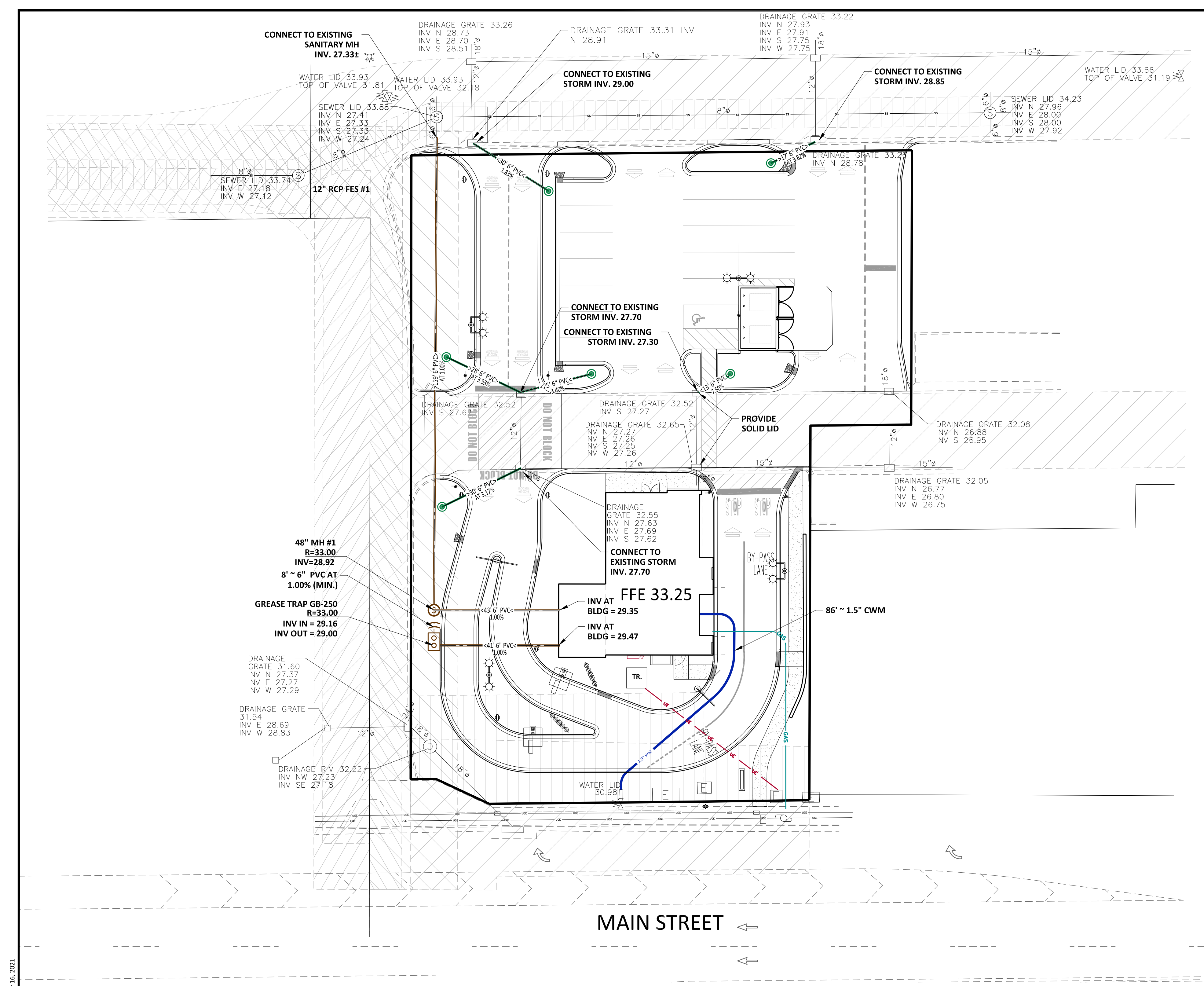


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**UTILITY NOTES:**

- CONTRACTOR TO VERIFY WITH ARCHITECTURAL PLANS THAT THE UTILITIES AS THEY EXIT THE BUILDING ARE IN THE SAME LOCATION AS SHOWN ON THIS PLAN. NOTIFY THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES.
- GAS, TELEPHONE, AND ELECTRIC LOCATIONS SHALL BE COORDINATED WITH THE UTILITY COMPANIES PRIOR TO INSTALLATION. LINES SHOWN ON THIS PLAN ARE FOR BUDGETING AND GUIDANCE ONLY.

**UTILITY LEGEND:**

- RCP = REINFORCED CONCRETE PIPE CLASS IV, ASTM C-76 PIPE, ASTM C-443 JOINTS
- RCPWM = REINFORCED CONCRETE PIPE CLASS IV, ASTM C-76 PIPE, ASTM C-361 JOINTS
- PVC = POLYVINYL CHLORIDE PIPE SDR26, ASTM D-3034 PIPE, ASTM D-3212 JOINTS
- PVCWM = POLYVINYL CHLORIDE PIPE AWWA C900, OR AWWA C905 OR ASTM D-2241 PIPE, ASTM D-3139 JOINTS
- DIP = DUCTILE IRON PIPE CLASS 52, CEMENT LINED, ANSI A21.51 PIPE, ANSI A21.11 JOINTS
- HDPE = HIGH DENSITY POLYETHYLENE PIPE AASHTO M-294 (12"-60") AASHTO M-252 (3"-10")
- CWM = TYPE "K" COPPER WATERMAIN ASTM B-88 AND ASTM B-251 WITH SWEATED JOINTS
- ESVCP = EXTRA STRENGTH VITRIFIED CLAY PIPE ASTM C-700 PIPE, ASTM C-425 JOINTS.

**STORM SEWER PIPE SIZING CALCULATION:**

PROPOSED DEVELOPMENT CONNECTS TO THE EXISTING STORM SEWER WHICH WAS CONSTRUCTED AS A PART OF MS980016. THIS STORM SEWER CONNECTS DOWNSTREAM INTO THE EXISTING STORM SEWER ALONG THE NORTH SIDE OF MAIN STREET.

BIO-SWALES ARE PROPOSED ON-SITE TO PERCOLATE STORMWATER.

AREA=0.08 + 0.07 = 0.15 AC = 6,534 S.F.

INFILTRATION = 6IN/HR PER PERCOLATION TEST ON 7/19/2021)

$Q = (6,534 \text{ S.F.}) \times 6 \text{ IN} \times 1 \text{ FT} \times 1 \text{ HR} \times 1 \text{ MIN} = 0.9 \text{ CFS}$   
 $\text{HR} \quad 12 \text{ IN} \quad 60 \text{ MIN} \quad 60 \text{ SEC}$

PROPOSED FLOW FROM SITE  
 Q=CIA

$C = 0.9(0.63) + 0.1(0.08) + 0.45(0.07) = 0.78$

C = 0.9 IMPERVIOUS (.63 AC)  
 C = 0.1 BIO-SWALE (.08 AC)  
 C = 0.45 GRASS (.07 AC)  
 I = 2.46 IN/HR (1.0 YR, 24 HR STORM)  
 A = 0.78 AC

Q = (0.78)(2.46)(0.78)  
 Q = 1.50 CFS

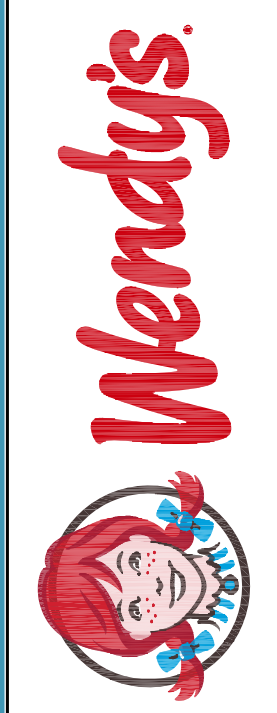
THEREFORE: 1.50 CFS - 0.90 CFS = 0.60 CFS GOING TO STORM SEWER

EXISTING 15" STORM SEWER RUNNING EAST/WEST THROUGH THE SITE AT 0.78%

PIPE FLOWING FULL CAPACITY:  
 $Q = 35.615 \times \left[ \frac{D}{12} \right]^{8.5} \times 5^{0.5}$   
 Q = 5.7 CFS

CAPACITY IN PIPE (5.7 CFS) IS MUCH GREATER THAN PROPOSED DEVELOPMENT 0.60 CFS

MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
 1082 E. MAIN STREET  
 OAKLEY, CA

UTILITY PLAN

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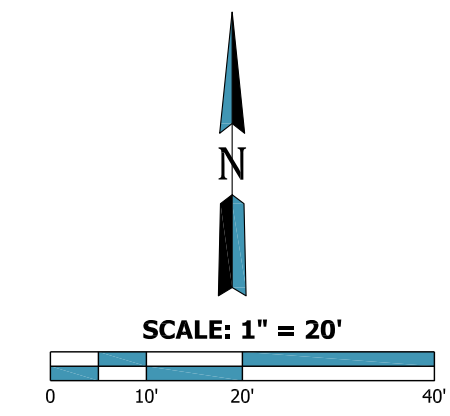
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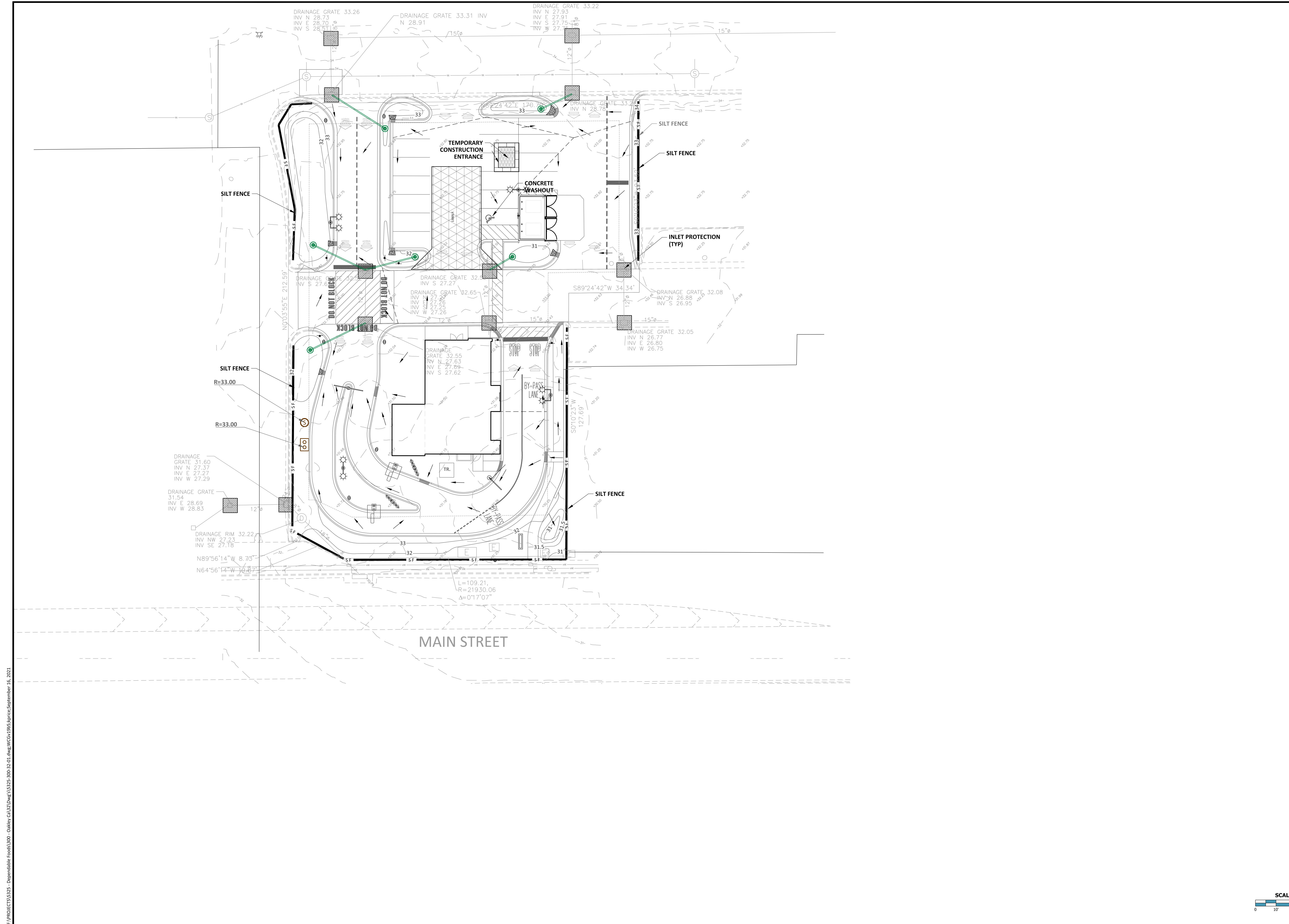
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MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (UP  
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10827 E. MAIN STREET  
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SOIL EROSION CONTROL PLAN

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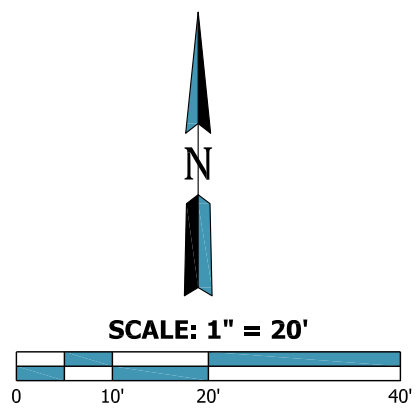
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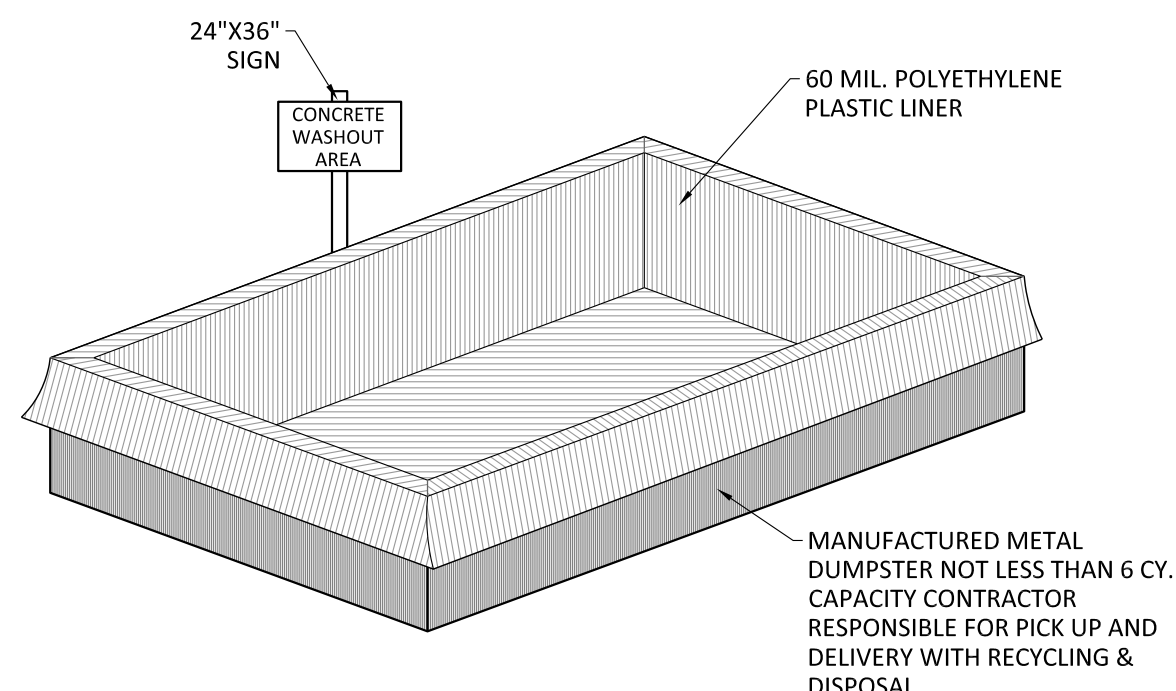
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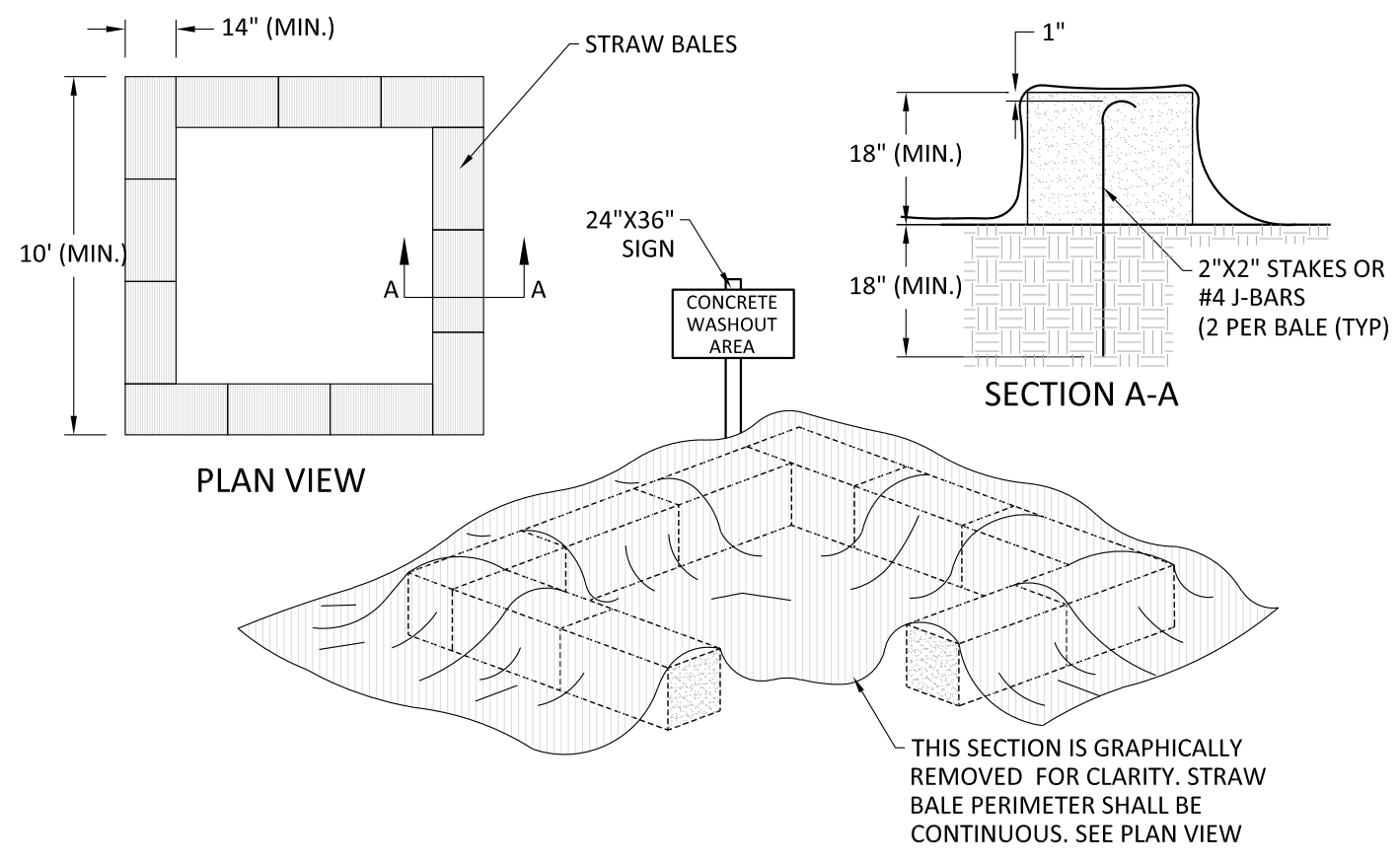




1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM NEAREST DRAINAGE INLET OR WATER COURSE.

**CONCRETE WASHOUT IN DUMPSTER - OPTION**

NOT TO SCALE



1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.
2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM NEAREST DRAINAGE INLET OR WATER COURSE.

**CONCRETE WASHOUT**

NOT TO SCALE

DESCRIPTION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY SEEDING				21ST						30TH		
OAT COVER CROP (90 LBS./AC.) (NOTE 2)				1ST		4TH						
WHEAT COVER CROP (90 LBS./ AC.) (NOTE 2)				1ST						30TH		
ANNUAL RYE COVER CROP (90 LBS. AC.) (NOTE 2)				1ST						30TH		

NOTE 1: CONTRACTOR TO COORDINATE WITH GROWER/ SUPPLIER TO ENSURE AVAILABILITY.  
NOTE 2: COVER CROPS AS SHOWN MAY BE SUPERCEDED IN NATIVE SEED AREAS. SEE SPECIFICATION FOR NATIVE AREAS FOR SPECIFIC APPLICATIONS.

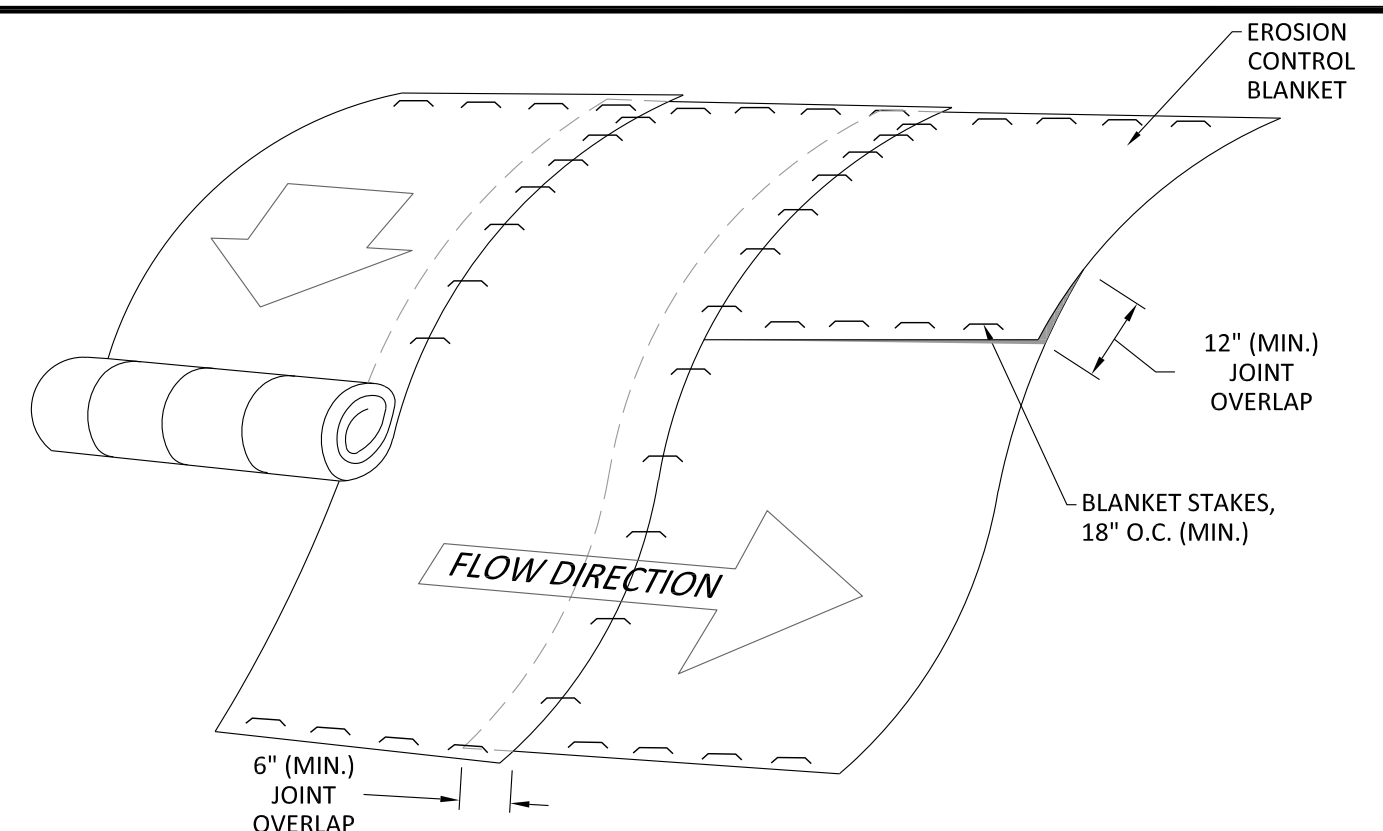
**CONSTRUCTION SEQUENCE**

1. MOBILIZE TO THE SITE.
2. INSTALL SOIL EROSION CONTROL MEASURES.
3. CONSTRUCT A TEMPORARY CONSTRUCTION ENTRANCE/ EXIT.
4. TOPSOIL STRIPPING AND STOCKPILING. PROVIDE TEMPORARY SEEDING ON STOCKPILES AND ALL OTHER AREAS OF THE SITE THAT WILL REMAIN UNDISTURBED FOR 30 DAYS OR MORE. REFER TO LANDSCAPE PLAN FOR SEEDING.
5. MASS GRADING OF DISTURBED SITE.
6. INSTALLATION OF BUILDING FOUNDATIONS.
7. INSTALLATION OF ALL UNDERGROUND UTILITIES.
8. INSPECT SOIL EROSION CONTROL MEASURES AND MAINTAIN OR REPLACE AS NECESSARY.
9. INSTALLATION OF PARKING LOT SUB-BASE MATERIAL.
10. INSTALLATION OF PARKING LOT BASE COURSE
11. INSTALLATION OF PERMANENT SOIL STABILIZATION MEASURES AND RE-SPREAD TOPSOIL.
12. INSTALLATION OF PARKING LOT SURFACE COURSE MATERIALS.
13. INSTALLATION OF LANDSCAPE.
14. REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES AFTER FINAL SOIL STABILIZATION MEASURES AND THE ESTABLISHMENT OF ADEQUATE VEGETATIVE COVER.
15. ALL STORM SEWERS, CATCH BASINS, PAVEMENT SURFACES AND/ OR DETENTION FACILITIES ARE TO BE CLEANED PRIOR TO FINAL INSPECTION.
16. ALL MAINTENANCE OF THE EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

1. CONTRACTOR IS RESPONSIBLE TO VERIFY AND ADJUST THE SEQUENCE OF OPERATION IF NECESSARY.
2. SEE LANDSCAPE PLAN FOR PLANTING DETAILS, SOIL PREPARATION, AMENDMENTS, PLANT LISTS, LANDSCAPE SPECIFICATIONS.
3. TEMPORARY SEED SHALL CONFORM TO THE "CALTRANS CONSTRUCTION SITE BMP MANUAL" FOR ALL AREAS TO BE DISTURBED LESS THAN A YEAR OR BARREN AREAS THAT NEED TO BE STABILIZED.
4. CONTRACTOR TO UTILIZE MULCH FOR SEED PROTECTION, SOIL PROTECTION, DUST CONTROL, OR STABILIZATION AS NEEDED AND FOR WHEN SEEDING CANNOT BE PERFORMED.

**TEMPORARY SEEDING TABLE AND CONSTRUCTION SEQUENCE**

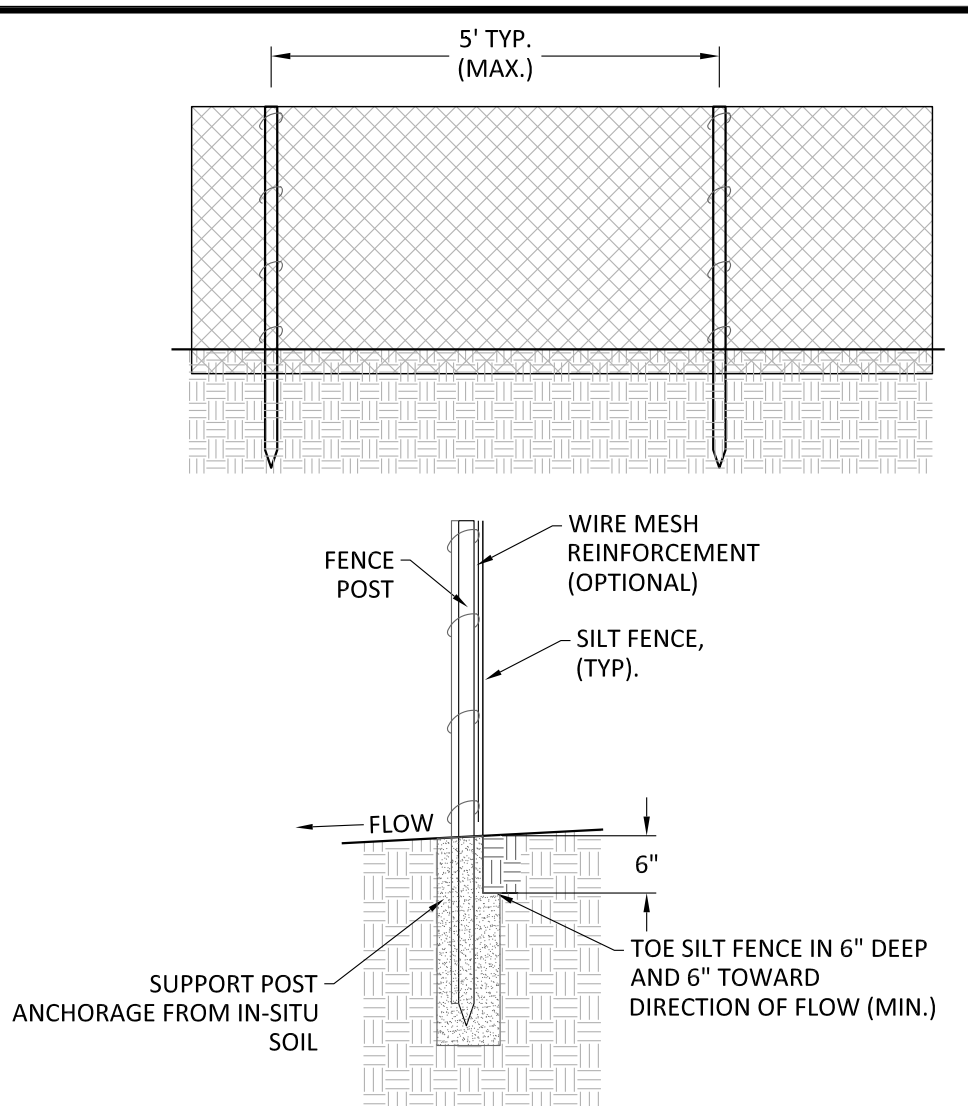
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1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN (STARTING AT DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH AN APPROXIMATELY (MIN) 4" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY A (MIN) 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE BLANKETS.
6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

**EROSION CONTROL BLANKET**

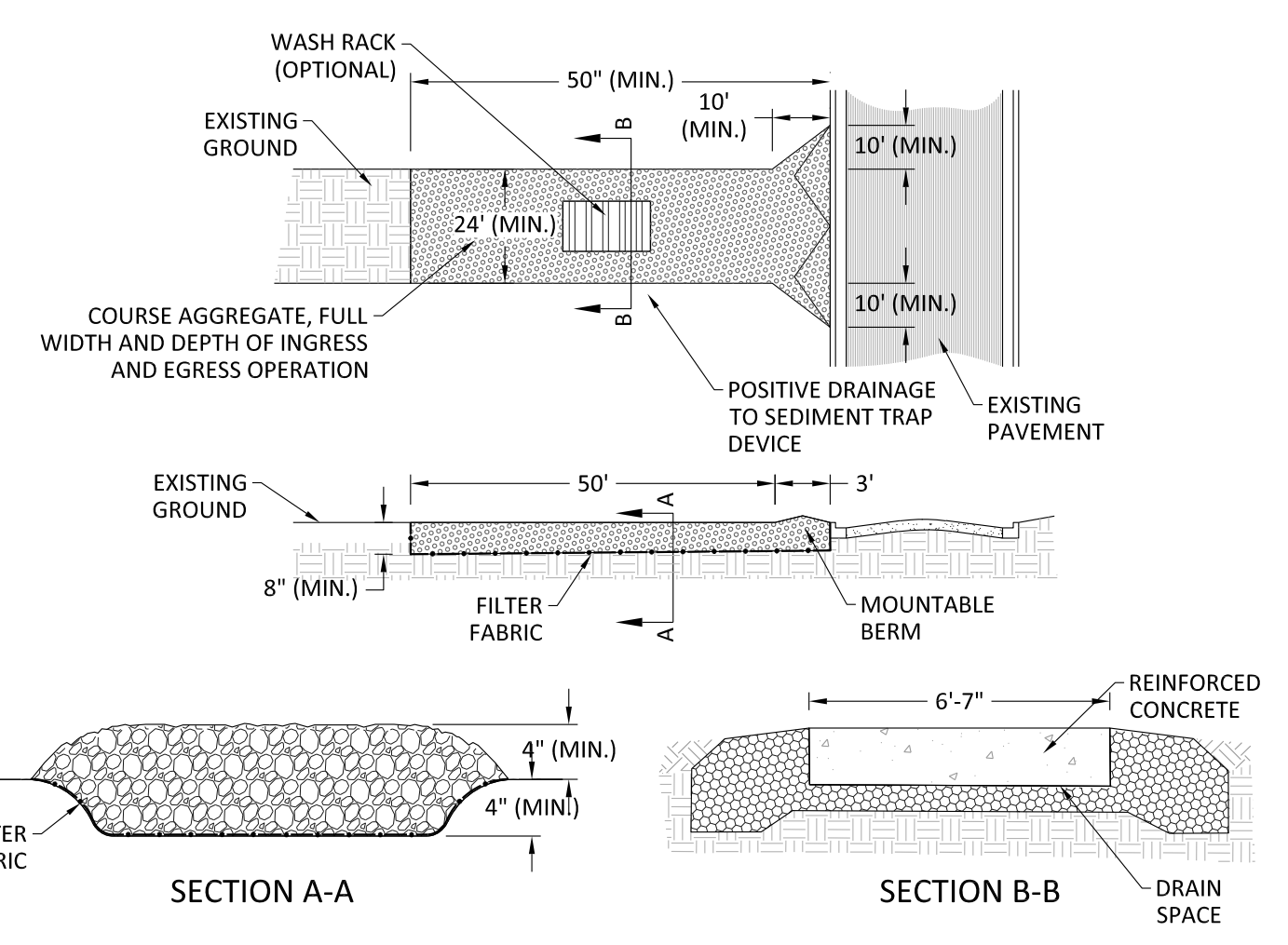
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1. FILTER FABRIC SHALL MEET GEOTEXTILE 592 TABLE 1 OR 2, CLASS 1 WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 MILS FOR NONWOVEN AND 40 MILS FOR WOVEN.
2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POSTS WITH A MINIMUM CROSS SECTION AREA OF 3 SQ. IN.

**SILT FENCE**

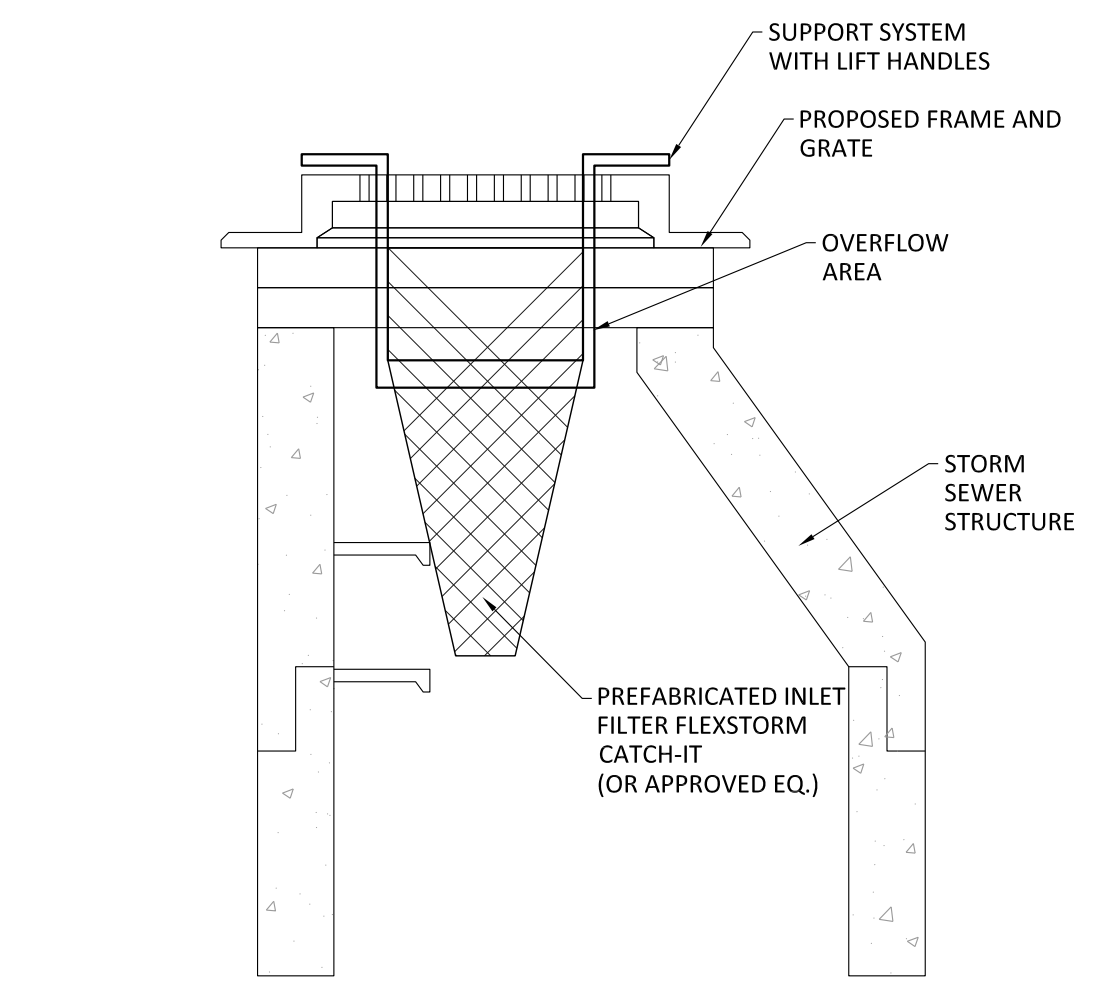
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1. FILTER FABRIC SHALL MEET ASTM 592 GEOTEXTILE. TABLE 1 OR 2 FOR CLASS I, II, OR IV. AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING STONE.
2. RECLAIMED CONCRETE OR COARSE AGGREGATE SHALL MEET EITHER CALTRANS AGGREGATE BASE REQUIREMENTS FOR A CONSTRUCTION ENTRANCE AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT METHOD I OR CLASS III COMPACTION.
3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
4. IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

**TEMPORARY CONSTRUCTION ENTRANCE**

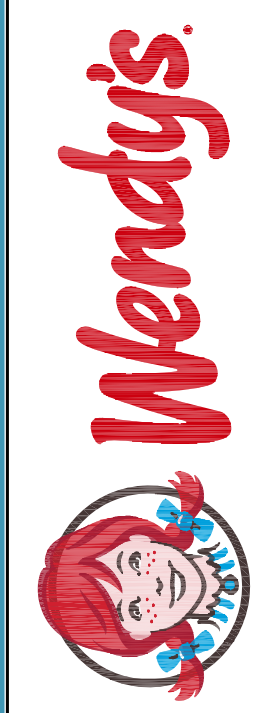
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**INLET FILTER PROTECTION - BASKET**

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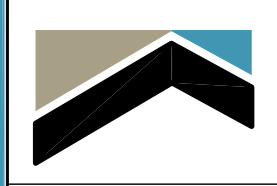


WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
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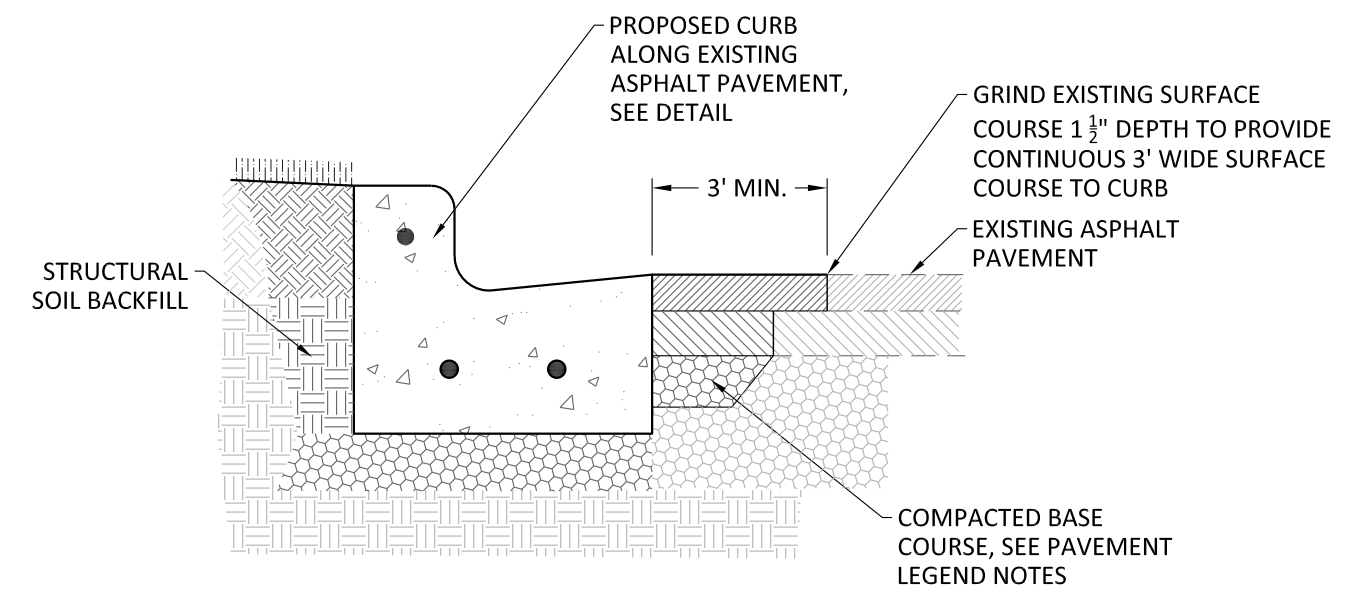
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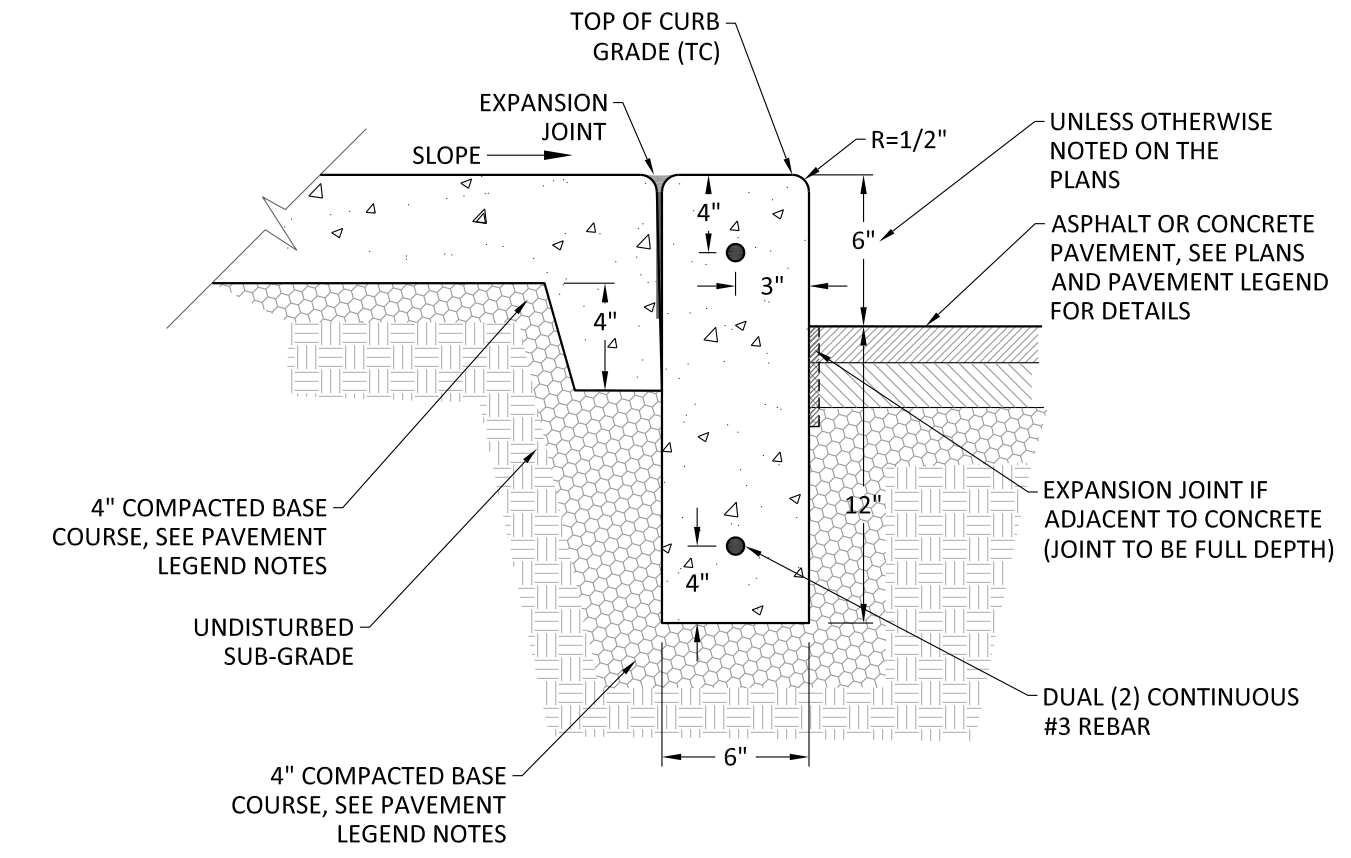


ASPHALT DESCRIPTION	ASPHALT SECTION	SECTION DESCRIPTION	CONCRETE DESCRIPTION	CONCRETE SECTION	SECTION DESCRIPTION
STANDARD DUTY PAVEMENT		1.5" ASPHALT SURFACE COURSE 2.5" ASPHALT BINDER COURSE 8" BASE COURSE COMPACTED SUB-BASE	CONCRETE SIDEWALK		5" CONCRETE PAVEMENT 4" BASE COURSE COMPACTED SUB-BASE
			STANDARD CONCRETE PAVEMENT		6" CONCRETE PAVEMENT 4" BASE COURSE COMPACTED SUB-BASE
			HEAVY DUTY CONCRETE PAVEMENT		8" CONCRETE PAVEMENT 6" BASE COURSE COMPACTED SUB-BASE

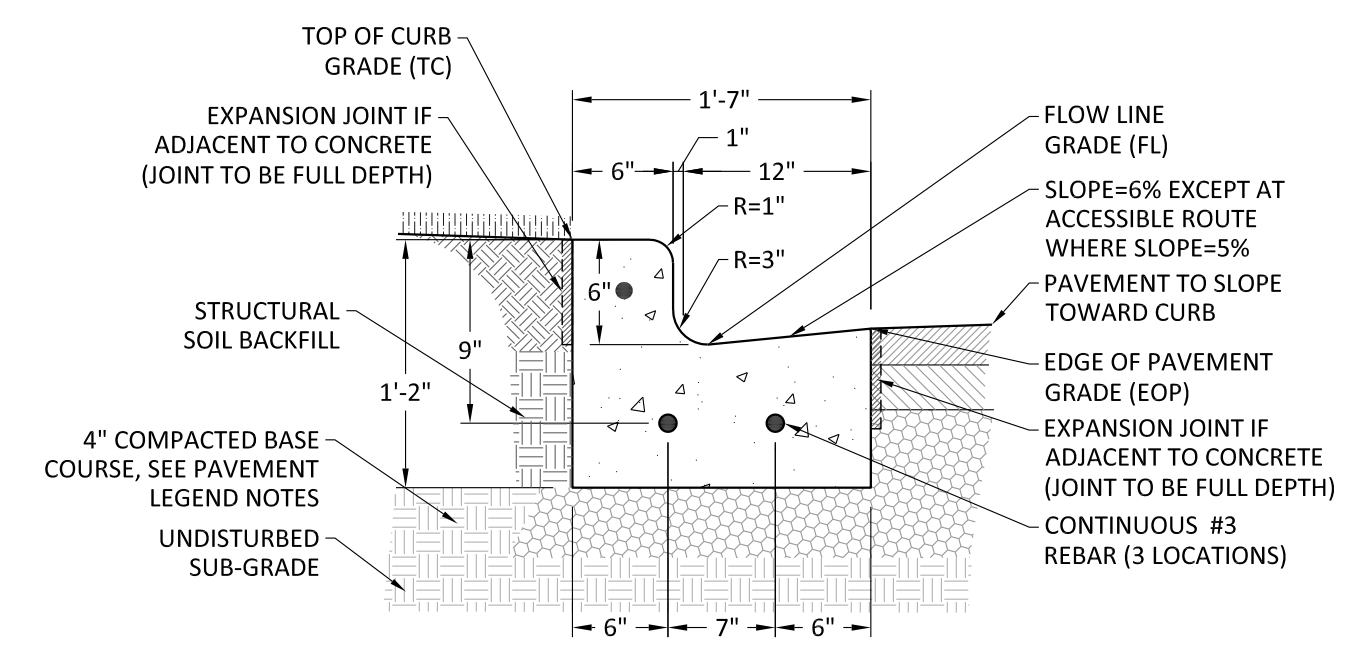
1. ALL ASPHALT SURFACE COURSE SHALL BE: MEDIUM GRADE HMA MIN.
2. ALL CONCRETE SHALL BE: 4,000 PSI AT 14 DAYS, LIMESTONE AGGREGATE, 5 - 7% AIR ENTRAINMENT, 4" SLUMP LIMIT. PROVIDE CONCRETE SEALER AND A LIGHT BROOM FINISH.
3. ALL BASE COURSE SHALL BE: CLASS II CRUSHED STONE OR LIMESTONE COMPACTED TO 95% STANDARD LABORATORY DENSITY.
4. ALL SUB-BASE SHALL BE: PROOF ROLLED TO THE SATISFACTION OF THE OWNER (OR OWNER'S REPRESENTATIVE), AND MUNICIPALITY.
5. PRIOR TO THE PLACEMENT OF THE BINDER COURSE OF ASPHALT, THE BASE COURSE SHALL BE CLEANED AND A PRIME COAT SHALL BE APPLIED AT THE RATE OF 0.25 TO 0.50 GAL/SY PER CALTRANS STANDARDS.
6. PRIOR TO THE PLACEMENT OF THE SURFACE COURSE OF ASPHALT, THE BINDER COURSE SHALL BE CLEANED AND A TACK COAT SHALL BE APPLIED AT A RATE OF 0.10 GAL/SY PER CALTRANS STANDARDS.
7. SEE PAVING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



1. SEE PLANS FOR LOCATIONS.  
PROPOSED ASPHALT PATCH ADJACENT TO PROPOSED CURB



1. SEE PLANS FOR LOCATIONS.  
BARRIER CURB AT PAVEMENT

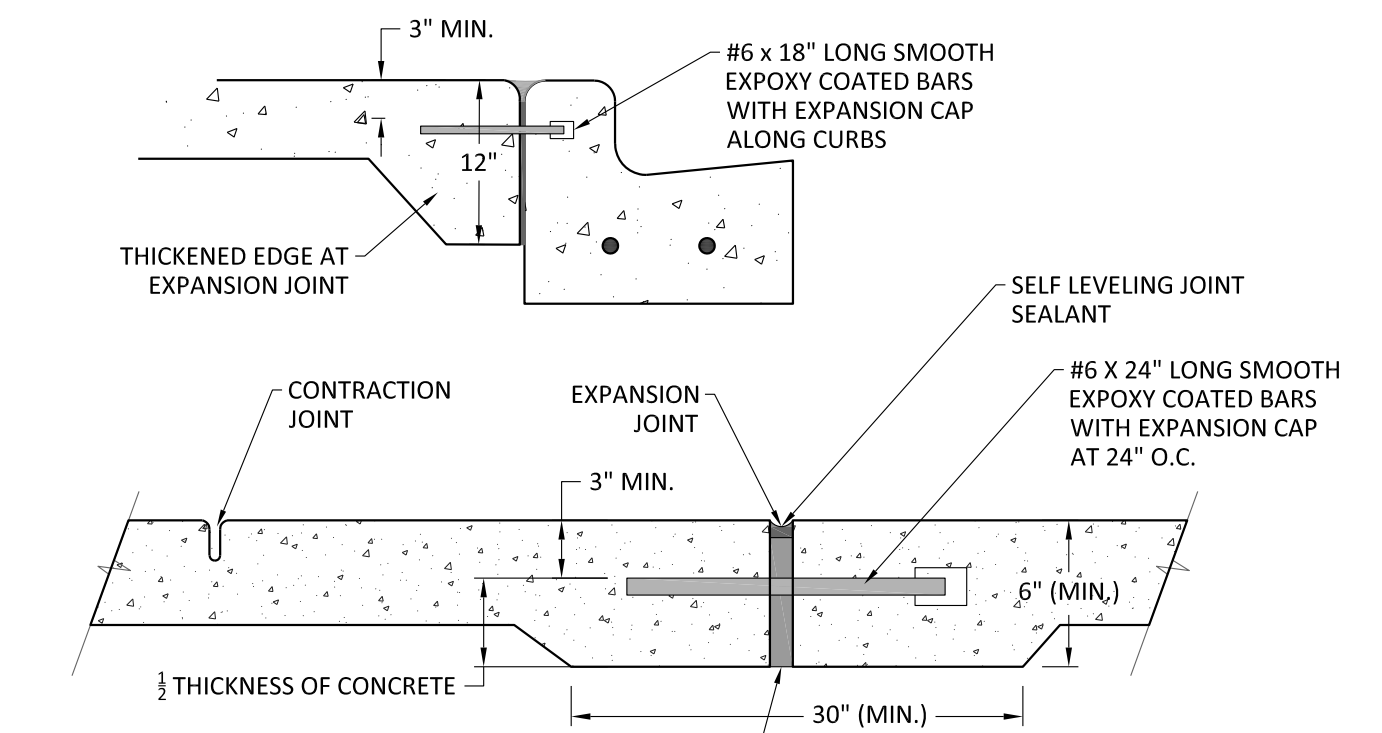


1. USE STANDARD PITCH GUTTERS WHERE WATER IS DIVERTED TOWARD CURB.
2. LONGITUDINAL SLOPE SHALL BE 0.50% MIN.
3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'
4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'
5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.

COMBINATION CONCRETE CURB AND GUTTER - STANDARD PITCH

PAVEMENT LEGEND

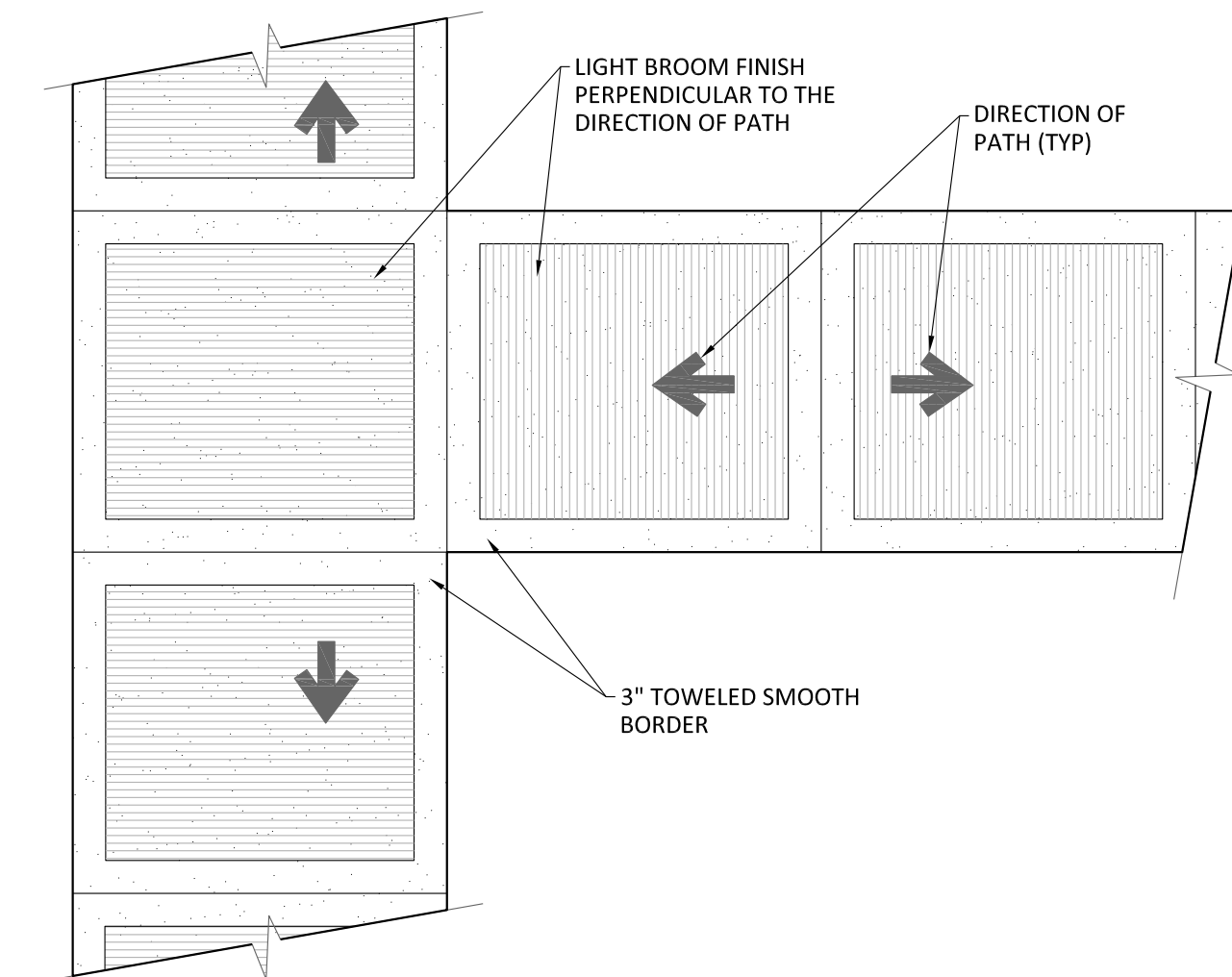
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- CONTRACTION JOINTS**
1. 1/4" DEEP FOR CONCRETE PAVEMENT, 2" DEEP FOR CONCRETE SIDEWALKS.
  2. TOOLED JOINTS WITH 1/4" JOINT RADII.
  3. 3/4" MAXIMUM WIDTH.
- EXPANSION JOINTS**
1. ALL EXPANSION JOINTS TO BE 1/4" PREMOLDED JOINTS.
  2. JOINT TO BE FULL DEPTH OF CONCRETE.
  3. CLEAN ALL DEBRIS WITH HIGH PRESSURE AIR BEFORE JOINT SEALANT INSTALLATION.
  4. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS ABUTTING A CURB.
  5. EXPANSION JOINTS SHALL BE PROVIDED AROUND THE PERIMETER OF ANY BLOCKOUT IN THE CONCRETE PAVING.
1. SEE PAVEMENT SECTIONS FOR DETAILS.  
2. SIDEWALK WIDTHS MAY VARY.  
3. ALL REINFORCEMENT BARS SHALL BE GRADE 40 KSI DEFORMED REINFORCING STEEL. SIZING AND SPACING SHALL BE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.

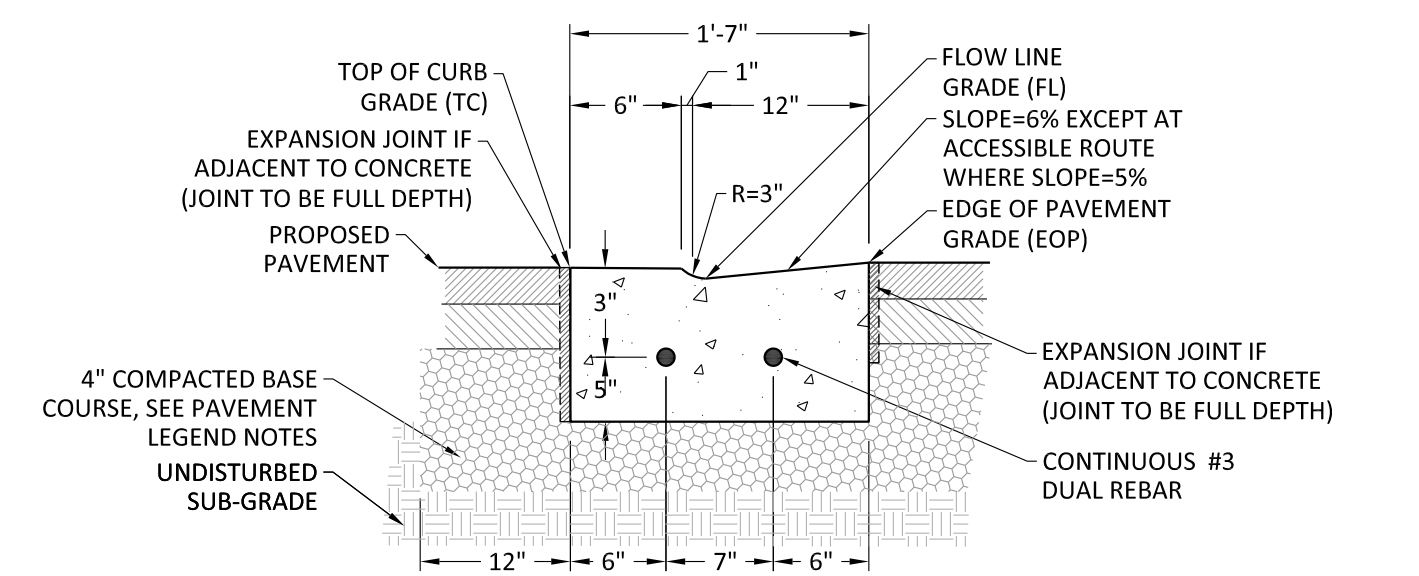
CONCRETE JOINTS

NOT TO SCALE



1. SEE PLANS FOR LOCATIONS.  
CALIFORNIA FINISH CONCRETE

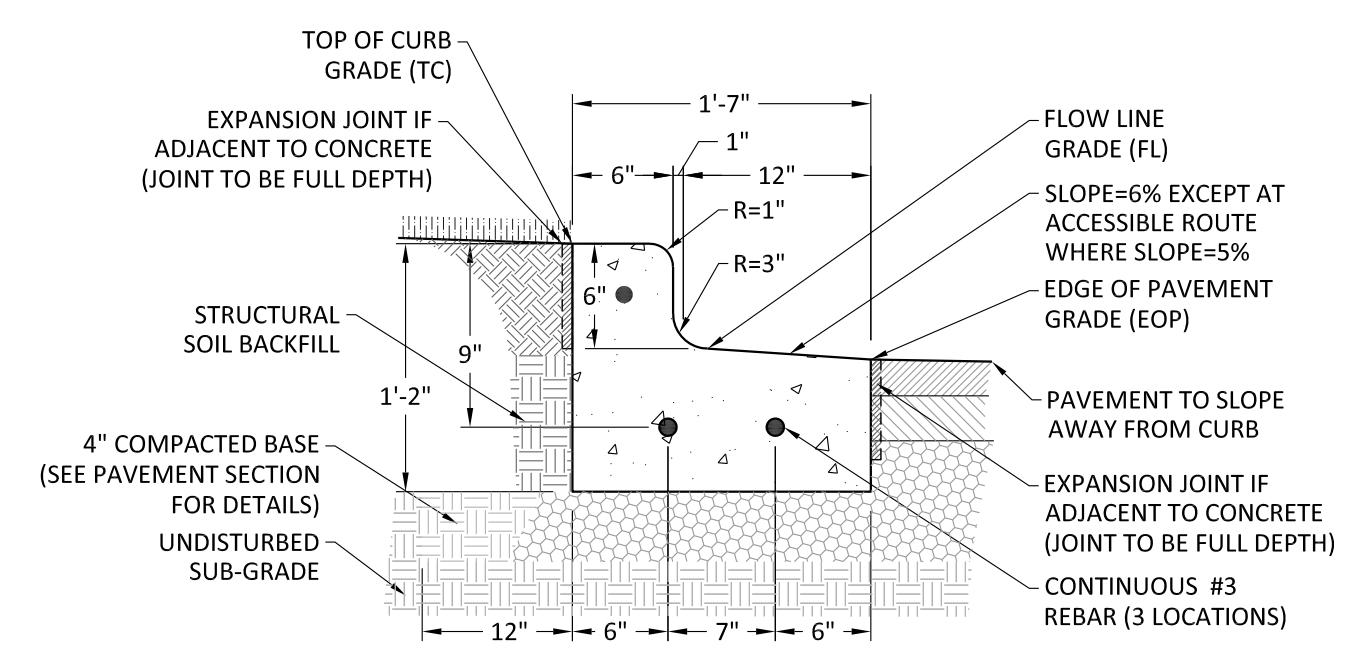
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1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB AND STANDARD PITCH GUTTERS WHERE WATER DRAINS TOWARD CURB.
2. LONGITUDINAL SLOPE SHALL BE 0.30% SLOPE MIN.
3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'
4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'
5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.
6. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS

COMBINATION CONCRETE CURB AND GUTTER - DEPRESSED

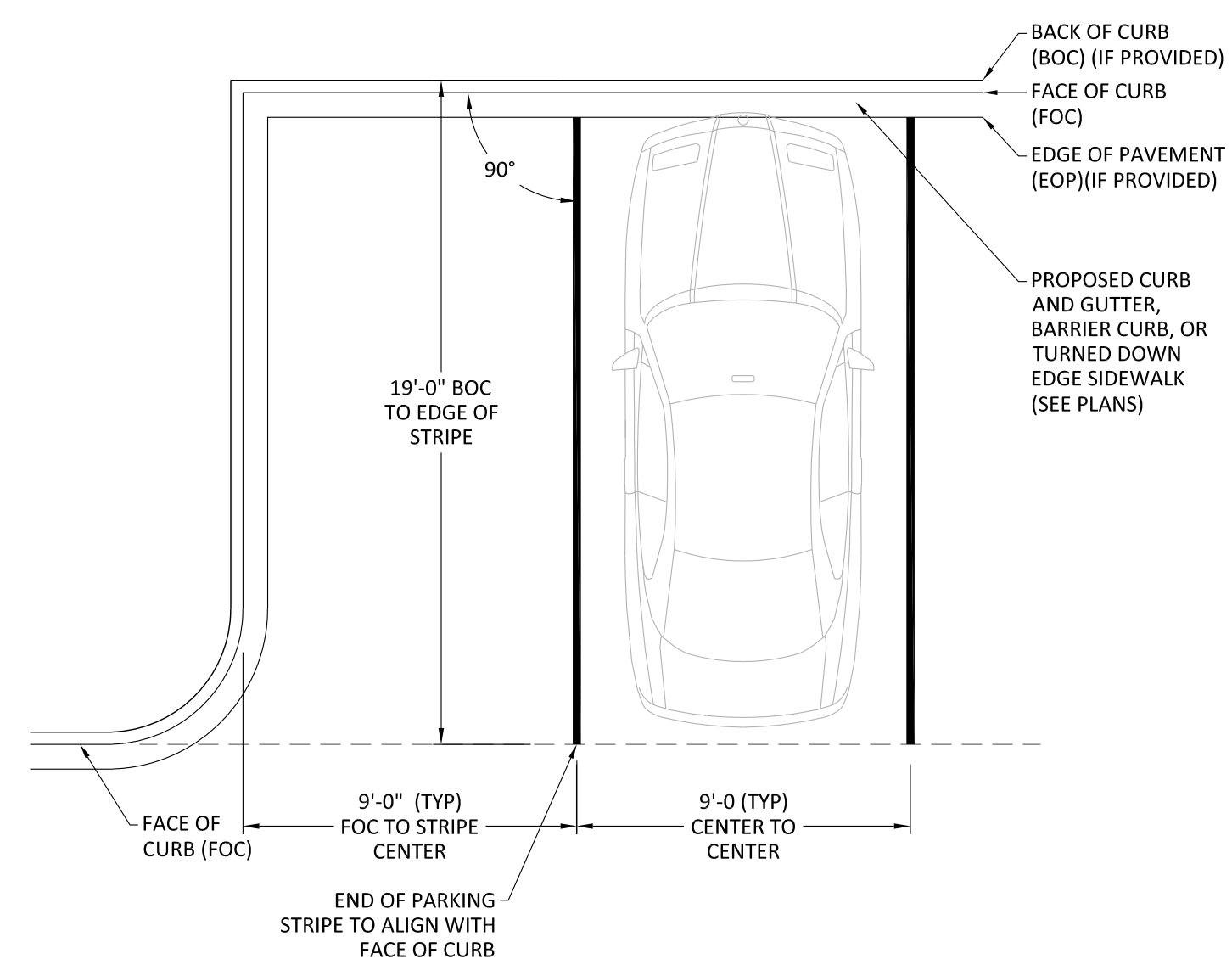
NOT TO SCALE



1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB.
2. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'
3. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'
4. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.

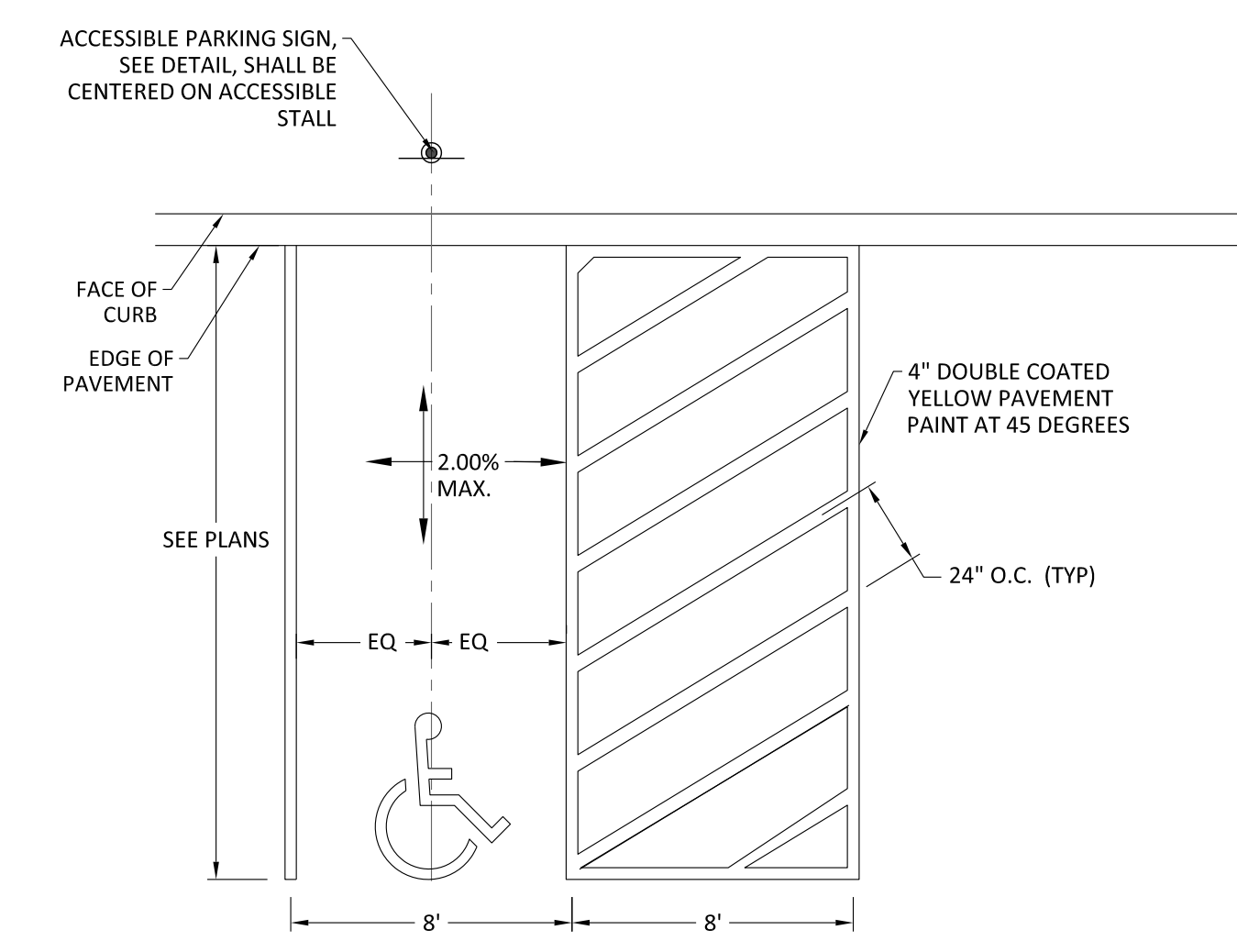
COMBINATION CONCRETE CURB AND GUTTER - REVERSE PITCH

NOT TO SCALE



1. ALL STRIPING SHALL BE DOUBLE COATED YELLOW PAVEMENT PAINT  
PARKING STALL STRIPING - 90 DEGREE

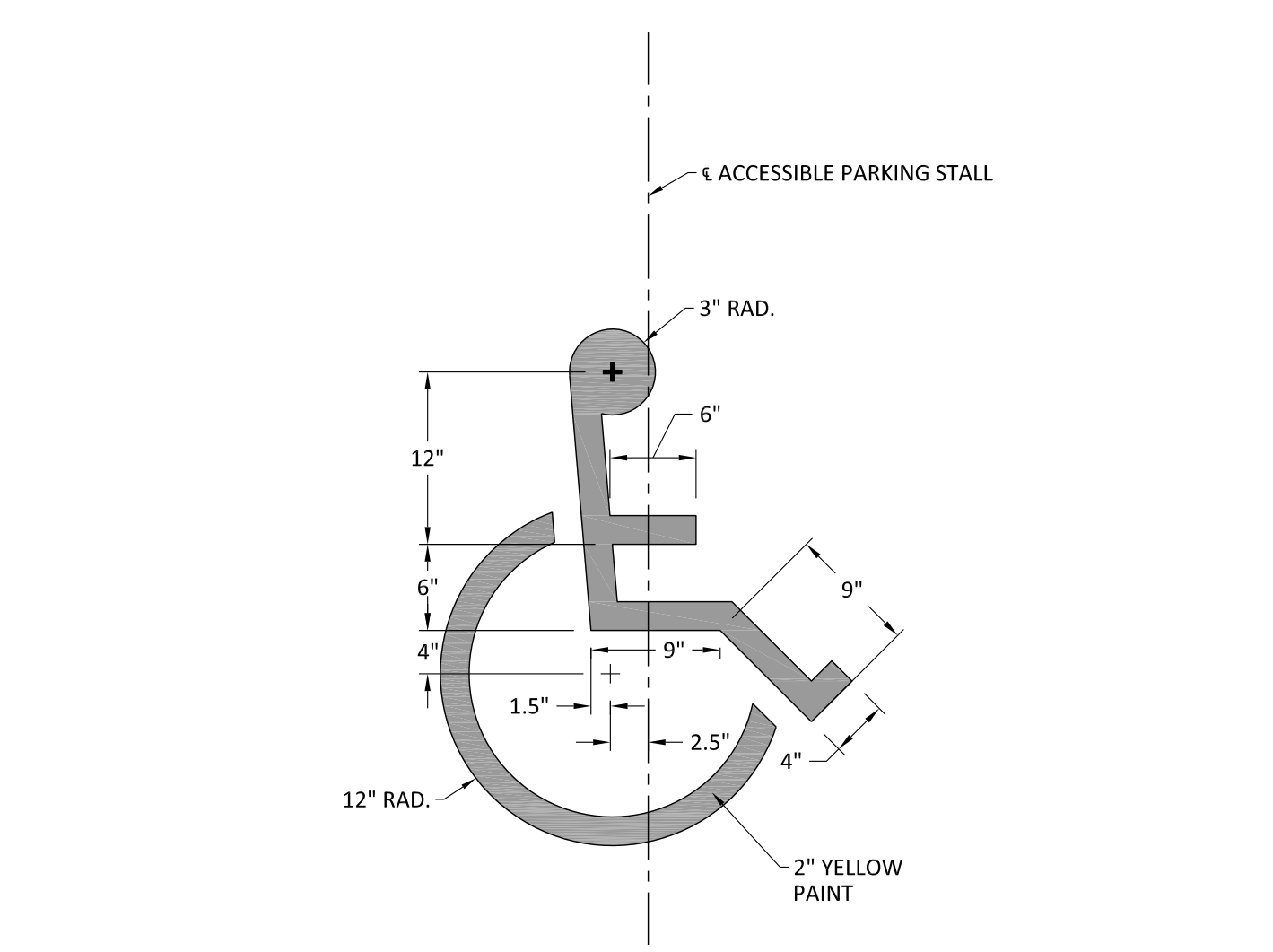
NOT TO SCALE



1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR WALL AT FRONT CENTER OF THE PARKING SPACE, NO MORE THAN 6 FEET HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE.
2. ACCESSIBLE PARKING STALL SLOPES NOT TO EXCEED 2.00% IN ANY DIRECTION.

ACCESSIBLE PARKING STALL - 90 DEG 8' x 8'

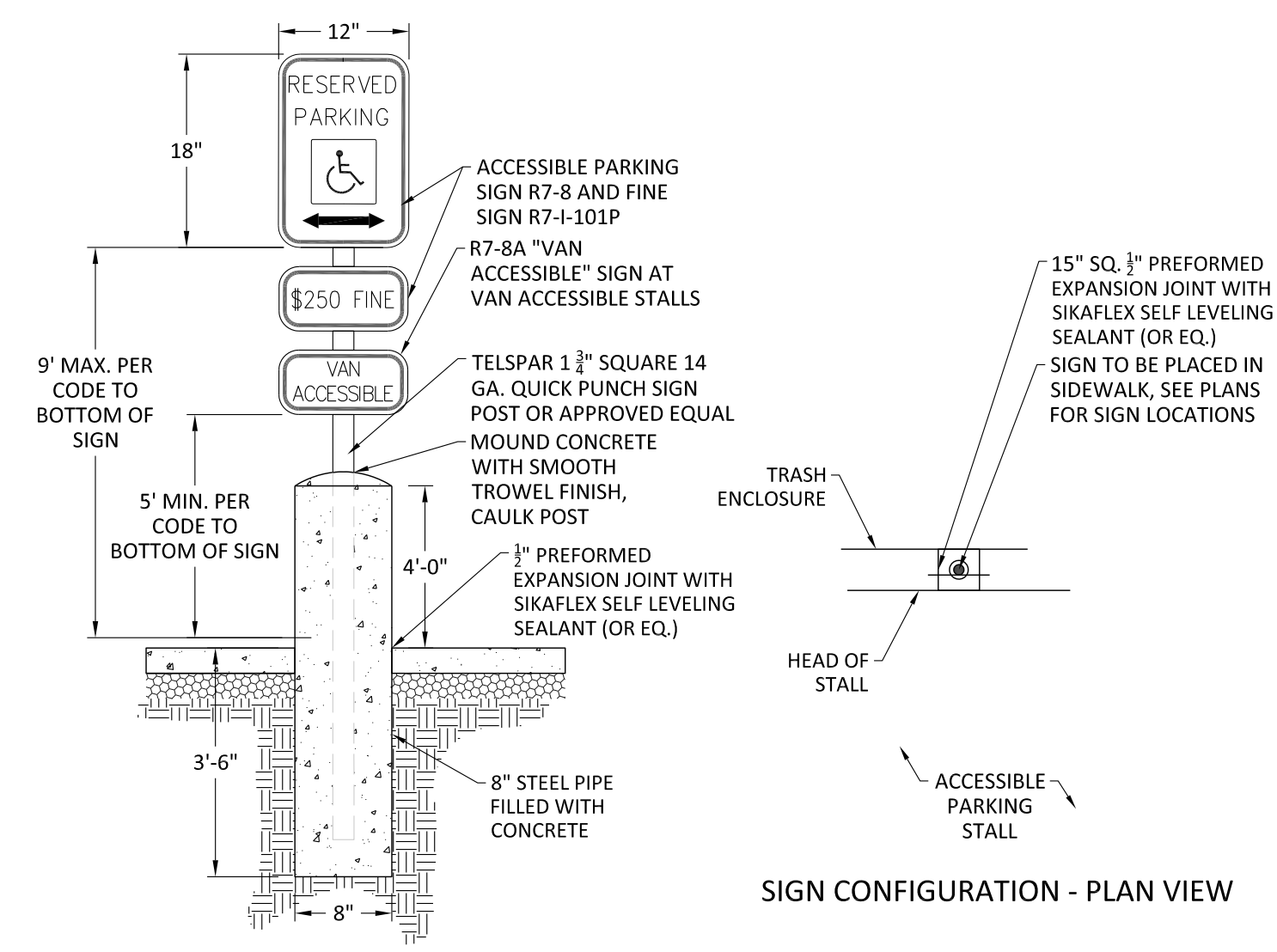
NOT TO SCALE



1. SEE PLAN FOR QUANTITIES AND LOCATIONS.
2. BOTTOM OF SYMBOL SHALL ALIGN WITH END OF STALL.

ACCESSIBLE PARKING STALL PAVEMENT SYMBOL

NOT TO SCALE



1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR WALL AT FRONT CENTER OF THE PARKING SPACE, NO MORE THAN 6 FEET HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE.
2. FOR EVERY 6 ACCESSIBLE STALLS (OR FRACTION THEREOF) AT LEAST ONE STALL SHALL BE VAN ACCESSIBLE INCLUDING THE "VAN ACCESSIBLE" SIGN.

ACCESSIBLE PARKING SIGN AT STALL IN SIDEWALK

NOT TO SCALE

MUNICIPAL/AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
1082 E. MAIN STREET  
OAKLEY, CA

PROJECT DETAILS 1

NO.	DATE	REVISION DESCRIPTION	BY	DATE	REVISION DESCRIPTION
1	9/15/2021	PER CITY COMMENTS - 5/24/2021	KMP		

DESIGNED BY: KMP  
REVIEWED BY: BP  
DATE: 04/09/2021  
PHONE: 5325-300-32-01



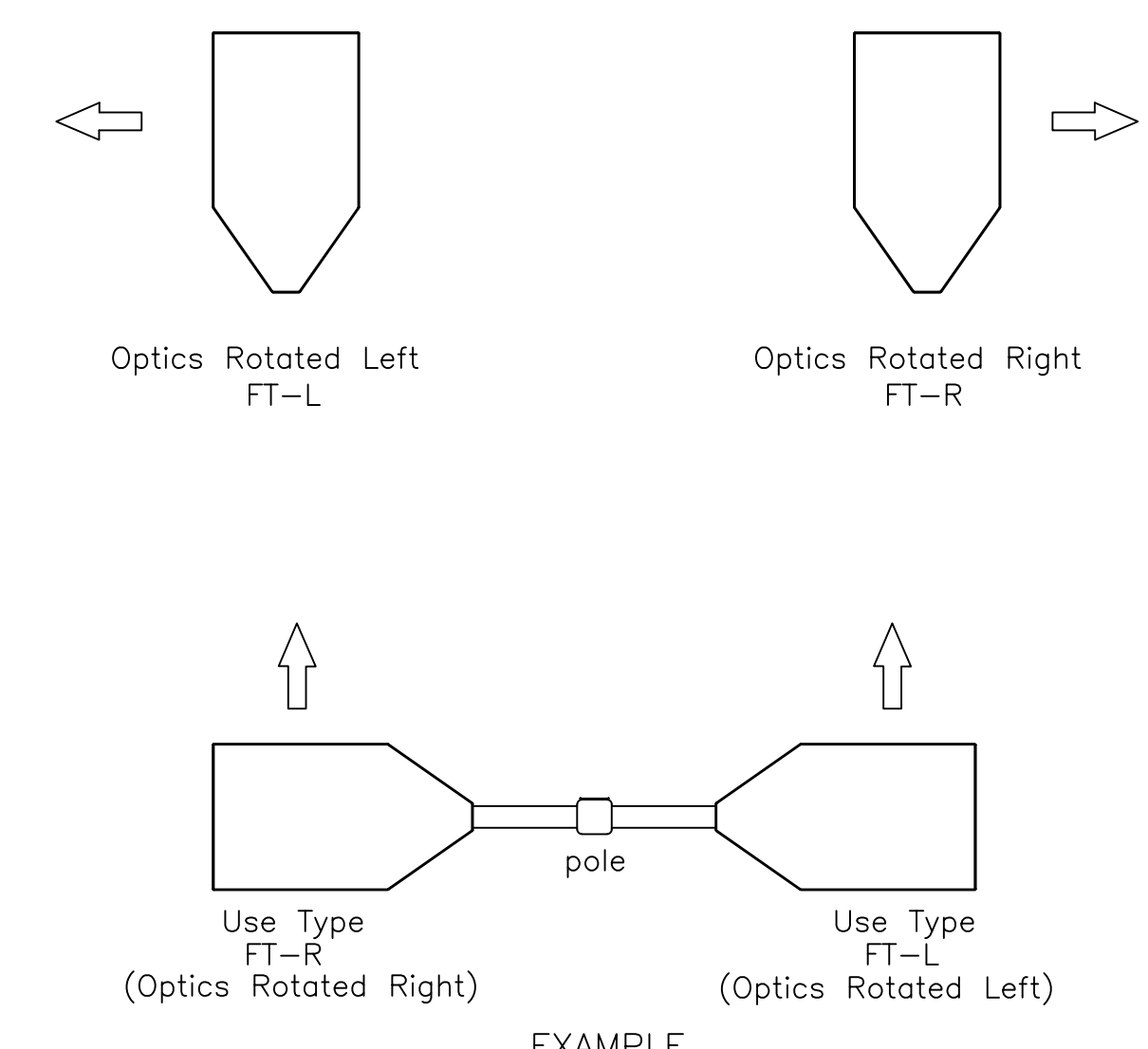
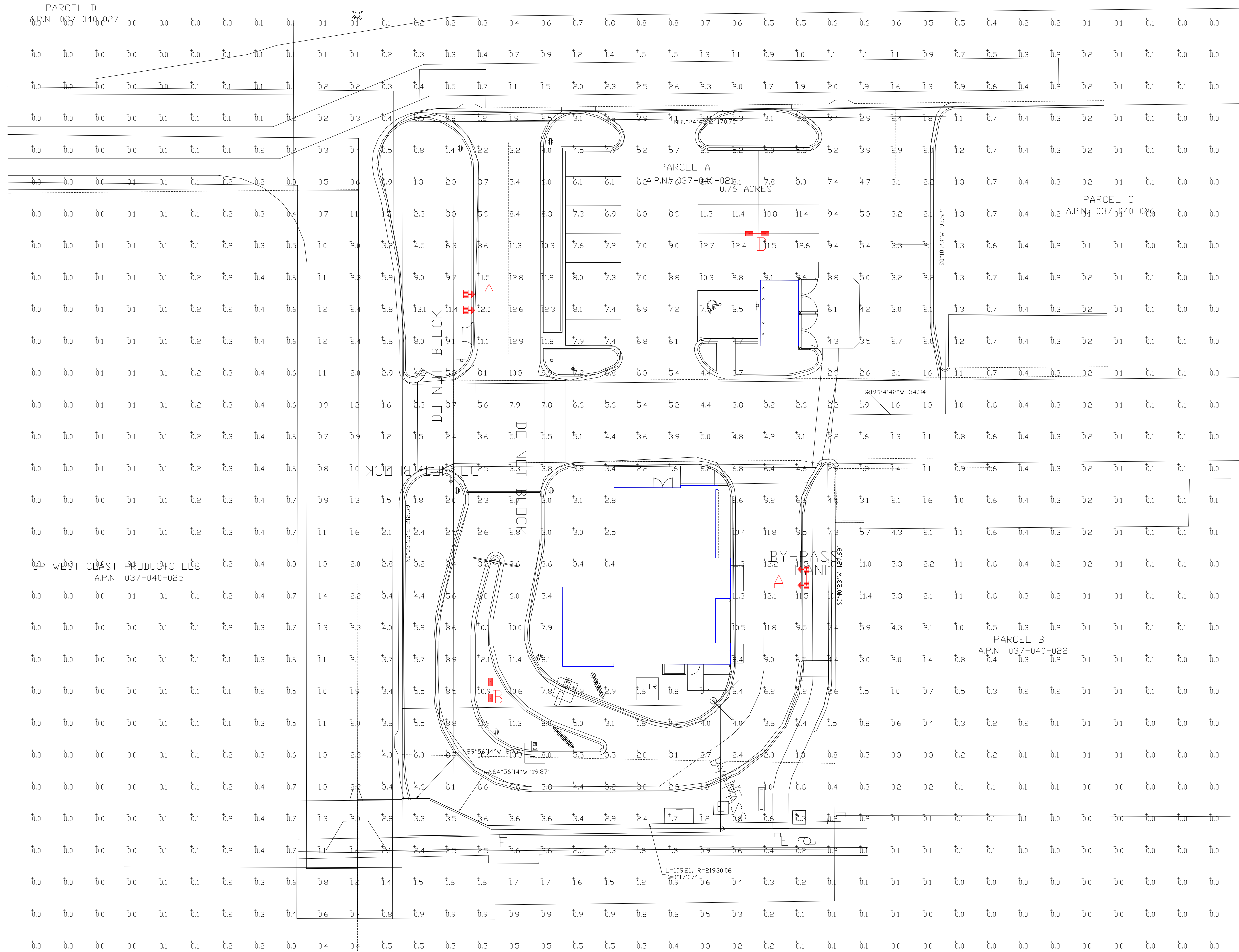
OFFICE LOCATION:  
WEAVER CONSULTANTS GROUP  
1315 BOND STREET, SUITE 108  
HAFFERVILLE, ILLINOIS 60643  
(630) 717-4848  
wcgrp.com

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EXAMPLE  
For D180 Forward Throw installations specify left rotated optics (FT-L) and/or right rotated optics (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be illuminated.

Top View  
Fixture Type A



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE	Illuminance	Fc	2.01	13.1	0.0	NA.	NA.
PARKING & DRIVE SUMMARY	Illuminance	Fc	6.40	12.9	1.6	4.00	8.06

Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts
	2	A	D180° 2RTD	SLM-LED-30L-SIL-(1)FT-L(1)FT-R-50-70CRI-D180RT-24' POLE+2' BASE	1.000	1.000	1.000	63844	464
	2	B	D180°	SLM-LED-30L-SIL-FT-50-70CRI-D180-24' POLE+2' BASE	1.000	1.000	1.000	63844	464

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

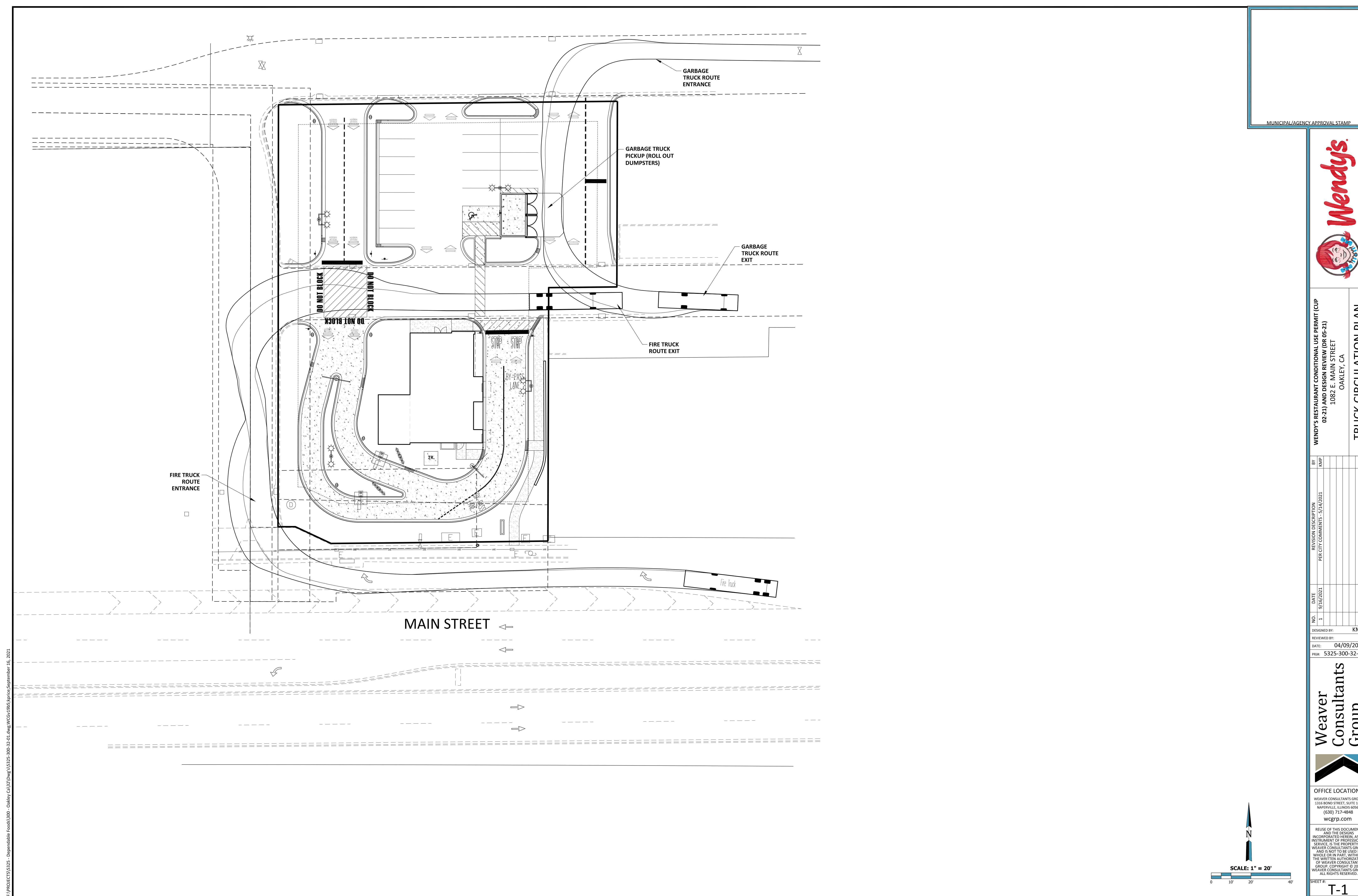
Total Project Watts  
Total Watts = 1856

WENDY'S  
MAIN ST  
DOWNEY, CA

DATE: 9/16/21 REV: SHEET 1 OF 1

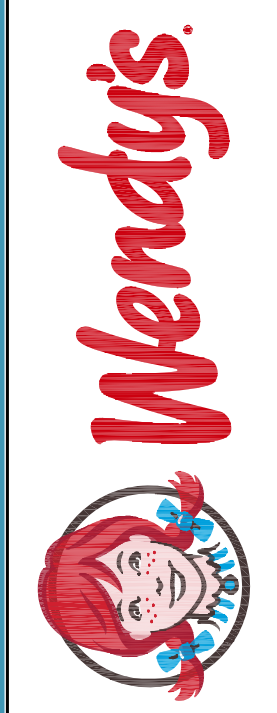
SCALE: 1"=20'





F:\PROJECTS\5325-300 - Oakley CA\32\Draw\5325-300-32-01.dwg (VCS) 09/15/2021 10:58:16 AM September 16, 2021

MUNICIPAL AGENCY APPROVAL STAMP



WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)  
 1082 E. MAIN STREET  
 OAKLEY, CA  
**TRUCK CIRCULATION PLAN**

NO.	DATE	REVISION DESCRIPTION	BY	APP'D
1	07/15/2021	PER CITY COMMENTS - 5/14/2021		

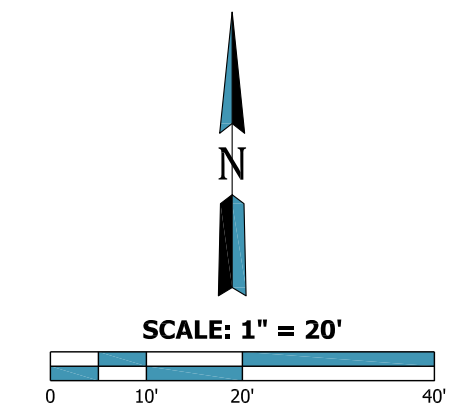
DESIGNED BY: KMP  
 REVIEWED BY: BP  
 DATE: 04/09/2021  
 PERM: 5325-300-32-01



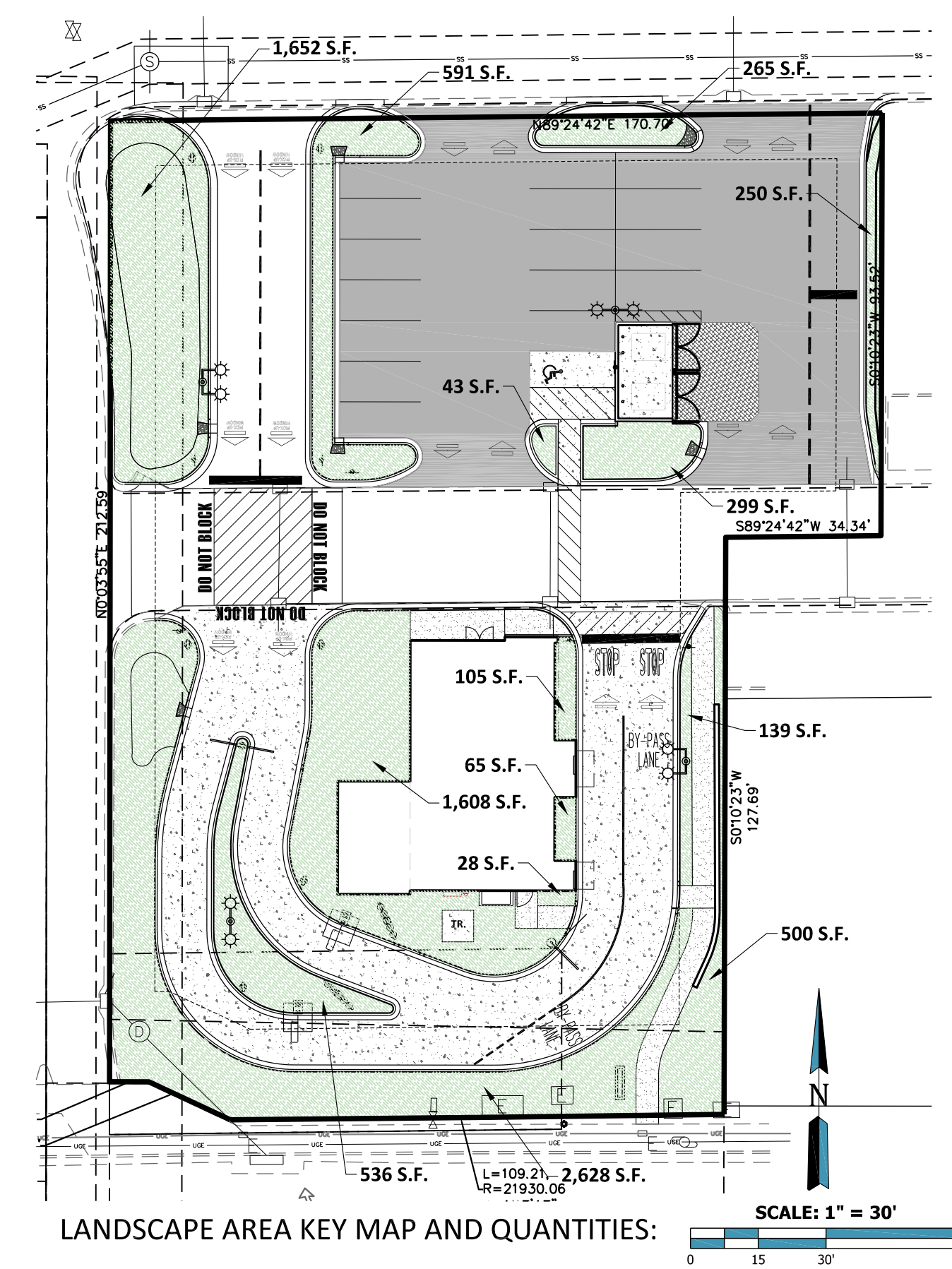
OFFICE LOCATION:  
 WEAVER CONSULTANTS GROUP  
 1316 BOND STREET, SUITE 108  
 WATFORD, ALABAMA 36063  
 (630) 717-4848  
 wgrp.com

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SHEET #: T-1







**LANDSCAPE CALCULATIONS:**

**SUMMARY:**

SITE AREA	33,186 S.F.
ASPHALT PARKING LOT AREA	7,454 S.F.
TOTAL LANDSCAPE AREA PROVIDED	8,663 S.F. (26.1%)

PARKWAY STREET TREES - N/A

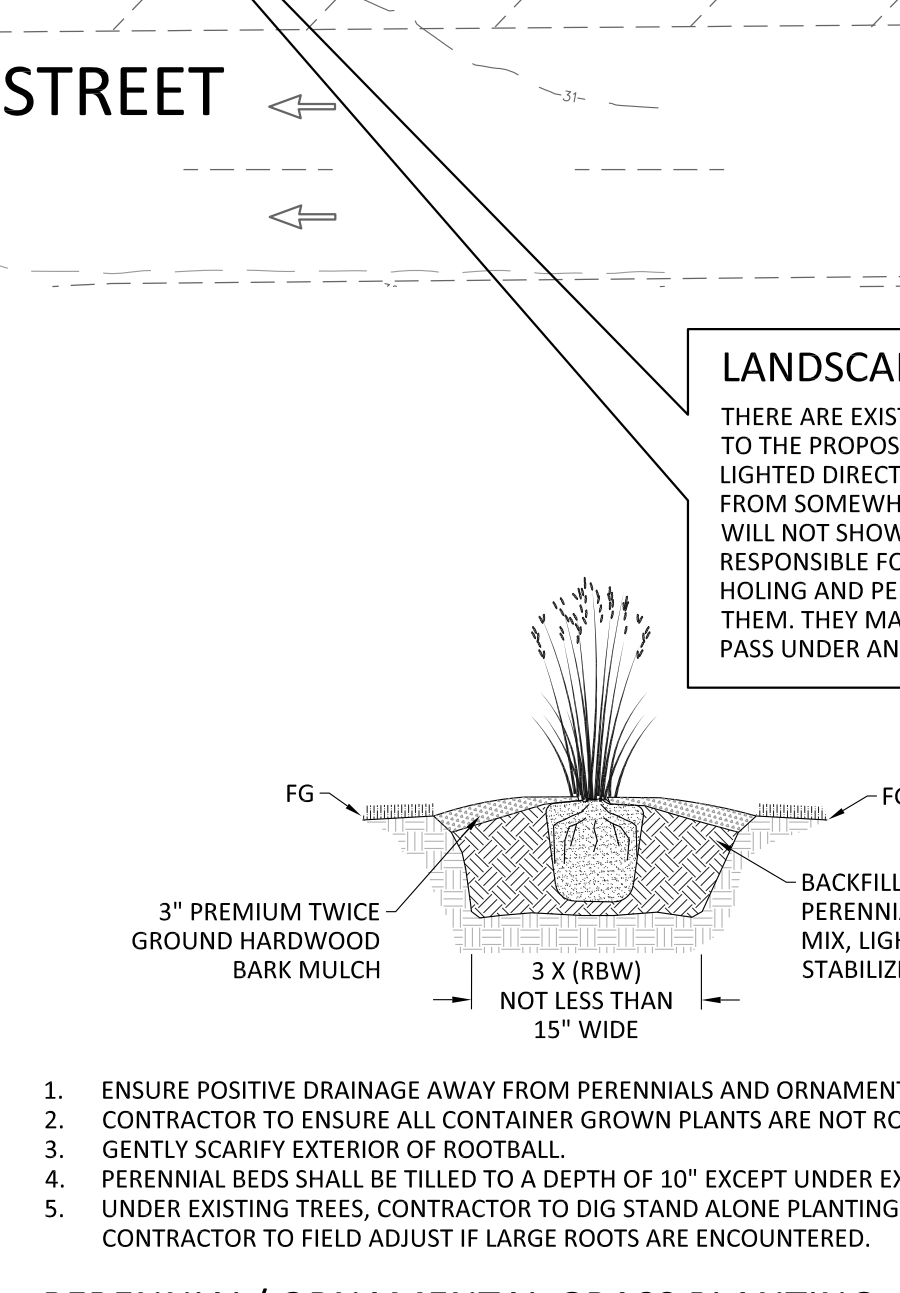
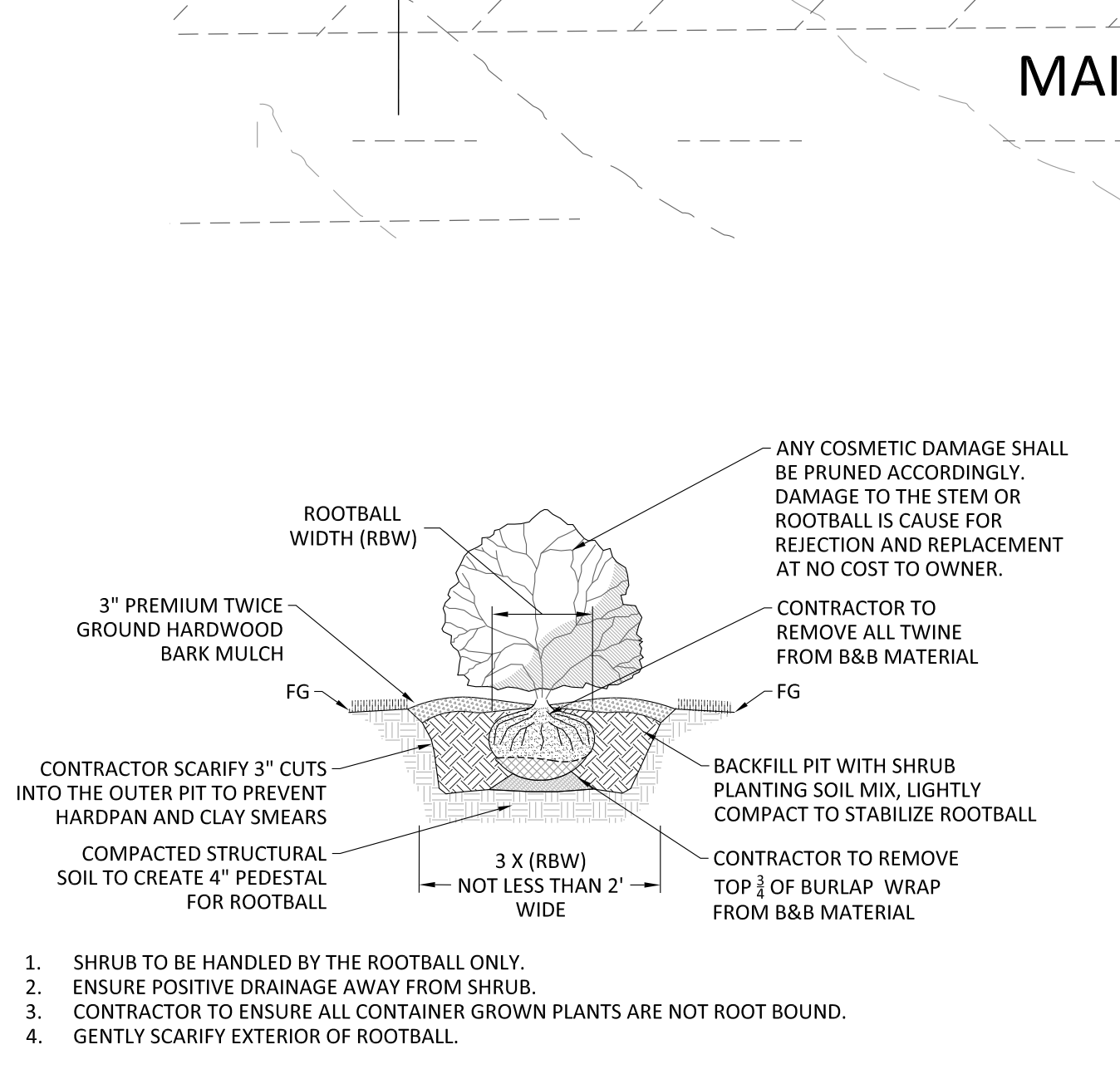
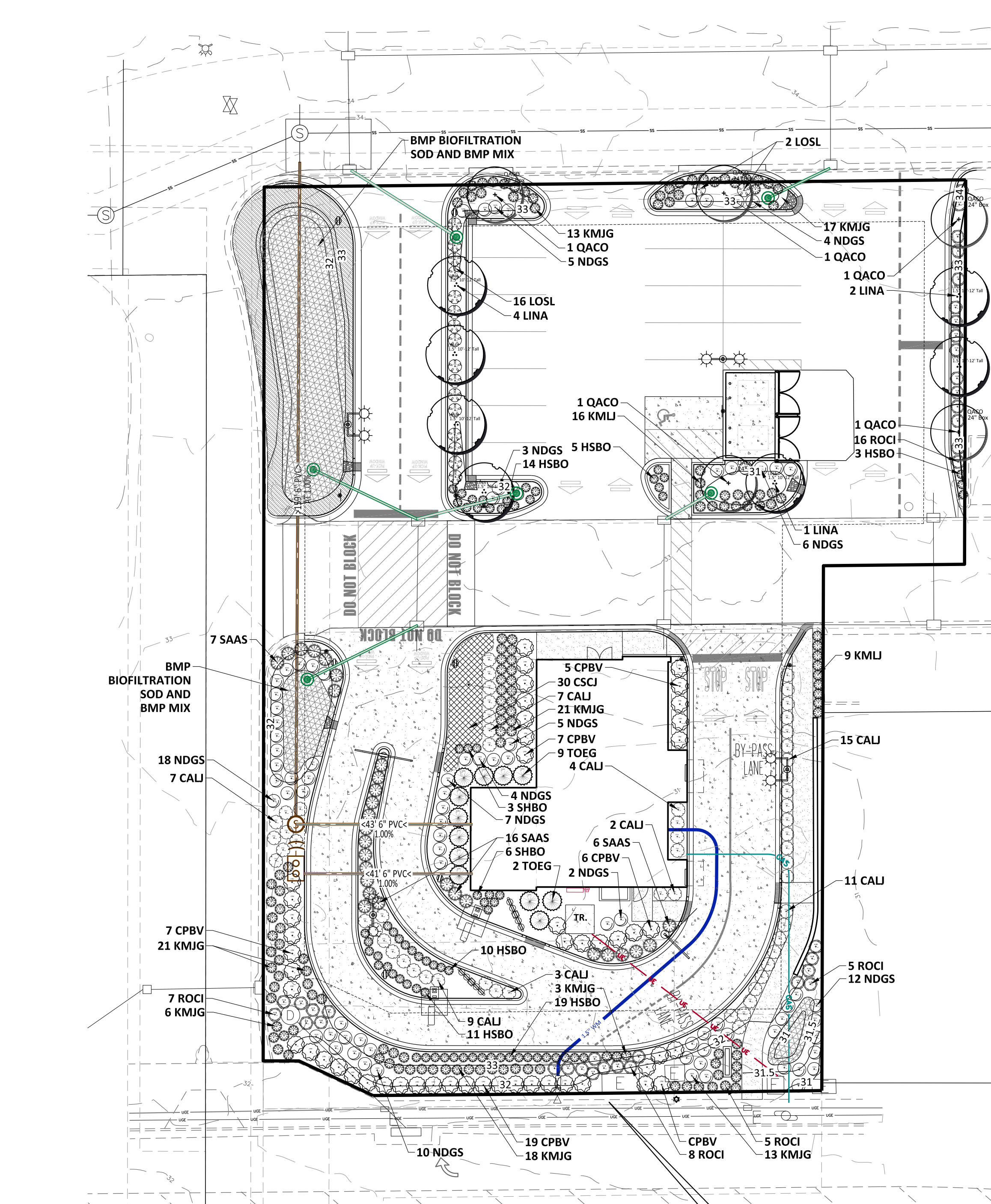
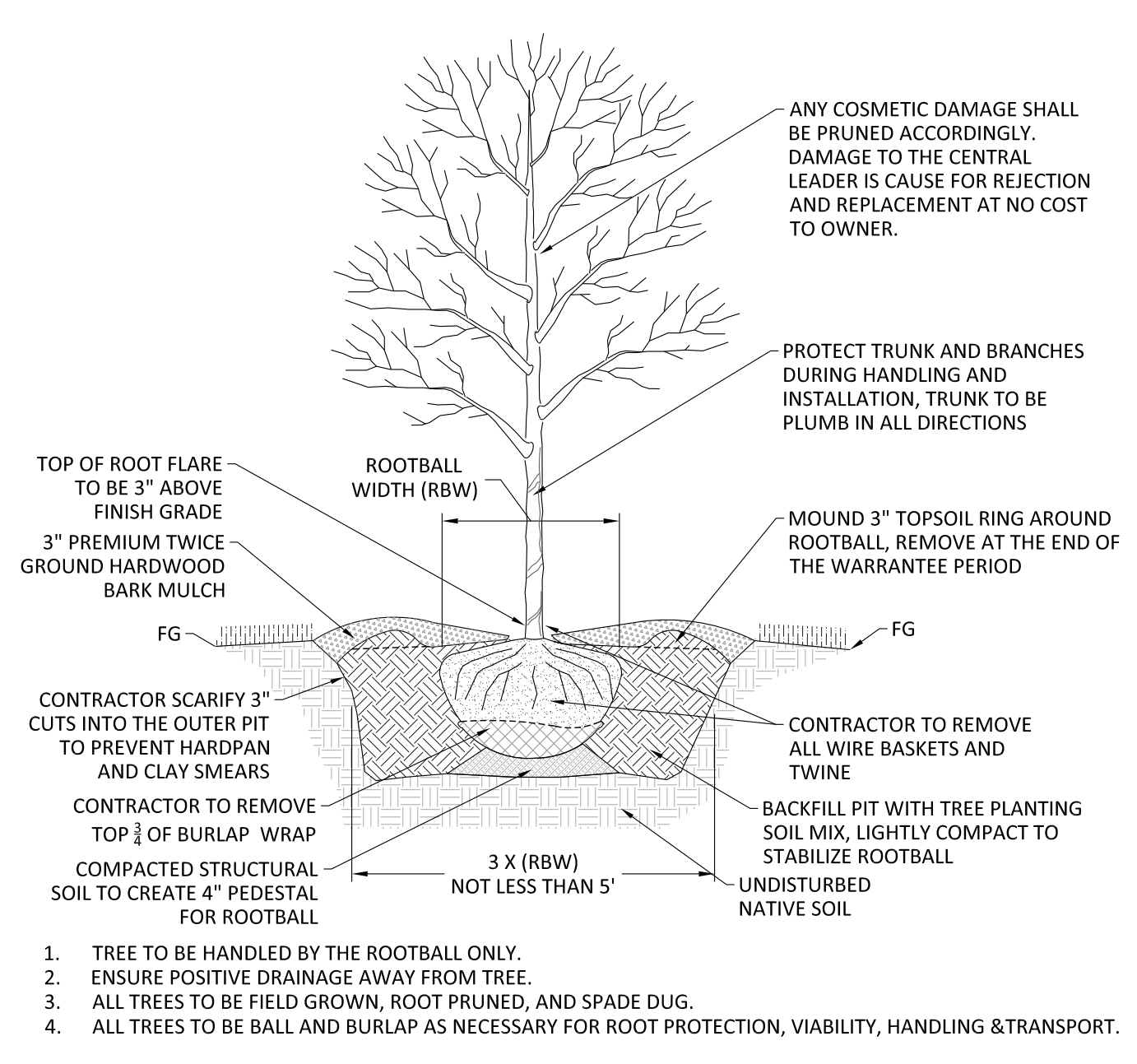
PARKING LOT INTERIOR - 1 TREE PER 600 S.F. (7,454/600 = 12 TREES REQUIRED)

PARKING LOT INTERIOR TREES PROVIDED = 12

**SHADE CALCULATION SUMMARY:**

TOTAL PARKING AREA	7,454 S.F.
REQUIRED SHADE AREA (50%)	3,727 S.F.
PROVIDED 15 YR SHADE AREA	4,326 S.F.
PROVIDED SHADE AREA PERCENTAGE	58.0%

QTY.	MATURE SHADE AREA	TOTAL SHADE AREA
QUECUS AGRIFOLIA 5	707 S.F.	3,535 S.F.
LAGERSTROEMIA INDICA 'NATCHEZ' 7	113 S.F.	791 S.F.
<b>TOTAL CANOPY SHADE AREA</b>		<b>4,326 S.F.</b>



- SPECIFICATIONS - LANDSCAPE**
- STANDARDS AND SPECIFICATIONS:** THE CURRENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 CURRENT ADDITION) PUBLISHED BY AMERICANHORT.
  - SITE ANALYSIS:** THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE AND EVALUATE SITE CONDITIONS IN RELATION TO THE LANDSCAPE PLAN AND ITS ASSOCIATED PLAN SET. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY UPON CONTACT.
  - PROJECT COORDINATION:** THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR AND SUBCONTRACTORS AS NECESSARY.
  - UTILITIES:** THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL UTILITIES AND IRRIGATION SYSTEMS. ALL DAMAGES TO THE PROTECTED SYSTEMS SHALL BE REPLACED/REPAIRED TO A NEW CONDITION. LABOR AND MATERIALS SHALL BE AT NO COST TO THE OWNER.
  - LANDSCAPE PROTECTION:** THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL EXISTING LANDSCAPE NOTED FOR PROTECTION AND ON-SITE LANDSCAPE ASSOCIATED WITH CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROPER SHIPPING, HANDLING, STORAGE, PLANTING, WATERING AND MAINTENANCE OF ALL PROPOSED LANDSCAPE MATERIALS INCLUDING THEFT FROM THE TIME OF ACQUISITION TILL TIME OF ACCEPTANCE.
  - PLANT QUALITY:** ALL LANDSCAPE PLANTS SHALL BE TRUE TO THE BOTANICAL SPECIES AND VARIETY AND SIZE SPECIFIED ON THE PLANS. PLANTS SHALL BE MAINTAINED DURING GROWTH DEVELOPMENT TO UNIFORM, SYMMETRICAL AND WELL BRANCHED. PLANTS SHALL BE FREE OF ANY PESTS AND ANY OTHER PLANT GROWING FROM THE ROOTBALL. DAMAGED TRUNKS, BRANCHES AND INDICATIONS OF MISHANDLING ARE SUFFICIENT CAUSE FOR REJECTION. ALL SINGLE STEM TREES SHALL HAVE ONE DOMINANT CENTRAL LEADER.
  - PRUNING:** THE LANDSCAPE CONTRACTOR SHALL ENSURE ALL BRANCH AND ROOT PRUNING IS DONE BY A CERTIFIED ARBORIST AND IN ACCORDANCE WITH ANSI A300.
  - ROOTCUT FLARE AND ROOTBALL:** THE LANDSCAPE CONTRACTOR SHALL INSPECT ALL ROOTBALLS TO ENSURE NO ROOT GREATER THAN 1/2" SMALL CIRCLE ROOTBALL MORE THAN 1/4" OF ROOTBALL CIRCUMFERENCE. ROOTBALL SHALL BE FREE OF "J" ROOTS, KINKED, OR GIRDLING ROOTS OR POT BOUND. ROOT FLARE SHALL NOT BE PLACED BELOW FINISH GRADE. SEE DETAIL FOR ILLUSTRATION.
  - PLANT CERTIFICATION:** THE LANDSCAPE CONTRACTOR SHALL PROVIDE PROOF ALL PLANTS ARE CERTIFIED FREE OF DISEASE AND INFESTATIONS IN ACCORDANCE OF STATE AND FEDERAL LAWS.
  - TIMING:** CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR FOR LANDSCAPE INSTALLATION TIMING. ANY PROPOSED LANDSCAPE THAT HAS UNIQUE CONSTRAINTS OR INSTALLATIONS CANNOT MEET CONSTRUCTION TIMING REQUIRES PRE-APPROVAL BY LANDSCAPE ARCHITECT.
  - SUBSTITUTIONS:** ALL PLANT SUBSTITUTIONS REQUIRE LANDSCAPE ARCHITECT AND MUNICIPAL APPROVAL (IF REQUIRED).
  - WATERING:** THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WATERING FROM TIME OF ACQUISITION TO 30 DAYS AFTER INSTALLATION. CONTRACTOR SHALL REPLACE ALL PLANTS THAT DIE OR SEVERELY DAMAGE AS A RESULT OF LACK OF OR EXCESSIVE WATERING. REPLACEMENT DUE TO PLANT CARE SHALL BE AT NO COST TO THE OWNER. WATERING SHALL BE INCLUDED IN CONTRACTOR'S BID.
  - WARRANTY:** THE LANDSCAPE CONTRACTOR SHALL ENSURE ALL LANDSCAPE PLANTS FOR 3 CALENDAR YEAR FROM THE TIME OF ACCEPTANCE. WARRANTY SHALL INCLUDE ALL LABOR. REPLACEMENT PLANTS SHALL INCLUDE A SUBSEQUENT 1 CALENDAR YEAR. REPLACEMENTS SHALL BE INSTALLED WITHIN 2 WEEKS FROM NOTIFICATION UNLESS OTHERWISE SPECIFIED.
  - CHEMICALS:** PESTICIDES, HERBICIDES, FUNGICIDES, ALGAEICIDES, PRE-EMERGENT, ETC. SHALL BE STORED, HANDLED, APPLIED AND RE-APPLIED IN ACCORDANCE WITH ALL STATE AND FEDERAL REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS. ALL APPLICATIONS SHALL BE PERFORMED BY A LICENSED APPLICATOR IN THE STATE OF WORK. APPLICATORS SHALL WEAR ALL REQUIRED PPE (PERSONAL PROTECTION EQUIPMENT).
  - FERTILIZERS AND AMENDMENTS:** ALL FERTILIZERS SHALL BE APPLIED AT THE RATE AS RECOMMENDED FOR THE APPLICABLE CONDITION AND RATES SHALL BE ADJUSTED ACCORDING TO SOIL CONDITIONS AND PLANT NEEDS.
  - TOPSOIL:** TOPSOIL SHALL MEET ASTM D422, ASTM D2974, AND AASHTO T267. TOPSOIL SHALL BE PULVERIZED NATURAL FRIABLE SURFACE SOIL, FREE OF WEEDS, BRUSH, ROOTS, HARD CLAY, LITTER, CONCRETE, ASPHALT, AND STONE EXCEEDING 1" DIA. TOPSOIL SHOULD CONTAIN 15% ORGANIC CONTENT UNLESS OTHERWISE NOTED ON PLANS. SEE PLANS FOR SOIL COMPOSITION AND DEPTHS FOR LANDSCAPE BEDS AND SPECIALIZED CONTAINERS SUCH AS BMPs, DRY WELLS, PLANTERS, ETC. SOILS THAT HAVE BEEN CRUSHED AND HAVE NO STRUCTURE OR CAPILLARY SPACE DUE TO COMPACTION SHALL NOT BE USED FOR ANY PLANTING AREAS.
  - TOPSOIL RE-SPREAD SHALL BE AT THE FOLLOWING UNLESS NOTED OTHERWISE:**
    - 4"-6" FOR LAWN AREAS
    - 8"-10" FOR LANDSCAPE AREAS
    - 12" PLANTING AREAS ABOVE/ BEHIND RETAINING WALLS
    - 18" FOR PARKING LOT LANDSCAPE ISLANDS
  - SOD:** SOD SHALL BE TRUE TO THE SPECIES AND VARIETY AS SPECIFIED ON THE PLANS. SOD SHALL BE #1 PREMIUM SOD AS NOTED IN THE GUIDELINE SPECIFICATIONS TO TURF GRASS SODDING BY AMERICAN SOD PRODUCERS ASSOCIATION. SOD SHALL BE INSTALLED AND WATERED WITHIN 24 HOURS OF HARVEST. SOD SHALL HAVE 1/2" SOIL ROOTBED. SOD SHALL BE MACHINE CUT. AT THE TIME OF INSTALLATION, ALL CUTS SHALL BE MADE WITH A SHARP KNIFE/RAZOR. SOD STAPLES SHALL BE USED ON ALL SLOPES GREATER THAN 5:1. SOD SHALL BE PLACED IN CONTACT WITH ALL ADJACENT SOD WITH NO AIR GAPS. JOINTS SHALL BE STAGGERED AND IN NO CASE SOD TO BE CUT INTO SLIVERS LESS THAN 12" WIDE NOR LESS THAN 2 SF IN AREA. UPON INSTALLATION, SOD SHALL BE WATERED THOROUGHLY TO BIND ROOTS TO PREPARED SOILS. SOD STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AT A MINIMUM. SOD THAT HAS TO BE REPLACED DUE TO SLUMPING SHALL BE AT NO COST TO OWNER.
  - TURF GRASS SEEDING:** TURF GRASS SEED MIX SHALL BE TRUE TO THE SPECIES AND VARIETIES AS SPECIFIED. SEED SHALL BE AT THE RATE SPECIFIED TO 100% PLS RATIOS. SEED MIX SHALL BE INSTALLED AT THE DISCRETION OF THE CONTRACTOR BASED ON GROWING CONDITIONS AND WEATHER. TURF SEED GROW IN WILL BE ACCEPTED AS PERFORMANCE BASED. ALL SEEDED AREAS SHALL BE GROWN IN TO ENSURE NO BARE AREAS GREATER THAN 3 SQUARE INCHES AND NOT OCCURRING MORE THAN TWICE WITHIN A 12' RADIUS. ADDITIONAL OVERSEEDING TO ACHIEVE GROWTH PERFORMANCE SHALL BE AT NO COST TO THE OWNER. OWNER IS NOT RESPONSIBLE FOR AREAS DAMAGED BY CONSTRUCTION OR DEWATERING. SEED BLANKET SHALL BE INSTALLED FOR ALL SLOPES 5:1 OR STEEPER (MIN). BLANKET STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. BLANKETS THAT HAVE TO BE REINSTALLED SHALL BE AT NO COST TO OWNER.
  - IRRIGATION:** CONTRACTOR SHALL PROTECT ANY EXISTING IRRIGATION ON-SITE. CONTRACTOR TO VERIFY WITH OWNER IF PROPOSED IRRIGATION SYSTEM SHALL BE ADDED TO EXISTING SYSTEM. ALL REPAIRS TO EXISTING SYSTEM NOT ANTICIPATED SHALL BE AT NO COST TO THE OWNER.
  - INSPECTIONS:** IF THE MUNICIPALITY REQUIRES A LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT TO BE ON-SITE THE DAY OF COMPLETION. LANDSCAPE ARCHITECT SHALL BE GIVEN 3 BUSINESS DAY ADVANCE NOTICE (MIN.) TO VERIFY LANDSCAPE WILL BE INSTALLED PER PLAN. ANY OUTSTANDING ITEMS THAT ARE ADDRESSED AFTER DATE OF INSPECTION SHALL BE PHOTOGRAPHED BY THE LANDSCAPE CONTRACTOR AND COORDINATED FOR FINAL APPROVAL.

**LEGEND**

BIO-FILTRATION SOD

BOLERO PLUS™ 90% BOLERO DWARF FESCUE / 10% BLUEGRASS

SOD PROVIDER: DELTA BLUEGRASS COMPANY 111 N ZUCKERMAN ROAD STOCKTON, CA 95206 1-800-637-8873 (OR APPROVED EQUAL)

MUNICIPAL/AGENCY APPROVAL STAMP

- SPECIFICATIONS - BIO-SWALE**
- SITE ANALYSIS:** THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE AND EVALUATE SITE AND SOIL CONDITIONS IN RELATION TO THE LANDSCAPE PLAN AND ITS ASSOCIATED PLAN SET. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR ANY CONFLICTS.
  - SEED QUALITY:** ALL SEED MIX(S) SHALL BE INSTALLED AT THE RECOMMENDED PLS RATES UNLESS NOTED OTHERWISE. SEEDS SHALL BE TRUE TO THE BOTANICAL SPECIES SPECIFIED ON THE PLANS. SEED MIXES SHALL BE STORED, HANDLED, AND INSTALLED TO PRESERVE SEED VIABILITY STANDARDS. LANDSCAPE CONTRACTOR SHALL PROVIDE PROOF ALL SEED MIXES ARE CERTIFIED FREE OF DISEASE AND INFESTATIONS IN ACCORDANCE OF STATE AND FEDERAL LAWS.
  - CERTIFICATION(S):** CONTRACTOR SHALL HAVE CERTIFIED INSTALLERS WITH 3 YEARS EXPERIENCE AND SUPERVISOR(S) SHALL HAVE AT LEAST 7 YEARS EXPERIENCE INSTALLING NATIVE SEED AREAS. ENTIRE PROCESS OF SOIL PREPARATION AND SEED INSTALLATION SHALL BE MANAGED BY AN ON-SITE SUPERVISOR.
  - TIMING:** CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR FOR LANDSCAPE INSTALLATION TIMING. ANY PROPOSED LANDSCAPE THAT HAS UNIQUE CONSTRAINTS OR INSTALLATIONS THAT CONFLICT WITH CONSTRUCTION TIMING REQUIRES PRE-APPROVAL BY LANDSCAPE ARCHITECT.
  - SUBSTITUTIONS:** ALL SEED SUBSTITUTIONS REQUIRE LANDSCAPE ARCHITECT AND MUNICIPAL APPROVAL (IF REQUIRED).
  - WATERING:** THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WATERING FROM TIME OF ACQUISITION TO 60 DAYS AFTER INSTALLATION. WATERING SHALL BE INCLUDED IN CONTRACTOR'S BID.
  - WARRANTY:** THE LANDSCAPE CONTRACTOR SHALL ENSURE ALL LANDSCAPE PLANTS FOR 1 CALENDAR YEAR FROM THE TIME OF ACCEPTANCE. WARRANTY SHALL INCLUDE ALL LABOR AND MATERIALS. REPLACEMENT PLANTS SHALL INCLUDE A SUBSEQUENT 1 CALENDAR YEAR. REPLACEMENTS SHALL BE INSTALLED WITHIN 2 WEEKS FROM NOTIFICATION UNLESS APPROVED BY LANDSCAPE ARCHITECT.
  - CHEMICALS:** PESTICIDES, HERBICIDES, FUNGICIDES, ALGAEICIDES, PRE-EMERGENT, ETC. SHALL BE STORED, HANDLED, APPLIED AND RE-APPLIED IN ACCORDANCE WITH ALL STATE AND FEDERAL REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS. ALL APPLICATIONS SHALL BE PERFORMED BY A LICENSED APPLICATOR IN THE STATE OF WORK. APPLICATORS SHALL WEAR ALL REQUIRED PPE (PERSONAL PROTECTION EQUIPMENT).
  - FERTILIZERS AND AMENDMENTS:** ALL FERTILIZERS SHALL BE APPLIED AT THE RATE AS RECOMMENDED FOR THE APPLICABLE CONDITION AND RATES SHALL BE ADJUSTED ACCORDING TO SOIL CONDITIONS AND PLANT NEEDS.
  - TOPSOIL:** TOPSOIL SHALL MEET ASTM D422, ASTM D2974, AND AASHTO T267. TOPSOIL SHALL BE PULVERIZED NATURAL FRIABLE SURFACE SOIL, FREE OF WEEDS, BRUSH, ROOTS, HARD CLAY, LITTER, CONCRETE, ASPHALT, AND STONE EXCEEDING 1" DIA. TOPSOIL SHOULD CONTAIN 10%-15% ORGANIC CONTENT UNLESS OTHERWISE NOTED ON PLANS. SEE PLANS FOR SOIL COMPOSITION AND DEPTHS FOR LANDSCAPE BEDS AND SPECIALIZED CONTAINERS SUCH AS BMPs, DRY WELLS, PLANTERS, ETC. SOILS THAT HAVE BEEN CRUSHED AND HAVE NO STRUCTURE OR CAPILLARY SPACE DUE TO COMPACTION SHALL NOT BE USED FOR ANY PLANTING AREAS.
  - INSTALLATION AND ESTABLISHMENT:** CONTRACTOR SHALL VERIFY SITE AND SOIL CONDITIONS. INSTALLATION SEASON (SPRING/FALL). CONTRACTOR IS RESPONSIBLE TO DETERMINE MEANS/ METHODS FOR PLANTING AND OVER-SEEDING. CONTRACTOR SHALL REPAIR ALL BARREN AREAS GREATER THAN 2 S.F. WITH SPOT SEEDING.
  - COVER CROPS:** THE CONTRACTOR SHALL PROVIDE A COVER CROP IF RECOMMENDED BY THE SUPPLIER.
  - SEED BLANKET:** CONTRACTOR SHALL INSTALL NORTH AMERICAN GREEN S75 SEED BLANKET (OR EQUAL) OVER ALL SEEDED AREAS. BLANKET STAPLES SHALL BE USED AS NEEDED TO SECURE SEED BLANKET. SEED LOSS FROM BLANKETS THAT PULL FREE SHALL BE REPLACED AT NO COST TO THE OWNER.
  - MAINTENANCE:** CONTRACTOR SHALL UNDERSTAND AND VERIFY ALL JURISDICTIONAL REQUIREMENTS FOR NATIVE INSTALLATION. IF A NATIVE INSTALLATION IS REQUIRED BY JURISDICTIONAL AGENCY AND THAT AGENCY REQUIRES OBSERVATION AND MAINTENANCE, THE CONTRACTOR SHALL PROVIDE A SEPARATE BID TO COMPLETE ALL REQUIRED MAINTENANCE.

**Wendy's**

WENDY'S RESTAURANT CONDITIONAL USE PERMIT (CUP 02-21) AND DESIGN REVIEW (DR 05-21)

1082 E. MAIN STREET OAKLEY, CA

**LANDSCAPE PLAN**

DESIGNED BY: KMP

REVIEWED BY: BP

DATE: 04/09/2021

PRJ# 5325-300-32-01

**Weaver Consultants Group**

OFFICE LOCATION: WEAVER CONSULTANTS GROUP 1316 BOND STREET, SUITE 108 WAREHOUSSE, LINDSEY 95063 (630) 717-4848 wcrp.com

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