

**EXTERIOR FINISH SCHEDULE**

|        |  |
|--------|--|
| SF-1   | STOREFRONT - "DARK BRONZE"   |
| PW     | PICK-UP WINDOW TO MATCH STOREFRONT                                     |
| M-1    | PARAPET CAP/ BRAKE METAL - "DARK BRONZE"                               |
| M-3    | EXCEPTIONAL METALS - "BRIGHT RED"                                      |
| M-4    | EXCEPTIONAL METALS - "SILVER METALLIC"                                 |
| M-5    | BRAKE METAL - "CLEAR ANNOXIDIZED"                                      |
| M-7    | EXCEPTIONAL METALS - "CUSTOM DARK GREY"                                |
| KW-1   | KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL - "LIGHT OAK"            |
| KW-2   | KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL - "KNIGHTS ARMOUR"       |
| KW-3   | KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL - "BRITE RED MATTE"      |
| E-2    | EIFS - "WENDY'S RED"   |
| E-7    | EIFS - "DARK GREY"   |
| E-8    | EIFS - "TAN"   |
| E-9    | EIFS - "SILVER" (SMOOTH FINISH)  |
| BL-1   | BOLLARD SLEEVE - "YELLOW"  |
| PEX-1  | PAINT - DARK BRONZE (SEE PAINT SCHEDULE)                               |
| PEX-3  | PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)            |
| PEX-6  | PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE) |
| PEX-10 | PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)                       |
| PEX-12 | PAINT - DARK GREY (SEE PAINT SCHEDULE)                                 |

|                         |                   |
|-------------------------|-------------------|
| SITE NUMBER:            | 00000             |
| BUILDING TYPE:          | (2.0) SMART 30+   |
| ASSET TYPE:             | FREESTANDING      |
| CLASSIFICATION:         | NEW               |
| OWNER:                  | COMPANY/FRANCHISE |
| BASE VERSION:           | 2020              |
| UPGRADE CLASSIFICATION: |                   |
|                         | NEW BUILD         |
| PROJECT YEAR:           | XXXX              |
| DESIGN TYPE:            | (2.0) UM BRITE    |
| DRAWING RELEASE:        | SUMMER            |

**DUSTIN CURTIS,**  
ARCHITECT

513 MAIN STREET SUITE 300  
FORT WORTH TX 76102

PROJECT TYPE: NEW  
SMART 30+

**Wendy's**  
12898 MAIN STREET  
OAKLEY, CA 94561

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
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ISSUE DATE: TBD

PROJECT NUMBER: 21-0111

DRAWN BY: BCJ

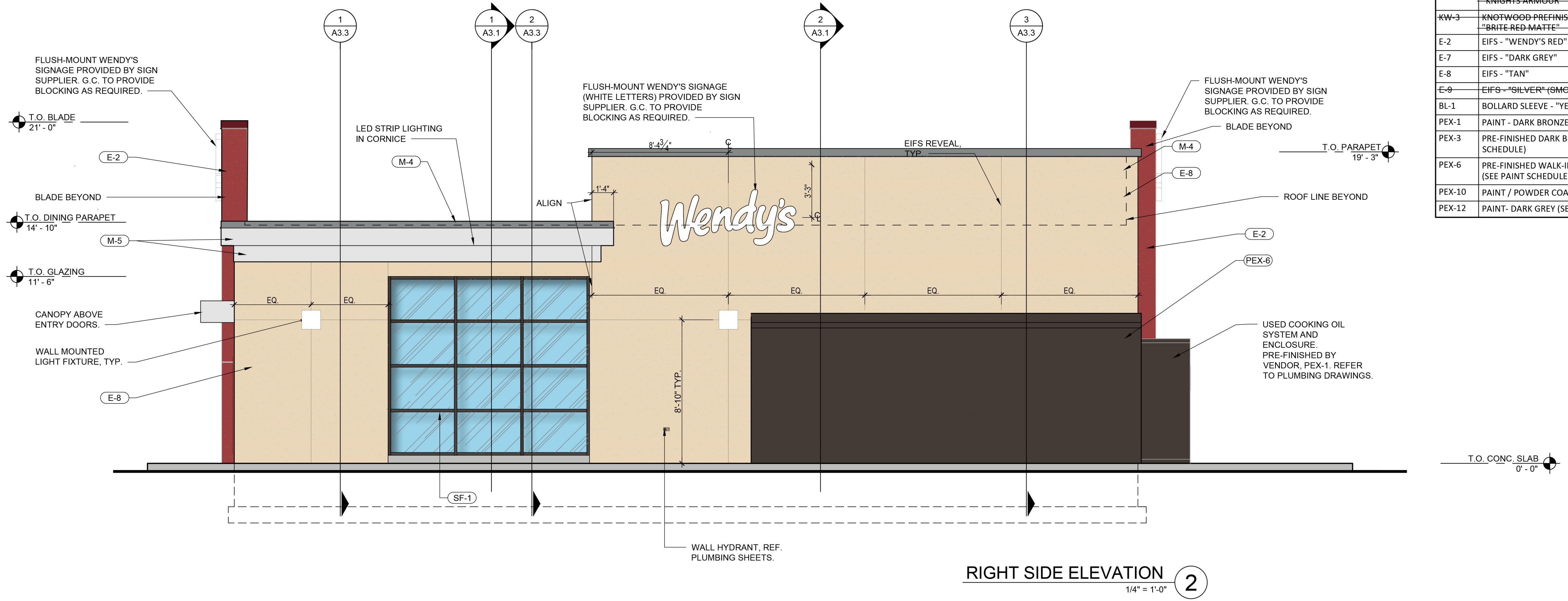
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SEAL

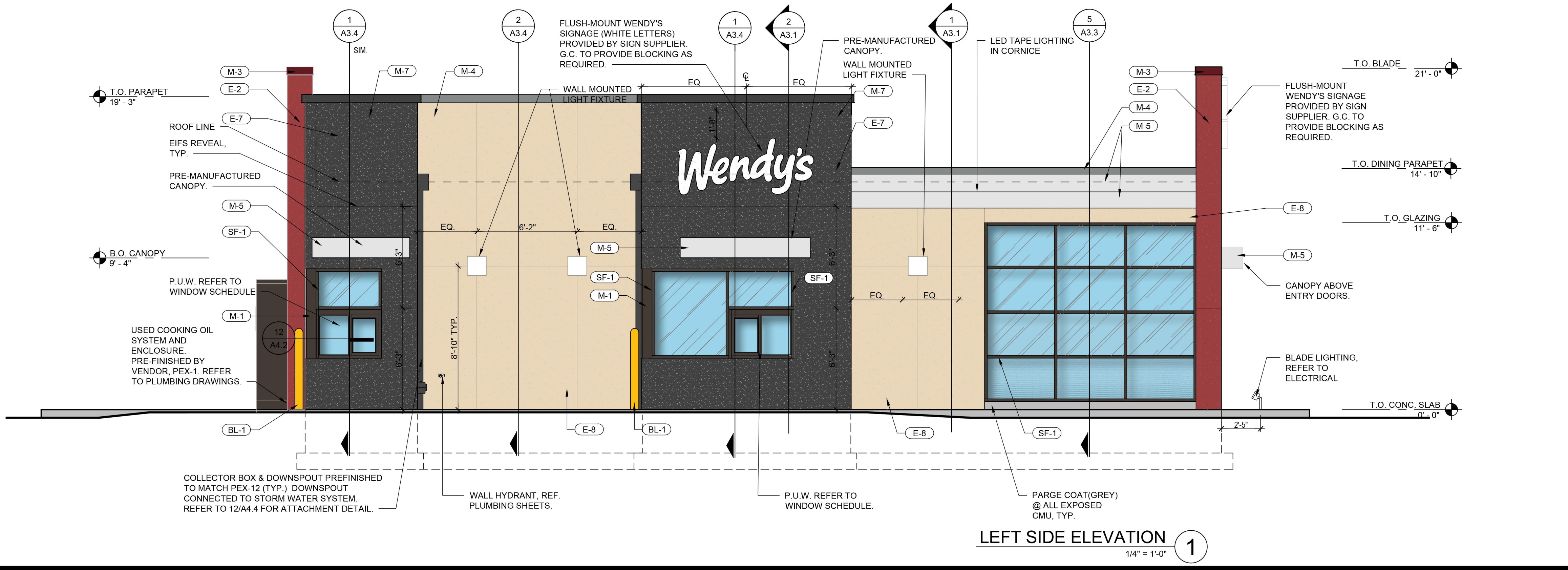
SHEET NAME  
EXTERIOR ELEVATIONS

SHEET NUMBER

**A2.2**



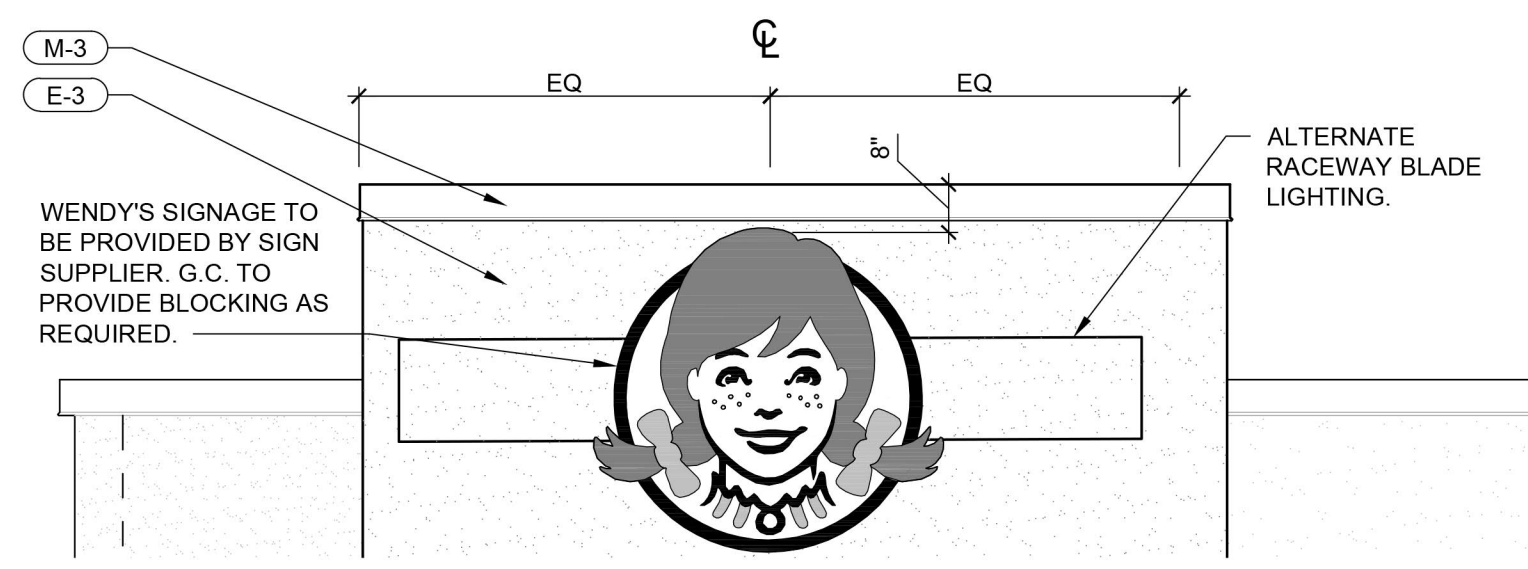
**RIGHT SIDE ELEVATION** ②  
1/4" = 1'-0"



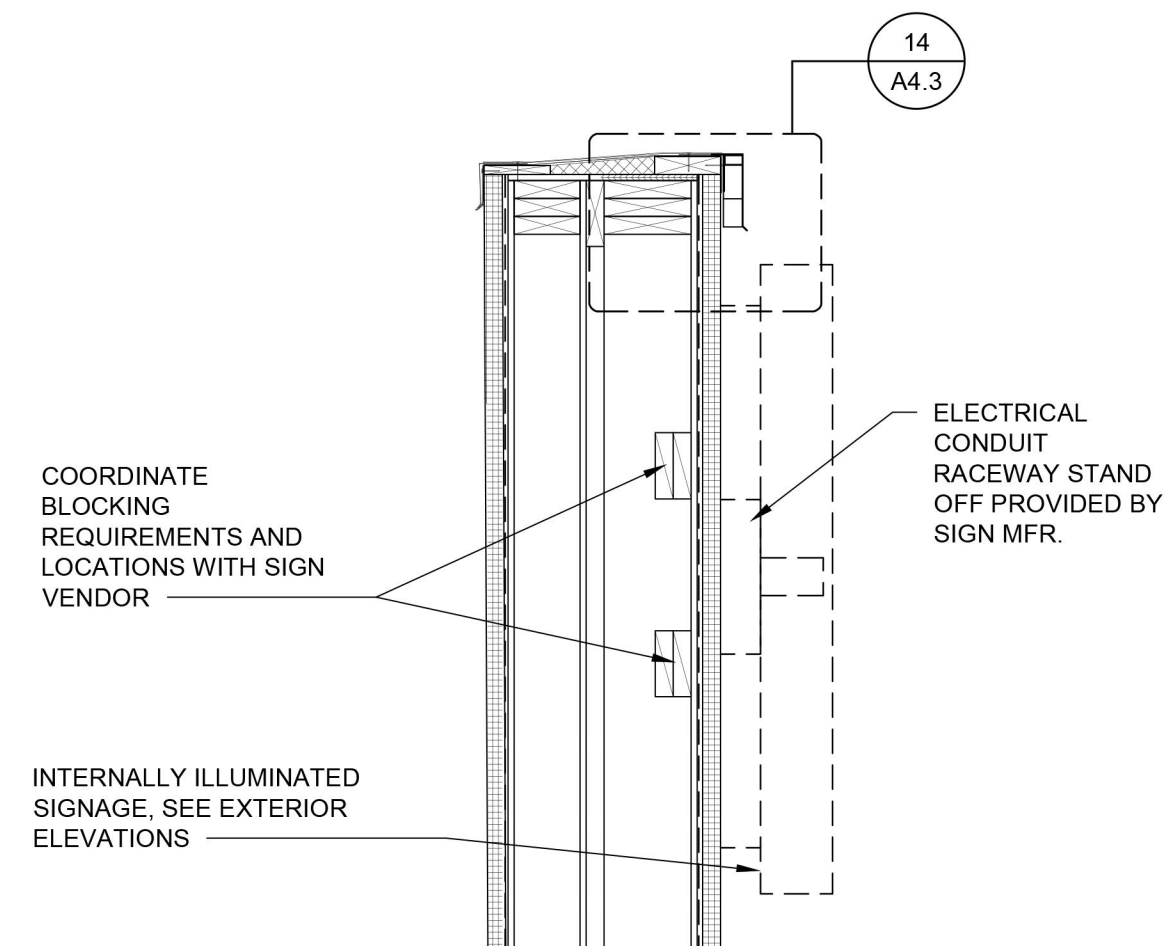
**LEFT SIDE ELEVATION** ①  
1/4" = 1'-0"

4/2/2021, 1:22 PM, R:\Projects\Wendy's-Renovation\21-0111 Wendy's Oakley, CADRAWINGS\30 SMART\_30\_A2.2\_Exterior Elevations.dwg, \$CGETVARE.77

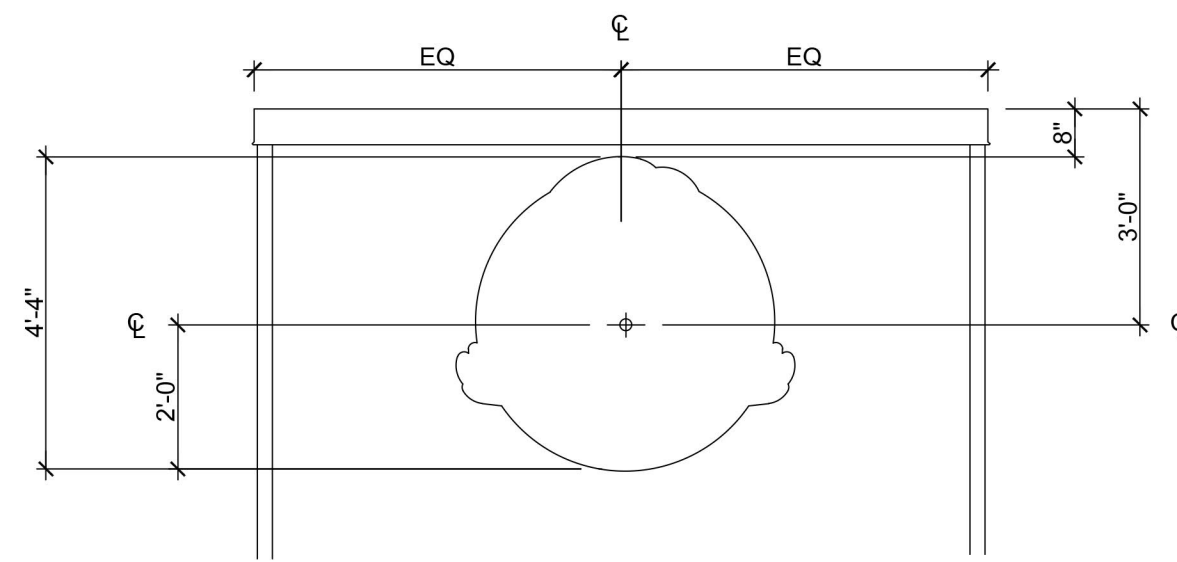




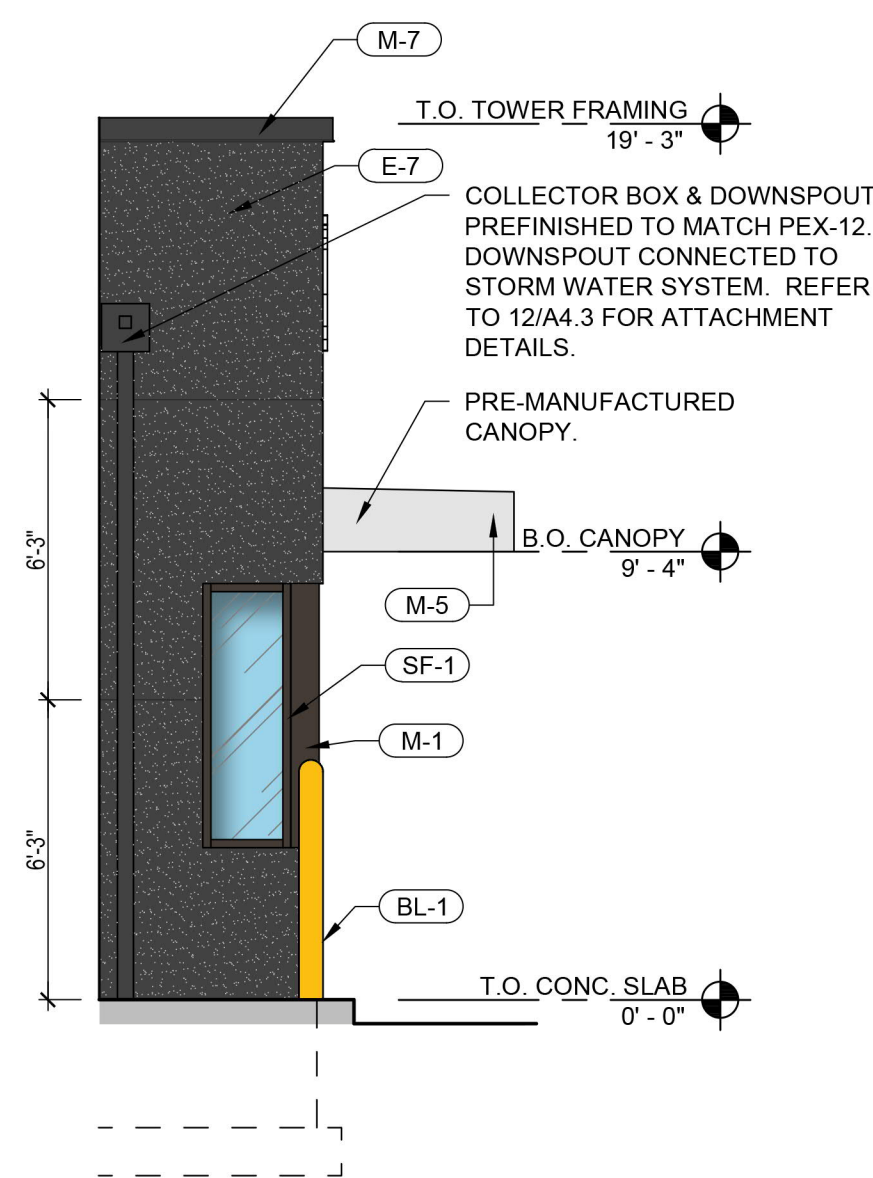
**ALT. RACEWAY BLADE LIGHTING ELEVATION** 6  
3/8" = 1'-0"



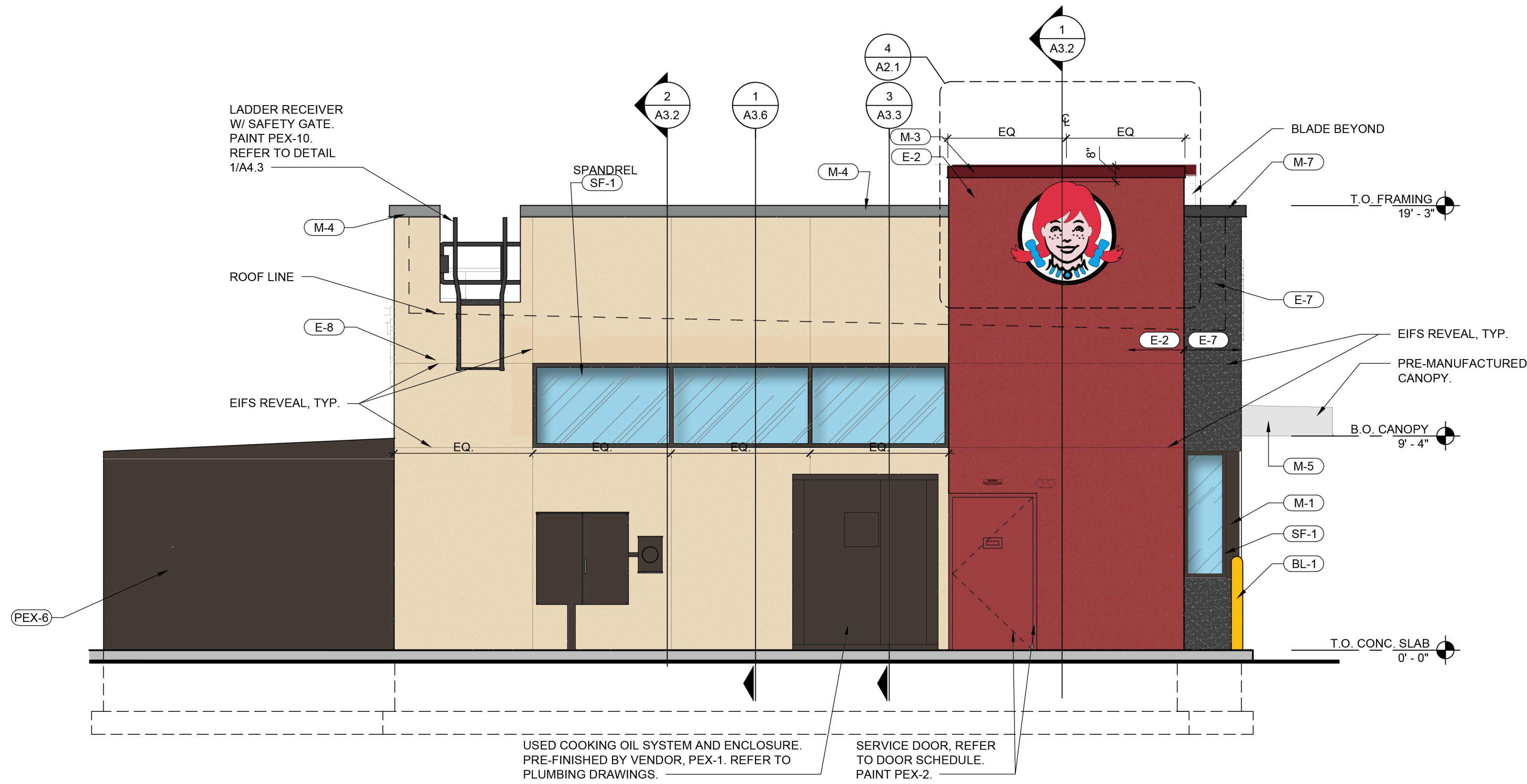
**ALT. RACEWAY BLADE LIGHTING** 5  
3/4" = 1'-0"



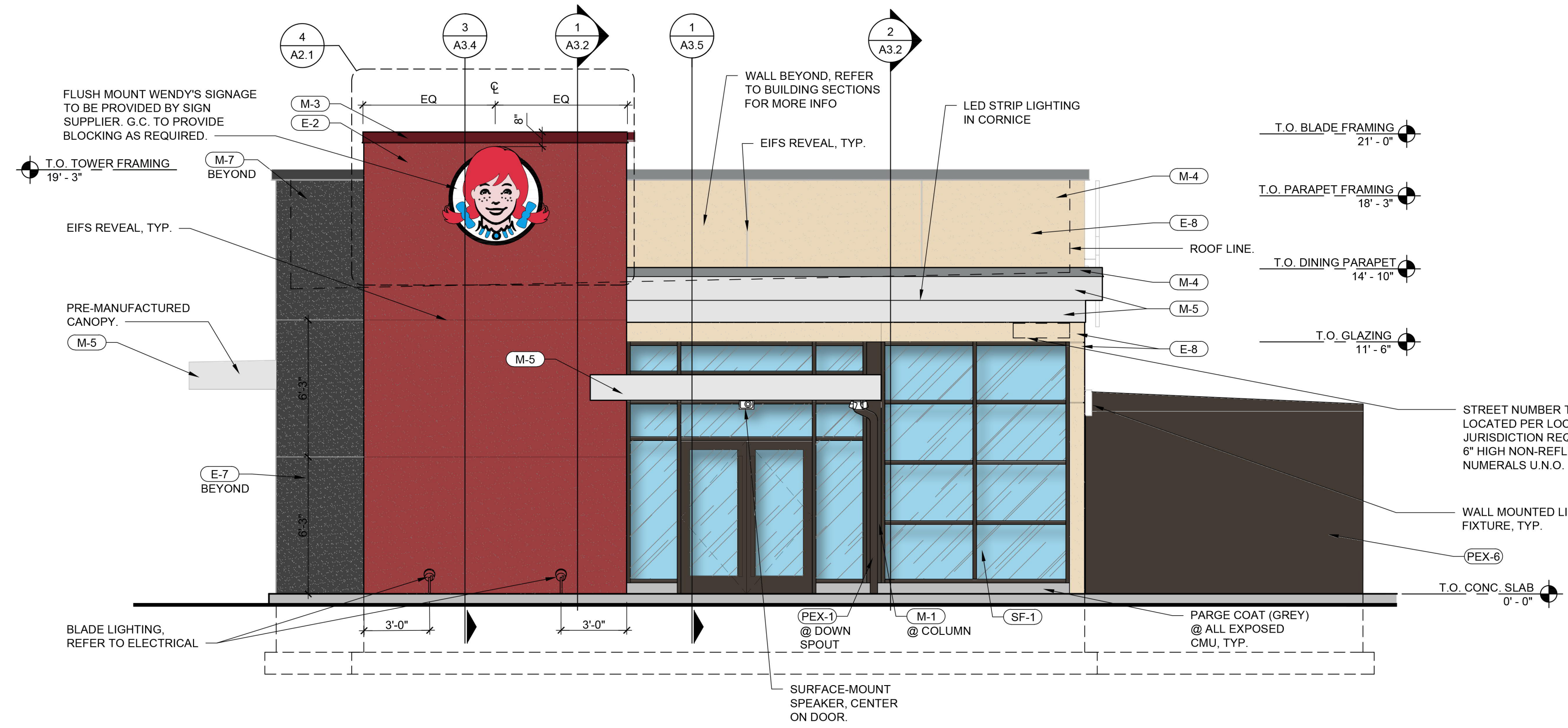
**WIRING HOLE PLACEMENT DIAGRAM** 4  
3/8" = 1'-0"



**REAR DRIVE-THRU ELEVATION** 3  
1/4" = 1'-0"



**REAR ELEVATION** 2  
1/4" = 1'-0"



**FRONT ELEVATION** 1  
1/4" = 1'-0"

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 ASSET TYPE: FREESTANDING  
 CLASSIFICATION: NEW  
 OWNER: COMPANY/FRANCHISE  
 BASE VERSION: 2020  
 UPGRADE CLASSIFICATION: NEW BUILD  
 PROJECT YEAR: XXXX  
 DESIGN TYPE: (2.0) UM BRITTE  
 DRAWING RELEASE: SUMMER

**DUSTIN CURTIS,**  
**ARCHITECT**

513 MAIN STREET SUITE 300  
 FORT WORTH TX 76102  
 PROJECT TYPE: NEW SMART 30+

**Wendy's.**  
 12898 MAIN STREET  
 OAKLEY, CA 94561

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ISSUE DATE: TBD  
 PROJECT NUMBER: 21-0111  
 DRAWN BY: BCJ  
 CHECKED BY: RD

SEAL

SHEET NAME  
**EXTERIOR ELEVATIONS**

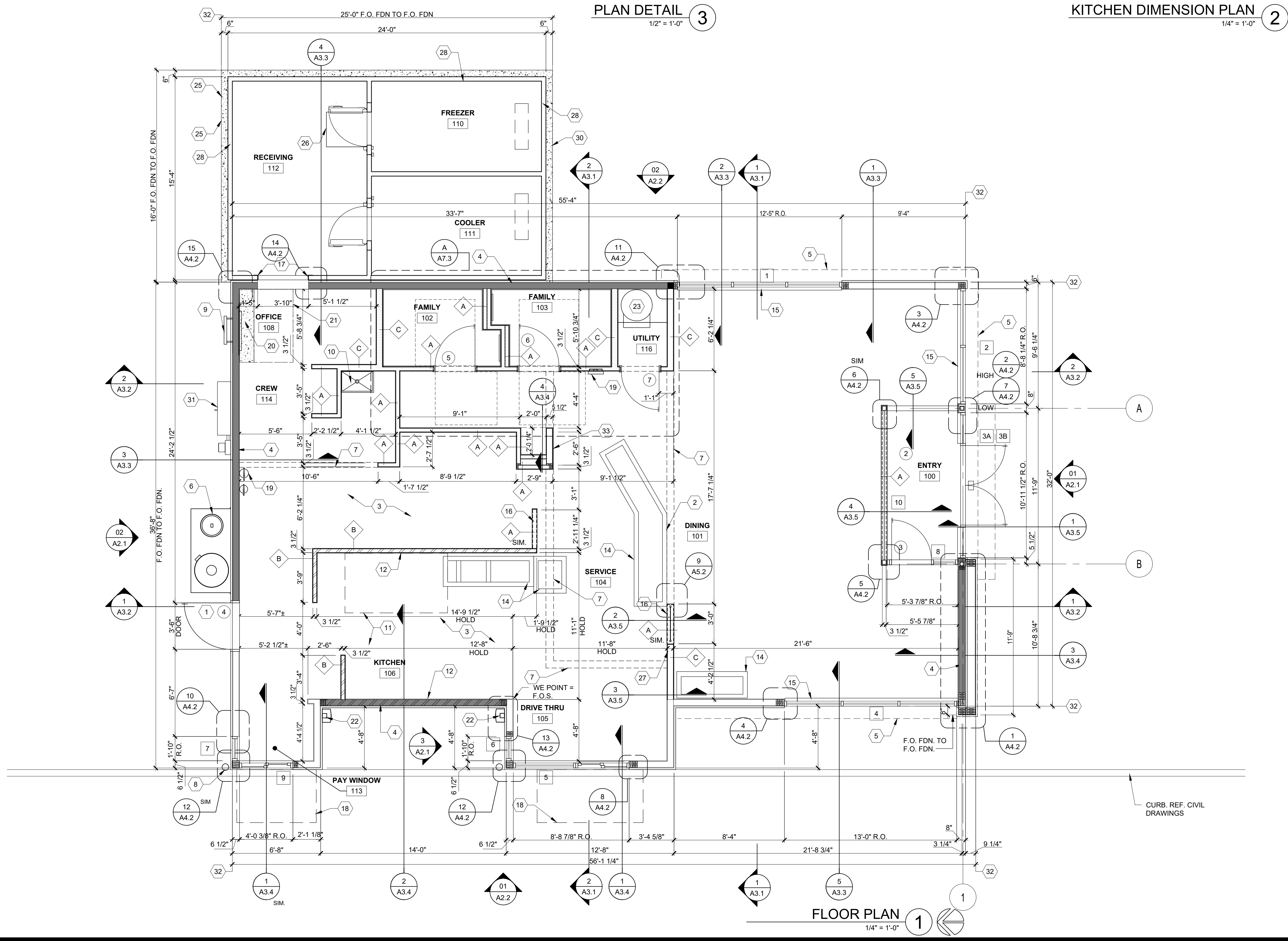
SHEET NUMBER

**A2.1**

4/25/2021, 3:17 PM, R:\Projects\Wendy's-Restaurant\01-0111 Wendy's Oakley, CAD\DRAWINGS\3D SMART-XX\_A2-1 Exterior Elevations.dwg, \$(GETVAR,7)



22222017 02Z146 RFP-Project-Wendys-Ranch-2021-0111 Wendy's Oakley, CALDWING303.SMART-30\_A-1-Floor Plan.dwg, \$GETVAR(7)



- ### GENERAL NOTES
- EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING U.N.O. INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O.
  - COORDINATE CURB CUTS AT DOORS WITH STOREFRONT MANUFACTURER PRODUCT DETAILS AND SHOP DRAWINGS.
  - REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR EXTENT OF INTERIOR FINISHES.
  - THE CONTRACTOR SHALL PROVIDE SOLID WOOD BLOCKING FOR WALL MOUNTED ITEMS, EQUIPMENT, MILLWORK, ETC. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
  - REFER TO WALL TYPES ON SHEET A4.3.
  - REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A6.3.
  - AN OPTIONAL PANELIZED EXTERIOR WALL SYSTEM IS AVAILABLE THROUGH RED-BUILT- SEE SUPPLIER LIST FOR CONTACT INFORMATION. G.C. MUST COORDINATE WITH AOR, OWNER, AND RED-BUILT TO VERIFY CODE COMPLIANCE, PERMITTING REQUIREMENTS, AND INSTALLATION CRITERIA.

- ### LEGEND
- SHADED AREA = SHEAR WALL
  - DIAGONAL HATCH = METAL STUD WALLS
  - STIPPLE = SOUND BATT INSULATION
  - 2 X 4 @ 16" O.C.
  - 3 1/2" METAL STUD @ 16" O.C.
  - 2 X 6 @ 16" O.C.
- SEE A5.1 FOR ADDITIONAL INFORMATION  
\*\*Tags updated in plan

- ### CODED NOTES:
- WALK-IN FREEZER/COOLER MANUFACTURER TO PROVIDE REINFORCED FRAMED OPENING FOR DOOR AS SCHEDULED.
  - APPROXIMATE LOCATION OF FRONT COUNTER. REF. SHEET A5.1 FOR LOCATION.
  - G.C. TO INSTALL STAINLESS STEEL CORNER GUARD. REFER TO FINISH PLAN SHEET FOR LOCATIONS AND TYPE OF CORNER GUARDS.
  - SHADED AREA INDICATES SHEAR WALL. REF. STRUCTURAL DRAWINGS. COORDINATE FINISHES WITH NUM. OF PLIES PROVIDED. EXTEND PLYWOOD AS REQUIRED TO MAINTAIN FINISH PLANE.
  - ROOF / PARAPET OVERHANG ABOVE. REFER TO ROOF PLAN, SECTIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
  - PREFABRICATED USED COOKING OIL MANAGEMENT ENCLOSURE. PROVIDE MIN. 6" THICK, 7'-4" X 3'-6" CONC. SLAB.
  - SOFFIT / BULKHEAD ABOVE. REFER TO REFLECTED CEILING PLAN.
  - 6" DIA. CONCRETE FILLED METAL PIPE BOLLARD W/ BOLLARD SLEEVE. INSTALL BOLLARD PER CIVIL DRAWINGS.
  - ROOF ACCESS LADDER RECEIVER & SAFETY GATE.
  - RECESSED MOP SINK. INSTALL WATERPROOF MEMBRANE IN MOP SINK RECESS TO TIE INTO DRAIN. REF DETAIL ON A5.1.
  - EXHAUST HOOD. REF. MECHANICAL DRAWINGS.
  - STAINLESS STEEL PANELS BEHIND AND BESIDE FRYERS & GRILL. REFER TO INTERIOR ELEVATIONS & FINISH PLAN FOR EXTENTS.
  - INTERMEDIATE SUPPORT FOR BATTEN PATIO ENCLOSURE. COORDINATE WITH MANUFACTURER.
  - EQUIPMENT CURB BY KITCHEN EQUIPMENT DISTRIBUTOR. REF. SHEET A5.1 FOR LOCATIONS. REF. SHEET A5.2 FOR EQUIPMENT CURB DETAILS.
  - 6" C.M.U. CURB BELOW STOREFRONT. REFER TO SECTION AND STRUCTURAL DRAWINGS.
  - PARTIAL HEIGHT WALL. REFER TO INTERIOR ELEVATIONS AND SECTIONS.
  - STAINLESS STEEL CLOSURE TRIM / ANGLES BY GC.
  - AWNING / CANOPY ABOVE.
  - SEMI-RECESSED FIRE EXTINGUISHER CABINET, SUPPLIED AND INSTALLED BY GC. REFER TO INTERIOR ELEVATIONS.
  - PRE-MANUFACTURED SWITCHGEAR CABINET ON 6" CONC. CURB. REF. DETAILS 3/A1.1 & 6/A5.2.
  - CLEAR FLOOR AREA TO BE MAINTAINED IN FRONT OF ELECTRICAL PANELS MIN 3'-0" AS REQUIRED BY NEC.
  - PRE-FINISHED DOWNSPOUT. EXTEND 6" PVC W/ CAP UNDERGROUND & CONNECT TO STORM. SEE CIVIL AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
  - HOT WATER TANK ON SHELF. TOP OF SHELF 4'-0" AFF. REFER STRUCTURAL DRAWINGS, DETAIL 04/S2.3.
  - 1/2" ISOLATION JOINT
  - EDGE OF CONCRETE SLAB / FOUNDATION FOR WALK-IN BOX / PATIO. REF. STRUCTURAL DRAWINGS.
  - RAMP BY WIB MANUFACTURER.
  - PROVIDE IN WALL BLOCKING FOR MOUNTING ARM OF CUSTOMER ORDER PICKUP SCREEN - COORDINATE WITH MOUNTING ARM SPEC. BOTTOM OF SCREEN TO BE MOUNTED 6'-10" AFF.
  - WALK-IN-BOX. FREEZER SUPPLIED WITH INSULATED FLOOR.
  - CONTROL JOINT
  - HOLD DOWNS PROVIDED BY WIB MANUFACTURER G.C. TO DRILL AND EPOXY SET ANCHOR BOLTS AS REQUIRED. VERIFY LOCATIONS AND QUANTITY WITH MANUFACTURER.
  - C/T CABINET AND ELECTRIC METER AT THIS LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
  - FACE OF SHEATHING / FACE OF FOUNDATION
  - INSTALL 1/2" PLYWOOD SHEATHING BEHIND GYPSUM BOARD TO MAINTAIN FINISH ALIGNMENT WITH BULKHEAD ABOVE.

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**DUSTIN CURTIS,**  
 ARCHITECT

513 MAIN STREET SUITE 300  
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 PROJECT TYPE: NEW SMART 30+

Wendy's

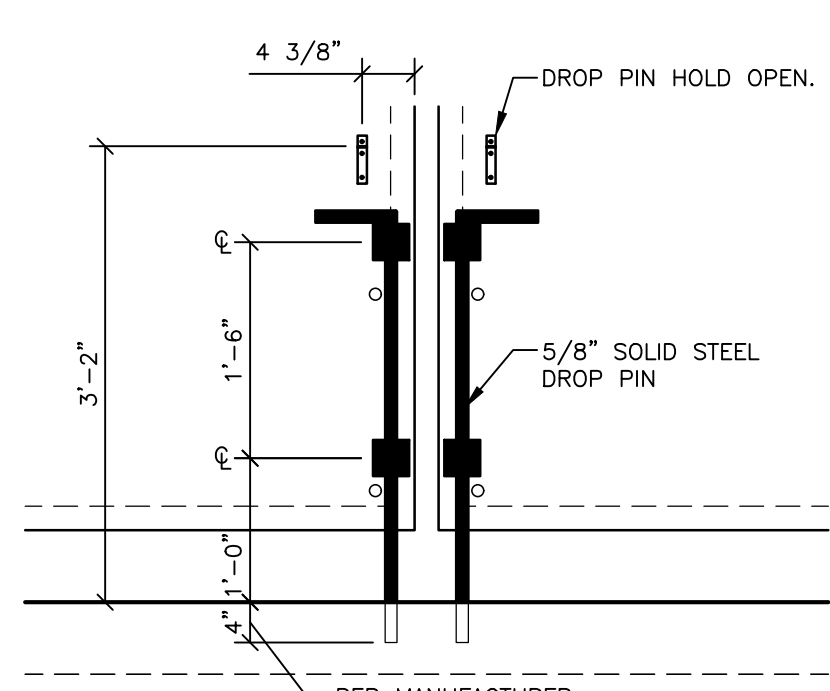
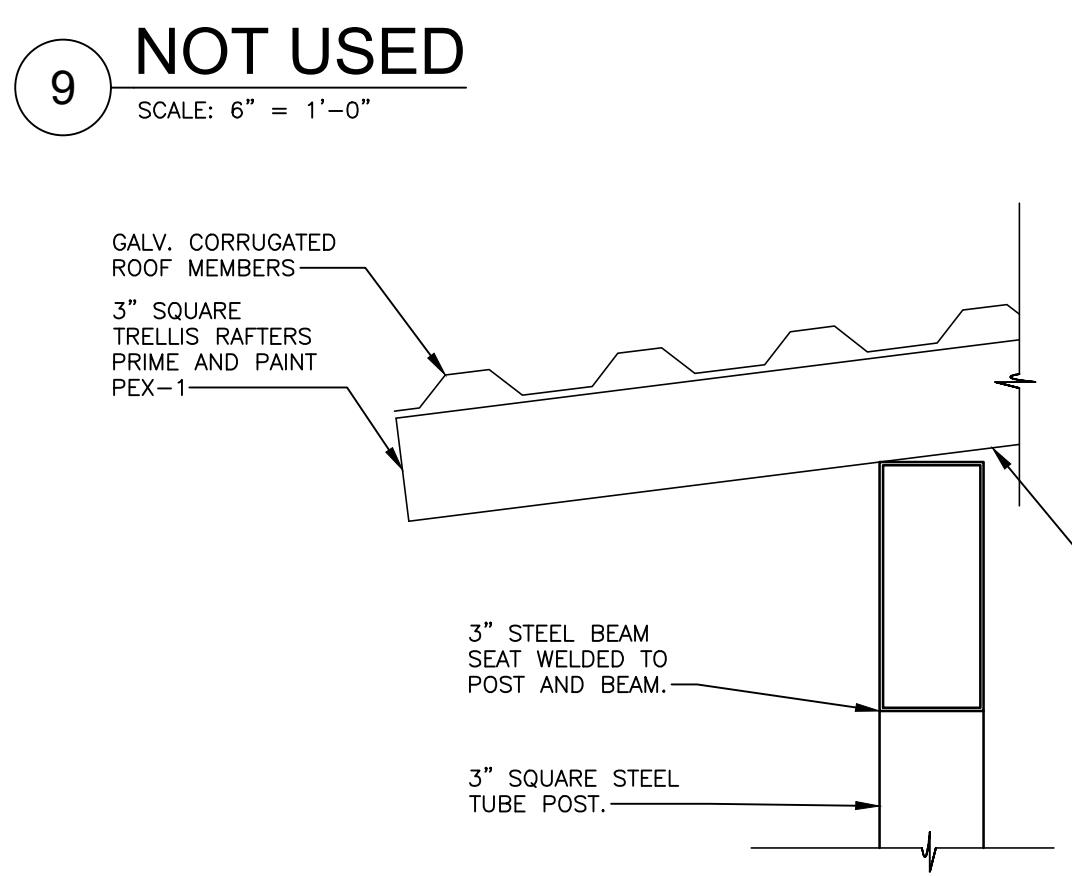
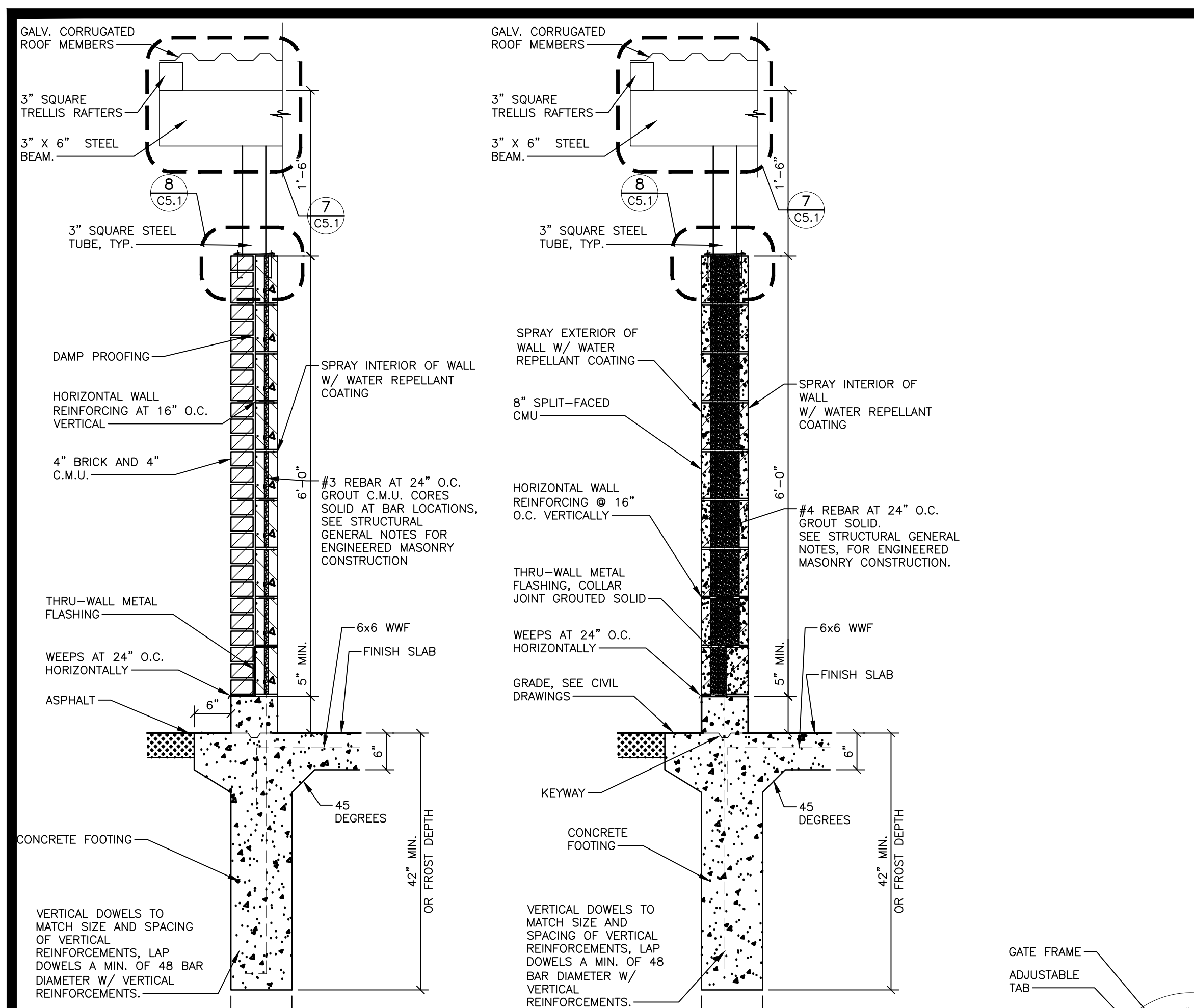
12898 MAIN STREET  
 OAKLEY, CA 94561

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 SEAL

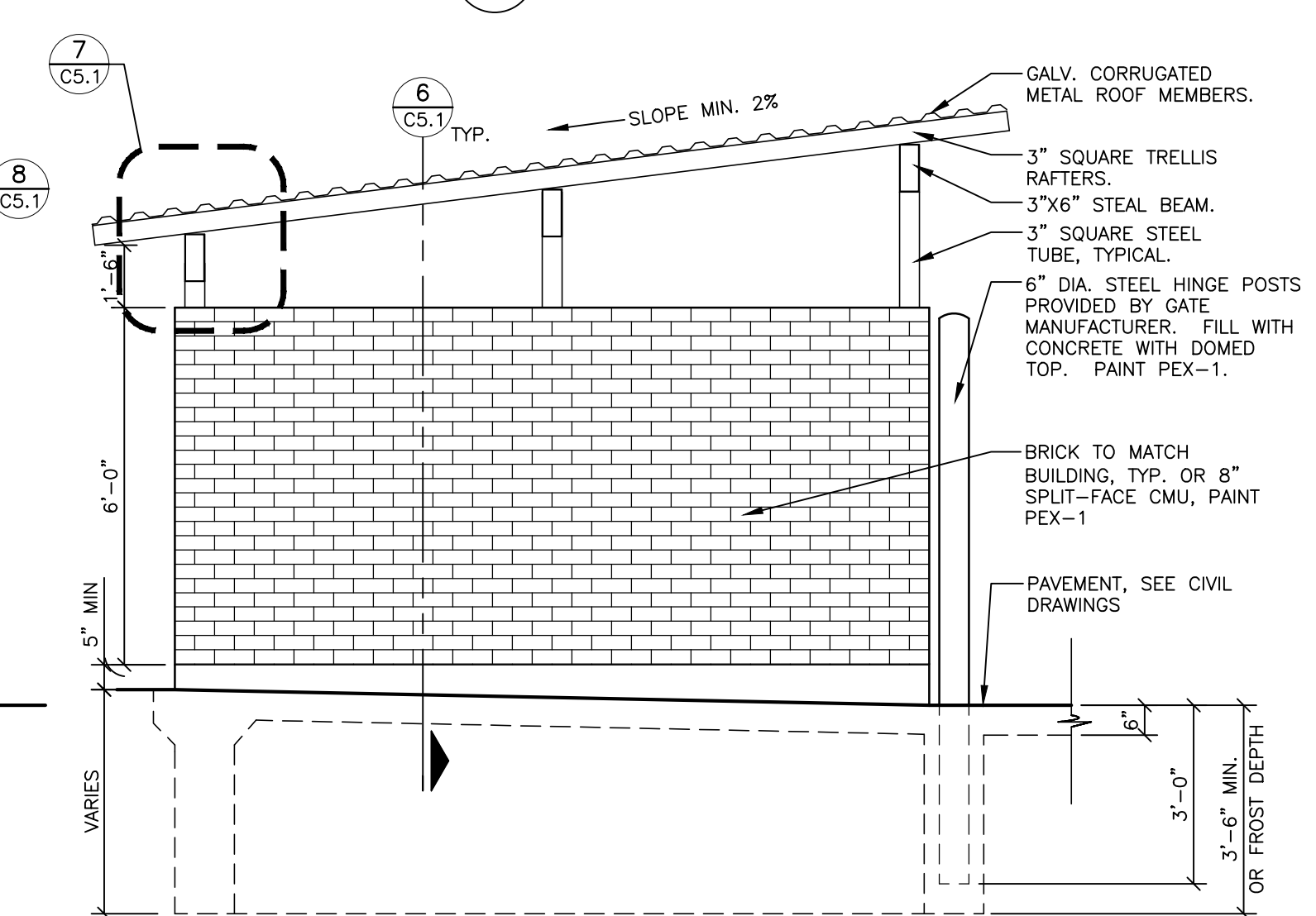
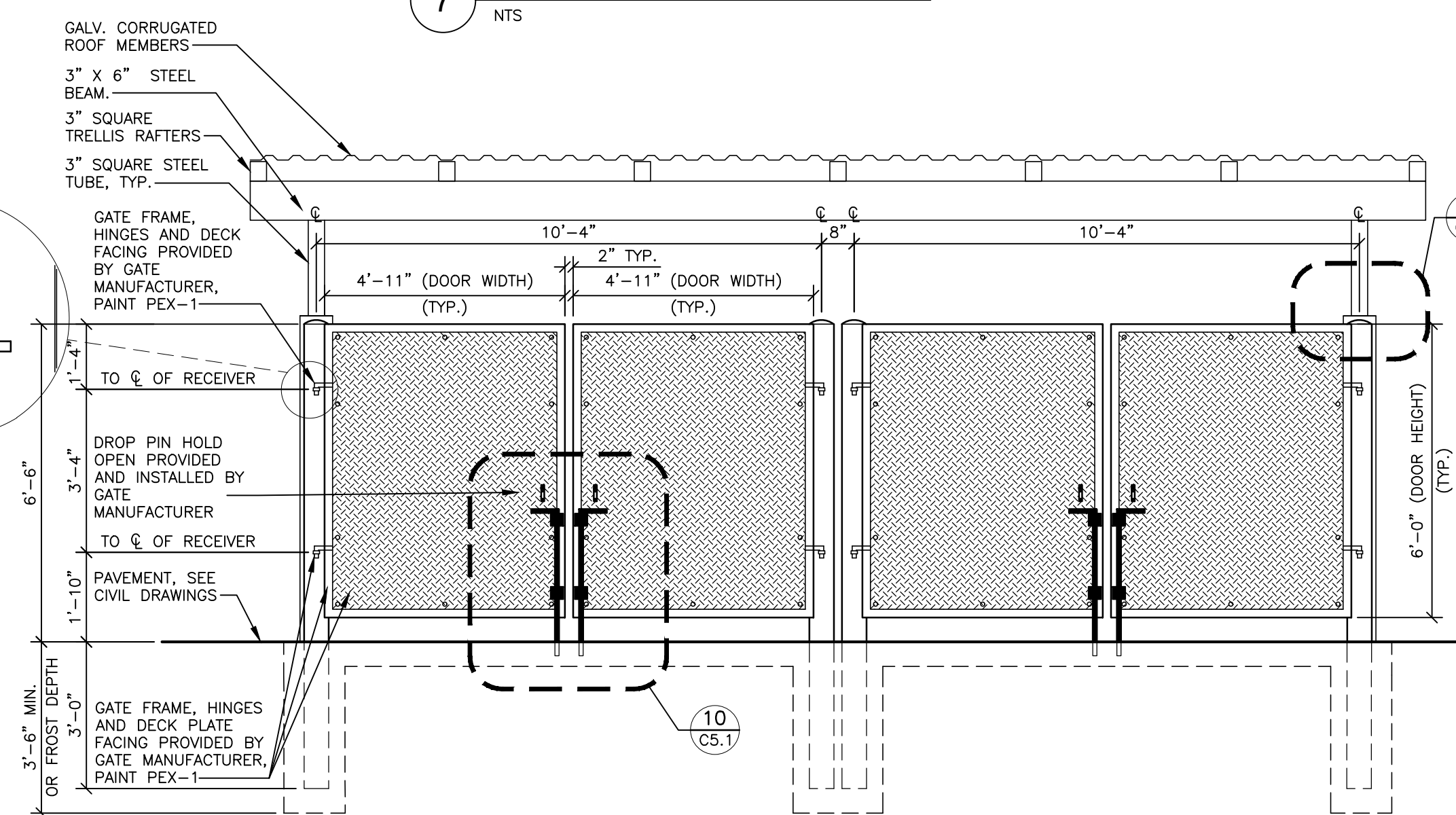
SHEET NAME  
**FLOOR PLAN**

SHEET NUMBER  
A1.1



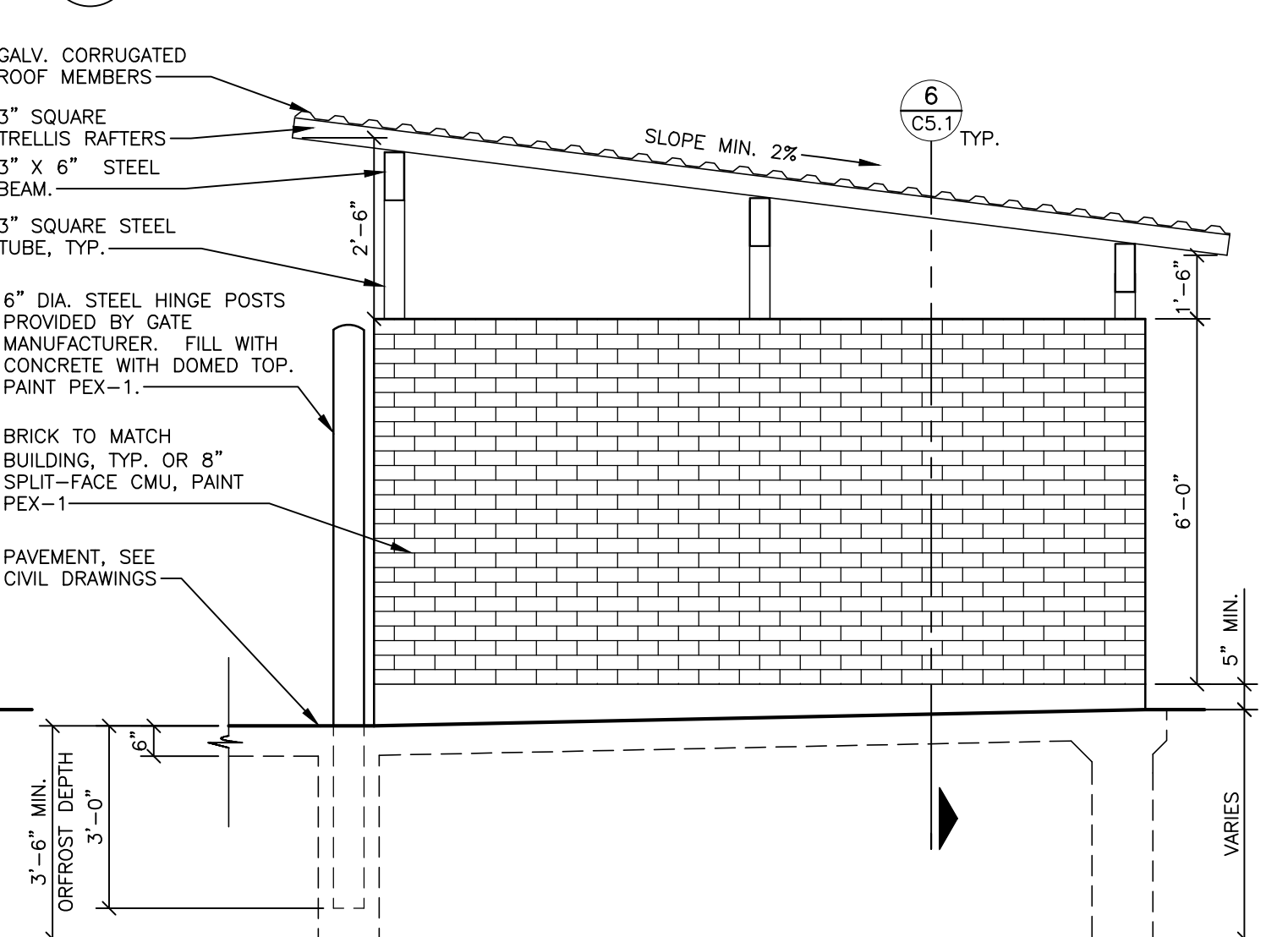
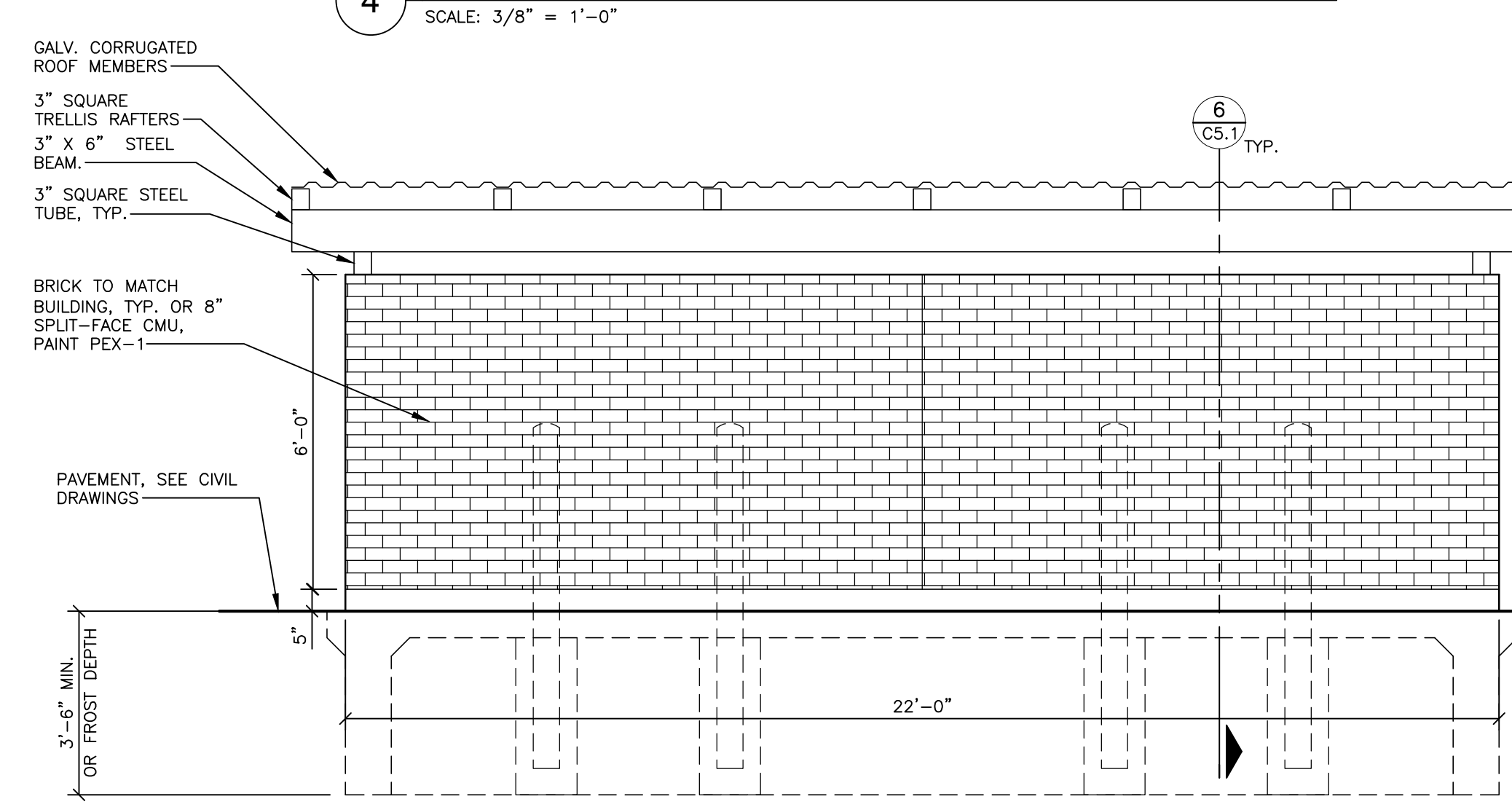
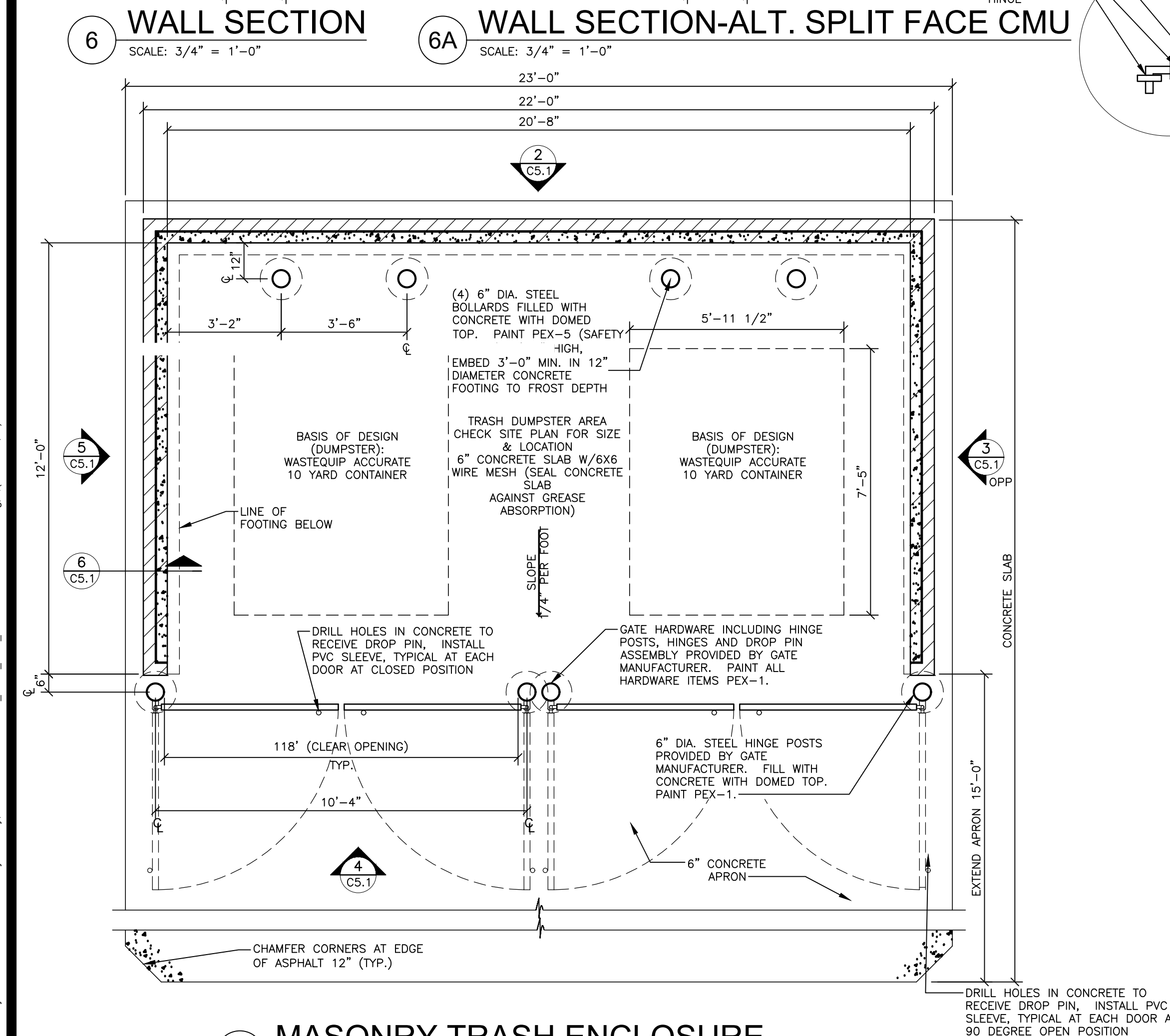
**7 STEEL BEAM DETAIL**  
NTS

**8 STEEL TUBE DETAIL**  
NTS



**4 TRASH ENCLOSURE FRONT ELEVATION**  
SCALE: 3/8\"/>

**5 TRASH ENCLOSURE SIDE ELEVATION**  
SCALE: 3/8\"/>



**2 TRASH ENCLOSURE REAR ELEVATION**  
SCALE: 3/8\"/>

**3 TRASH ENCLOSURE SIDE ELEVATION**  
SCALE: 3/8\"/>

**1 MASONRY TRASH ENCLOSURE**  
SCALE: 3/8\"/>

**OPTIONAL CONCRETE SLAB SPEC:**  
A. CONCRETE SEALER: 'SCOFIELD' CEMENTONE CLEAR SEALER, APPLY PER MANUFACTURER'S RECOMMENDATIONS.  
B. OPTIONAL: CONCRETE COLOR HARDENER: 'SCOFIELD' LITHOCHROME, A33 'CLASSIC GREY' APPLY PER MANUFACTURER'S RECOMMENDATIONS.

|                         |                   |
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**DUSTIN CURTIS,**  
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SHEET NAME  
**MASONRY TRASH ENCLOSURE DETAILS**  
SHEET NUMBER

**C5.1**

4/6/2021, 12:25 PM, R:\Projects\Wendy's-Roschach\210111 Wendy's Oakley, CAD\Drawings\Civil\20\_Civil\_C5-1\_Trash Enclosure Details.dwg, \$GETVAR(77)