



WMB ARCHITECTS

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Diablo Water District - Corporation Yard Office/Shop Building 3990 Main Street Oakley, California

TITLE SHEET

01.04.21 DESIGN REVIEW

WMB PROJECT: 19-118

DR1

Diablo Water District Corporation Yard Office / Shop Building

3990 Main Street Oakley, CA 94561 APN: 037-191-006 & -034

City of Oakley
Planning Department

February 9, 2021

RECEIVED

LIST OF SHEETS

- DR1 TITLE SHEET
- DR2 SITE DEMOLITION PLAN
- DR3 SITE IMPROVEMENT PLAN
- C1 PRELIMINARY GRADING AND DRAINAGE PLAN
- C2 STORM WATER CONTROL PLAN
- L1.0 PRELIMINARY PLANTING PLAN
- A2.1 FLOOR PLAN - SOUTH
- A2.2 FLOOR PLAN - NORTH
- A3.1 EXTERIOR ELEVATIONS AND SECTION
- A3.2 EXTERIOR MATERIALS AND PERSPECTIVES
- A7.1 ROOF PLAN - SOUTH
- A7.2 ROOF PLAN - NORTH
- A10.1 COVERED EQUIPMENT STORAGE
- E0.1 GENERAL NOTES
- E0.2 ONE-LINE DIAGRAM, PANEL SCHEDULES, LEGEND, & ELECTRICAL DETAILS
- E1.0 ELECTRICAL SITE PLAN
- E1.1 COVERED PARKING ELECTRICAL PLAN

ABBREVIATIONS

@	AT	E.J.	EXPANSION JOINT	M.L.	METAL LATH	SPEC.	SPECIFICATION
A.B.	ANCHOR BOLT	E.W.	EACH WAY	MAX.	MAXIMUM	SQ.	SQUARE
A.C.	AIR CONDITIONER	EA.	EACH	MFG.	MANUFACTURER	STD.	STANDARD
A.D.	AREA DRAIN	ELEV.	ELEVATION	MIN.	MINIMUM / MINUTE	STL.	STEEL
A.F.F.	ABOVE FINISH FLOOR	EQ.	EQUAL	MTD.	MOUNTED	SUSP.	SUSPENDED
ABV.	ABOVE	EXIST. / (E)	EXISTING	(N)	NEW	SW.	SWITCH
ACC.	ACCESSIBLE	EXT.	EXTERIOR	N.I.C.	NOT IN CONTRACT	T & B	TOP & BOTTOM
ACST.	ACOUSTIC			N.T.S.	NOT TO SCALE	T & G	TONGUE & GROOVE
ADJ.	ADJUSTABLE			N/A	NOT APPLICABLE	T.O.	TOP OF
ALUM.	ALUMINUM	F.D.	FLOOR DRAIN	NO. / #	NUMBER	T.O.C.	TOP OF CURB
APPROX.	APPROXIMATE	F.E.	FIRE EXTINGUISHER	O.C.	ON CENTER	T.O.P.	TOP OF PAVING
B.O.	BOTTOM OF	F.G.	FIBERGLASS / FINISH GRADE	OPP.	OPPOSITE HAND	T.S.	TUBE STEEL
B.P.	BUILDING PAPER	F.H.	FIRE HYDRANT	ov/	OVER	TEMP	TEMPORARY
B.U.	BUILT UP	F.O.S.	FACE OF STUD	OZ.	OUNCE	TYP.	TYPICAL
BD.	BOARD	FIN.	FINISH	P.F.	PREFINISHED	U.B.C.	UNIFORM BUILDING CODE
BLDG.	BUILDING	FLR.	FLOOR	P.O.C.	POINT OF CONNECTION	U.O.N.	UNLESS OTHERWISE NOTED
BLK.	BLOCK	FT.	FOOT / FEET	P.T.	PRESSURE TREATED	V.B.	VAPOR BARRIER
BLKG.	BLOCKING	FTG.	FOOTING	PL.	PLATE	V.I.F.	VERIFY IN FIELD
BOTT.	BOTTOM	G.I.	GALVANIZED IRON	PLAS.	PLASTIC	V.T.R.	VENT THROUGH ROOF
BTWN.	BETWEEN	GA.	GAUGE	PLY	PLYWOOD	VERT.	VERTICAL
C.I.	CAST IRON	GD.	GRADE	PR.	PAIR	W.	WIDE
C.I.P.	CAST-IN-PLACE	GL.	GLASS	PROP.	PROPERTY	W.H.	WATER HEATER
C.J.	CONTROL JOINT	GYP. BD.	GYPSUM BOARD	PSI	POUNDS PER SQUARE INCH	W.I.	WROUGHT IRON
C.L.	CENTER LINE	H.M.	HOLLOW METAL	R.C.	RELATIVE COMPACTION	W.W.F.	WOVEN WIRE FABRIC
CAB.	CABINET	HD.	HEAD	RDWD.	REDWOOD	w/	WITH
CAT.	CATALOG	HDR.	HEADER	REINF.	REINFORCED	w/o	WITHOUT
CBG.	CALIFORNIA BUILDING CODE	HDWR.	HARDWARE	REQD.	REQUIRED	WAINS.	WAINSCOT
CLG.	CEILING	HORIZ.	HORIZONTAL	RM.	ROOM	WD.	WOOD
CLR.	CLEAR	HR.	HOUR	S.C.	SOLID CORE		
CMU	CONCRETE MASONRY UNIT	HT.	HEIGHT	S.D.	STORM DRAIN		
COL.	COLUMN	INSUL.	INSULATION	S.F.	SQUARE FOOTAGE		
COMP.	COMPACTED	INT.	INTERIOR	S.M.	SHEET METAL		
CONC.	CONCRETE	JB.	JAMB	S.P.	SINGLE PLY		
CONT.	CONTINUOUS	JT.	JOINT	S.S.	SANITARY SEWER LINE / STANDING SEAM / STAINLESS STEEL		
D.F.	DOUGLAS FIR / DRINKING FOUNTAIN	LAM.	LAMINATE	SCH.	SCHEDULE		
D.H.	DOUBLE HUNG	LAV.	LAVATORY	SECT.	SECTION		
D.S.	DOWNSPOUT	LT.	LIGHT	SIM.	SIMILAR		
DBL.	DOUBLE	LTWT.	LIGHT WEIGHT	SL.	SILL		
DIA.	DIAMETER						
DN.	DOWN						
DWG.	DRAWING						

LIST OF CONSULTANTS

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CONTACT: ANDREA STRAHL

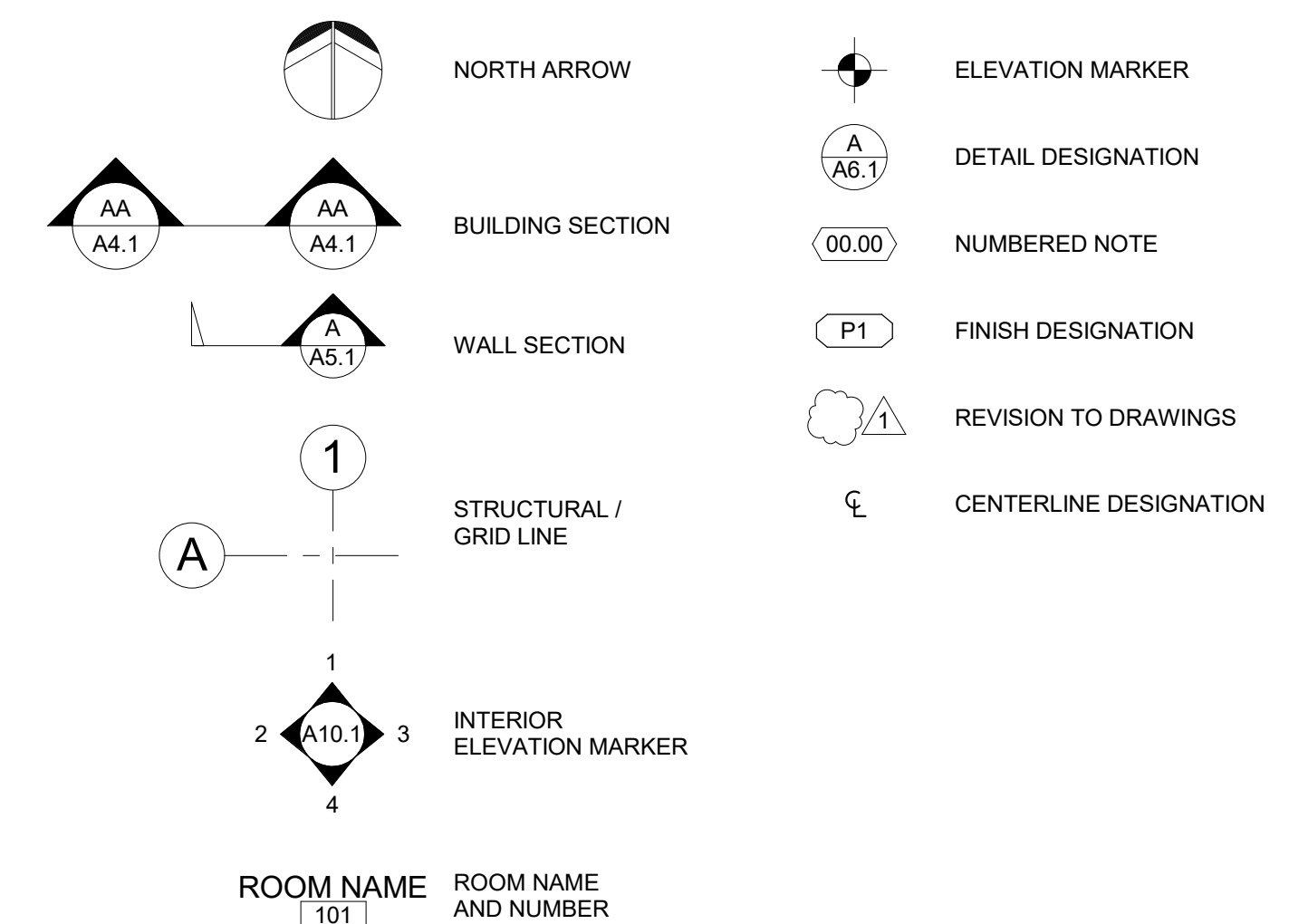
OWNER INFORMATION

- OWNER**
PARCEL 037-191-034
IRONHOUSE SANITARY DISTRICT
450 WALNUT MEADOWS DRIVE
OAKLEY, CA 94561
PHONE: 925.625.2279
CONTACT:
- OWNER**
PARCEL 037-191-006
DIABLO WATER DISTRICT
87 CAROL LANE
OAKLEY, CA 94561
PHONE: 925.625.3798
EMAIL: dmuelrath@diablowater.org
CONTACT: DAN MUELTRATH

VICINITY MAP



SYMBOLS





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SITE DEMOLITION PLAN

01.04.21 DESIGN REVIEW

WMB PROJECT:
19-118

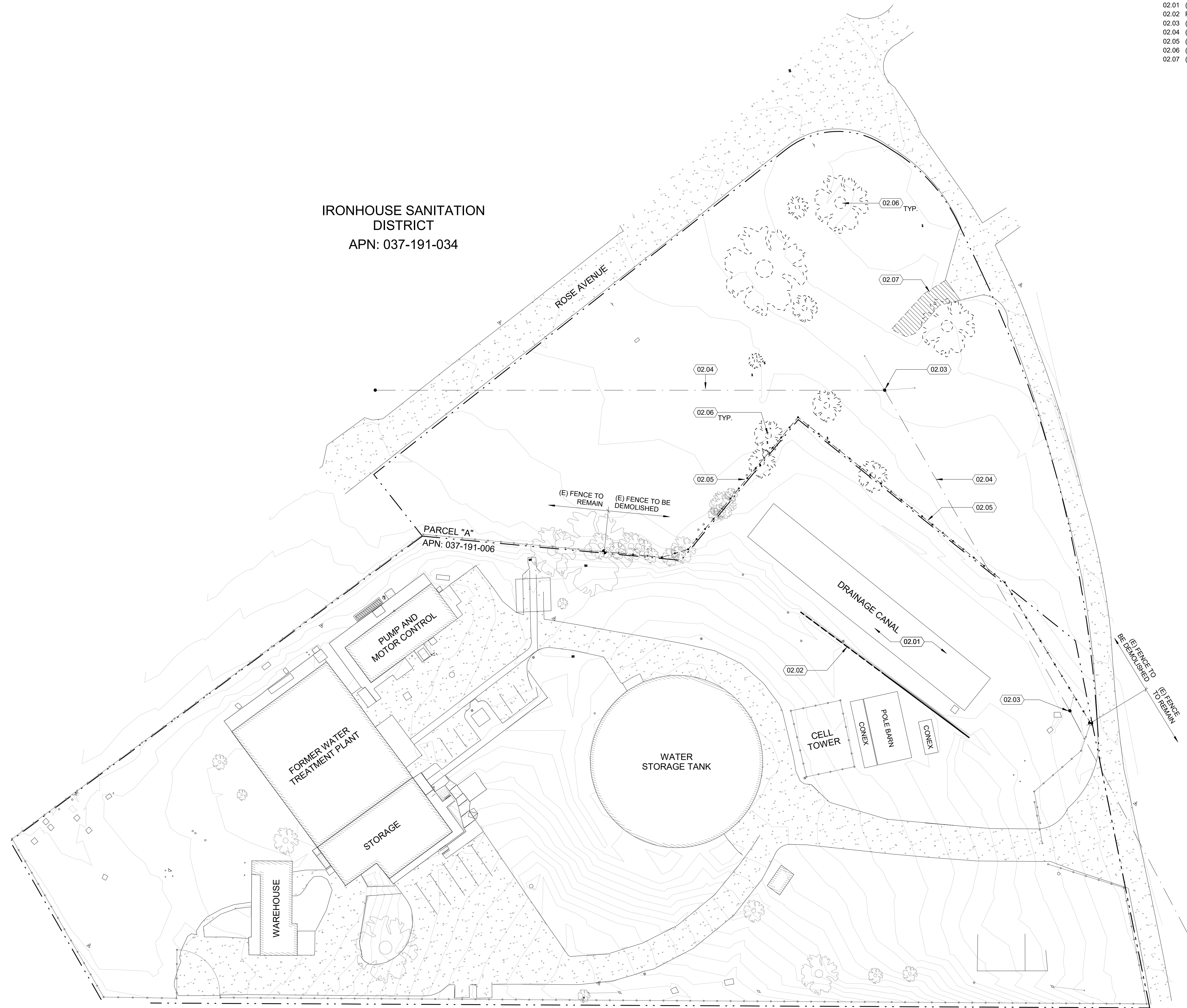
DR2

KEYNOTES

- 02.01 (E) INFILTRATION BASINS TO BE INFILLED
- 02.02 PORTION OF (E) RETAINING WALL TO BE DEMOLISHED
- 02.03 (E) ELECTRICAL POLE TO BE RELOCATED BY PG&E
- 02.04 (E) OVERHEAD POWER LINES TO BE REROUTED BY PG&E
- 02.05 (E) CHAIN LINK FENCE TO BE REMOVED - SHOWN DASHED
- 02.06 (E) TREES TO BE REMOVED - SHOWN DASHED
- 02.07 (E) CONCRETE FLATWORK TO BE DEMOLISHED

IRONHOUSE SANITATION
DISTRICT
APN: 037-191-034

PARCEL "A"
APN: 037-191-006



CONTRA COSTA CANAL

SITE DEMOLITION PLAN
SCALE: 1" = 30'-0"



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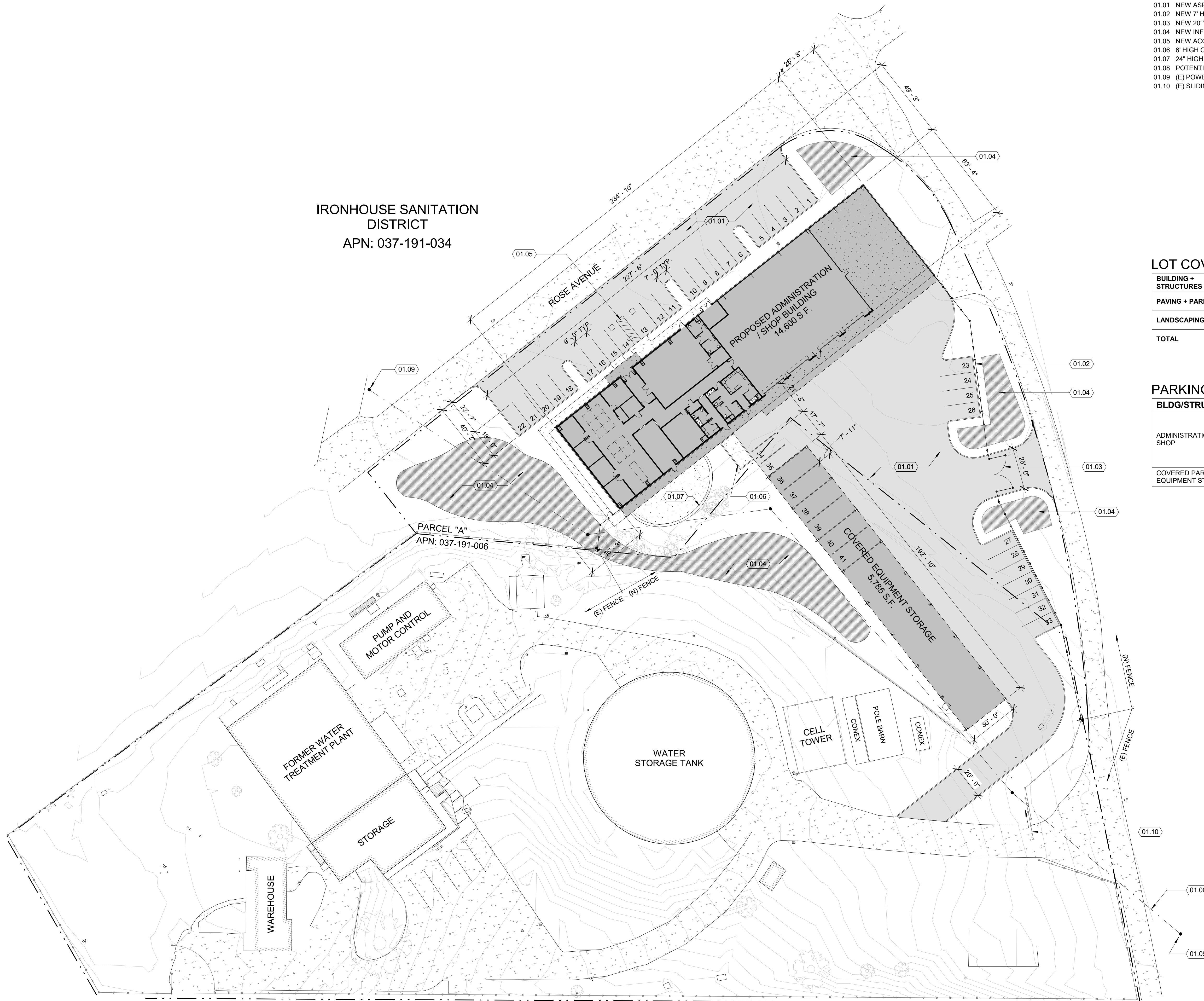
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KEYNOTES

- 01.01 NEW ASPHALT PAVED SURFACE PARKING
- 01.02 NEW 7' HIGH BLACK CHAIN LINK FENCE WITH HORIZONTAL RAZOR WIRE TOP
- 01.03 NEW 20' WIDE BLACK CHAIN LINK VEHICULAR GATE
- 01.04 NEW INFILTRATION BASIN
- 01.05 NEW ACCESSIBLE PARKING SPACES
- 01.06 6' HIGH CONCRETE MASONRY ENCLOSURE FOR GROUND-MOUNTED CONDENSING UNIT
- 01.07 24" HIGH CONCRETE MASONRY SEAT WALL
- 01.08 POTENTIAL RE-ROUTING OF OVERHEAD ELECTRICAL LINES BY PG&E
- 01.09 (E) POWER POLE
- 01.10 (E) SLIDING VEHICULAR GATE

IRONHOUSE SANITATION
DISTRICT
APN: 037-191-034

PARCEL "A"
APN: 037-191-006



LOT COVERAGE - PARCEL "A"

BUILDING + STRUCTURES	14,600 S.F.	23% OF TOTAL
PAVING + PARKING	25,700 S.F.	42% OF TOTAL
LANDSCAPING	21,700 S.F.	35% OF TOTAL
TOTAL	62,000 S.F.	100% OF TOTAL

PARKING CALCULATION

BLDG/STRUCTURE	USE	AREA	SPACES REQ'D
ADMINISTRATION / SHOP	OFFICE AREA	6,750 S.F.	27 SPACES
	SHOP AREA	5,250 S.F.	5.3 SPACES
	COVERED WORK	2,600 S.F.	2.6 SPACES
COVERED PARKING / EQUIPMENT STORAGE	EQUIPMENT STORAGE	3,480 S.F.	3.5 SPACES
TOTAL			38 SPACES REQ'D
			41 SPACES PROVIDED

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Oakley, California

SITE IMPROVEMENT PLAN

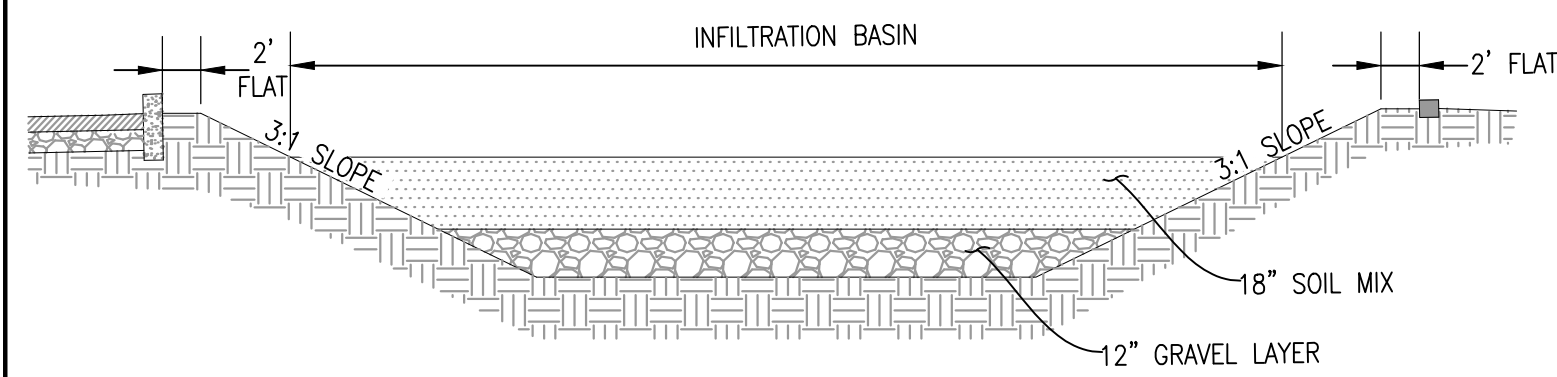
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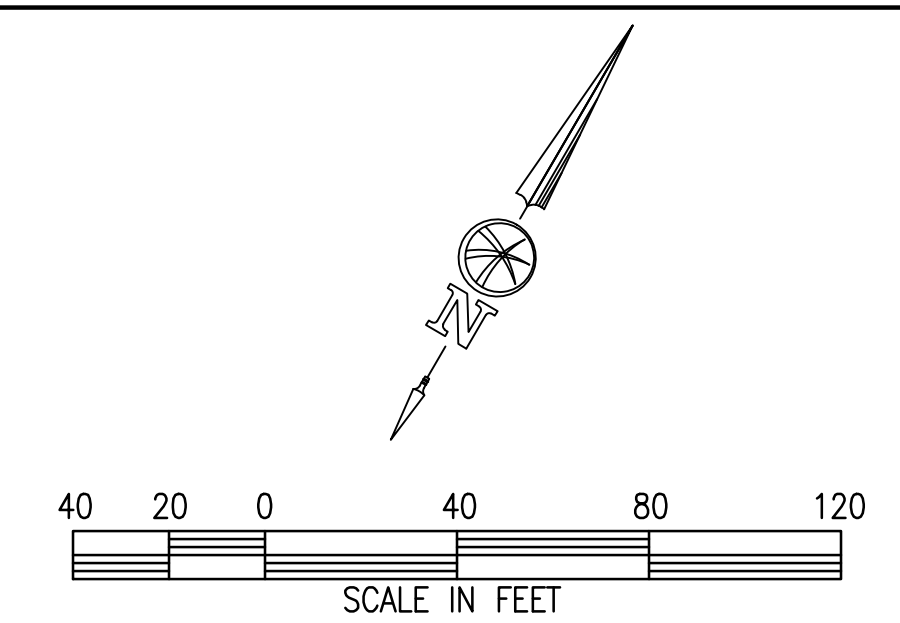
DR3

SITE IMPROVEMENT PLAN
SCALE: 1" = 30'-0"

CONTRA COSTA CANAL



SECTION A-A: INFILTRATION BASIN (TYP)
NTS

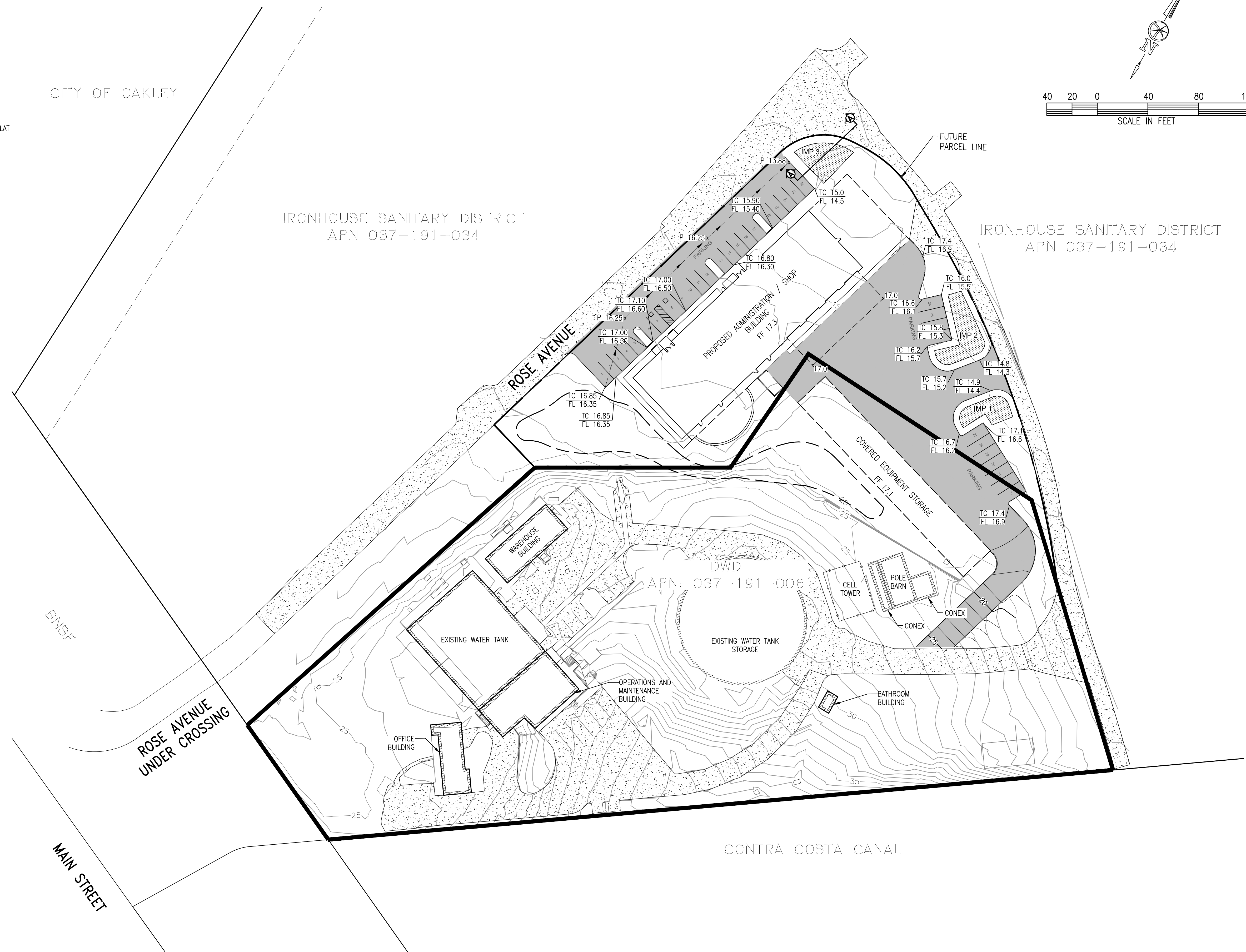


CITY OF OAKLEY

IRONHOUSE SANITARY DISTRICT
APN 037-191-034

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LEGEND	
	EXISTING AC PAVEMENT
	PROPOSED AC PAVEMENT
	PROPOSED WATER QUALITY FEATURE



Bellecci & Associates, inc.
Civil Engineering • Land Surveying
2290 Diamond Boulevard, Suite 100 Concord, CA 94520
Phone (925) 685-4569 Fax (925) 685-4838

DIABLO WATER DISTRICT ADMINISTRATION & SHOP BUILDINGS

PRELIMINARY GRADING & DRAINAGE PLAN EXHIBIT

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA

NO.	REVISIONS	BY	APP	DATE

DESIGNED UNDER THE DIRECTION OF:

ENGINEER	DATE
P.C.E. No./REGISTRATION EXPIRATION DATE	
DESIGN: FCB	DATE: 01/14/21
DRAWN: JS	DATE: 01/14/21
CHECKED: FCB	DATE: 01/14/21

SHEET
C1

Project Name: 20034_DWD Corp Yard LLA
 Project Type: Treatment Only
 APN: 037-191-006-8
 Drainage Area: 158,471
 Mean Annual Precipitation: 11.5

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA3	1,210.0
DMA6	2,562.0
DMA10	154.0
DMA13	359.0
DMA14	293.0
DMA17	103.0
DMA18	103.0
DMA19	103.0
DMA20	359.0
DMA21	5,117.0
DMA22	3,310.0
DMA23	2,842.0

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Bioretention Facility
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1	8,745	Concrete or Asphalt	1.00	8,745	0.040	1.000	464	618
DMA2	2,850	Conventional Roof	1.00	2,850				
Total	11,595			Area				

IMP Name: IMP2
 IMP Type: Bioretention Facility
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA4	12,811	Concrete or Asphalt	1.00	12,811	0.040	1.000	1,022	1,071
DMA5	2,850	Conventional Roof	1.00	2,850				

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA7	8,480	Roof	1.00	8,480	0.040	1.000	1,022	1,071
DMA8	200	Conventional Roof	1.00	200				
DMA9	1,052	Concrete or Asphalt	1.00	1,052				
DMA11	167	Concrete or Asphalt	1.00	167				
Total	25,560			Area				

IMP Name: IMP3
 IMP Type: Bioretention Facility
 Soil Group: IMP3

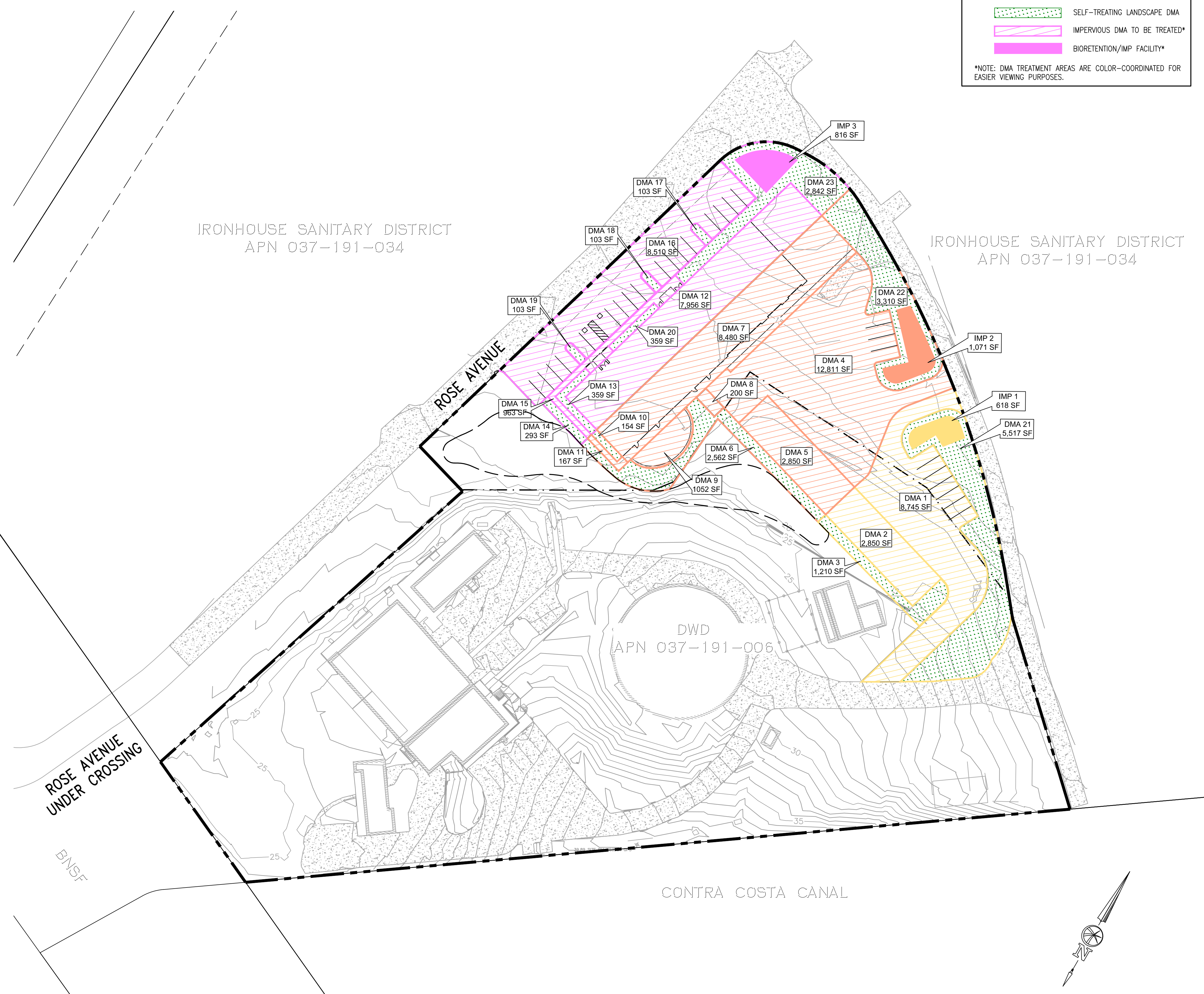
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA12	7,956	Conventional Roof	1.00	7,956	0.040	1.000	697	816
DMA15	963	Concrete or Asphalt	1.00	963				
DMA16	8,510	Concrete or Asphalt	1.00	8,510				
Total	17,429			Area				

Report generated on 1/14/2021 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).

LEGEND

- PROJECT BOUNDARY
- SELF-TREATING LANDSCAPE DMA
- IMPERVIOUS DMA TO BE TREATED*
- BIORETENTION/IMP FACILITY*

*NOTE: DMA TREATMENT AREAS ARE COLOR-COORDINATED FOR EASIER VIEWING PURPOSES.



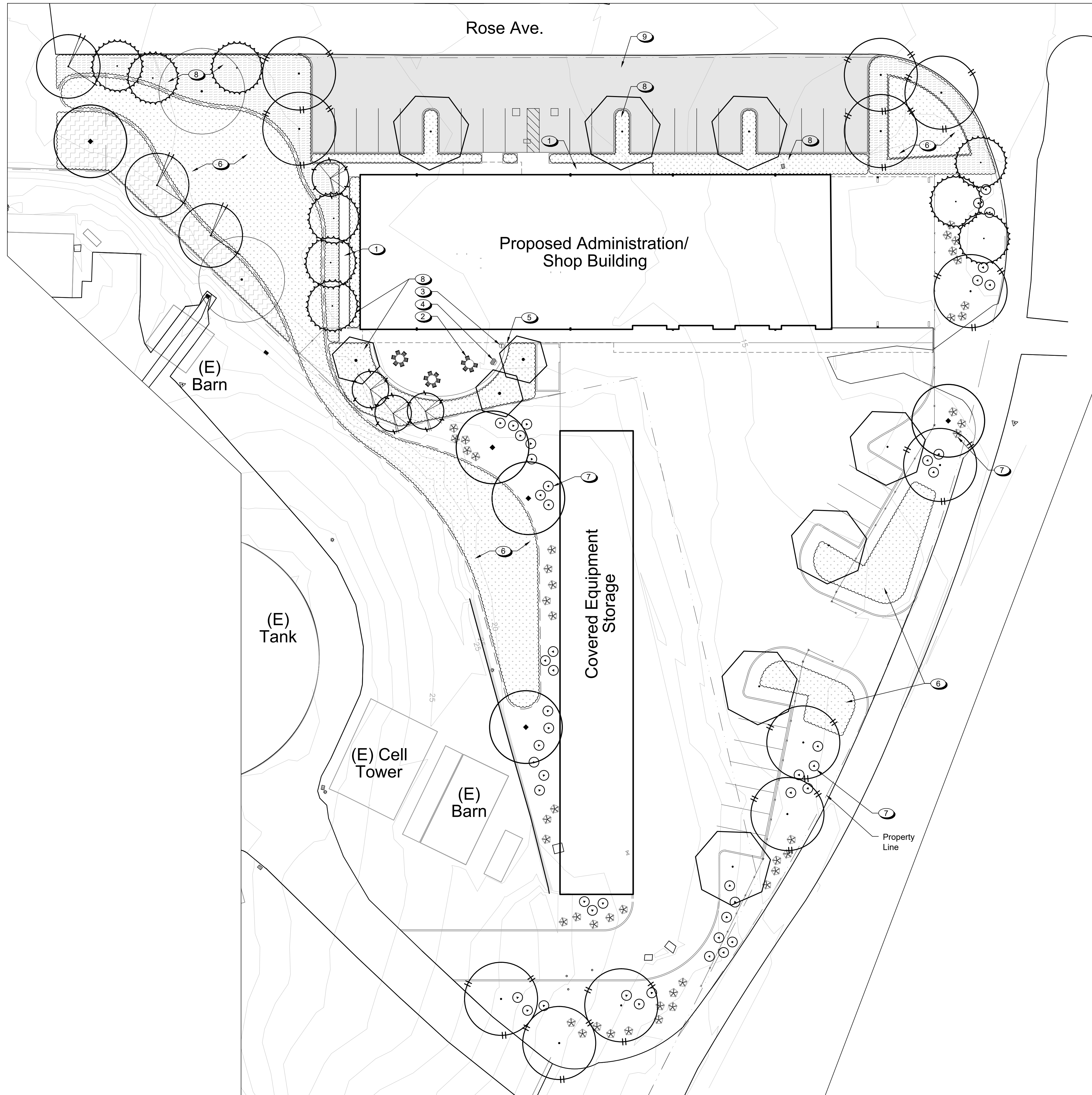
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DIABLO WATER DISTRICT ADMINISTRATION & SHOP BUILDINGS

STORM WATER CONTROL PLAN EXHIBIT

CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:	DATE	SHEET C2
ENGINEER	DATE	
R.C.E. No./REGISTRATION EXPIRATION DATE	DATE: 01/14/21	
DESIGN: FCB	DATE: 01/14/21	
DRAWN: JS	DATE: 01/14/21	
CHECKED: FCB	DATE: 01/14/21	
NO.	REVISIONS	BY APP DATE



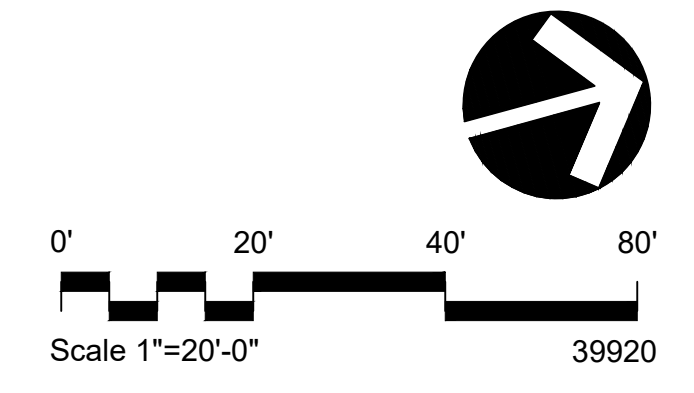
Plant Legend

Symbol	Botanical Name	Common Name	Size	Remarks	Wat. Use
Trees					
ALN	<i>Alnus rhombifolia</i>	White Alder	24" Box	-	L
ACE	<i>Acer negundo</i>	Box Elder	24" Box	-	M
CER	<i>Cercis occidentalis</i>	Western Redbud	15 gal.	Multi-stem	VL
LAG	<i>Lagerstroemia indica 'Natchez'</i>	White Crape Myrtle	15 gal.	-	L
PAR	<i>Parkinsonia x 'Desert Museum'</i>	Desert Museum Palo Verde	15 gal.	-	VL
PLA	<i>Platanus racemosa</i>	California Sycamore	24" Box	-	M
QUA	<i>Quercus agrifolia</i>	Coast Live Oak	24" Box	-	VL
Mid-level Enhanced Shrubs					
	<i>Abelia x grandiflora 'Abelops'</i>	Sunshine Daydream Abelia	5 gal.	-	M
	<i>Achillea millefolium 'Apple Blossom'</i>	Apple Blossom Common Yarrow	5 gal.	-	L
	<i>Coleonema pulchellum</i>	Pink Breath of Heaven	5 gal.	-	M
	<i>Epilobium canum</i>	California Fuchsia	1 gal.	-	L
	<i>Euonymus japonicus</i>	Dwarf Japanese Euonymus	1 gal.	-	L
	<i>Gaura lindheimerii</i>	White Guara	1 gal.	-	M
	<i>Lavandula stoechas 'Otto Quast'</i>	Otto Quast Spanish Lavender	1 gal.	-	L
	<i>Nandina domestica 'Lemon Lime'</i>	Lemon Lime Heavenly Bamboo	1 gal.	-	L
Low Growing Enhanced Shrubs					
	<i>Abelia x grandiflora 'Confetti'</i>	Confetti Glossy Abelia	5 gal.	-	M
	<i>Buteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition Blue Grama Grass	1 gal.	-	L
	<i>Callistemon 'Little John'</i>	Little John Bottlebrush	5 gal.	-	L
	<i>Berberis thunbergii 'Crimson Pygmy'</i>	Crimson Pygmy Dwarf Japanese Barberry	5 gal.	-	M
	<i>Lantana x 'Spreading Orange'</i>	Spreading Orange Lantana	1 gal.	-	L
	<i>Lantana montevidensis 'Alba'</i>	White Trailing Lantana	1 gal.	-	L
	<i>Phormium tenax 'Jack Spratt'</i>	Jack Spratt New Zealand Flax	5 gal.	-	L
Swale & Rain Garden					
	<i>Achillea millefolium</i>	Common Yarrow	1 gal.	Upland Zone	L
	<i>Carex spissa</i>	San Diego Sedge	5 gal.	Upland Zone	L
	<i>Chondropetalum tectorum</i>	Cape Rush	1 gal.	Inundation Zone	L
	<i>Juncus patens</i>	California Gray Rush	1 gal.	Inundation Zone	M
	<i>Juncus effusus</i>	Soft Rush	1 gal.	Inundation Zone	M
	<i>Leymus condensatus 'Canyon Prince'</i>	Canyon Prince Wild Rye	5 gal.	Upland Zone	L
Native Planting					
* ⊙	<i>Epilobium canum 'Sierra Salmon'</i>	Sierra Salmon California Fuchsia	5 gal.	-	L
* ⊙	<i>Muhlenbergia rigens</i>	Deer Grass	5 gal.	-	L
* ⊙	<i>Rosa californica</i>	California Wild Rose	5 gal.	-	L
* ⊙	<i>Salvia 'Bee's Bliss'</i>	Bee's Bliss Sage	5 gal.	-	L
Screen Planting					
	<i>Arctostaphylos densiflora 'Howard McMinn'</i>	Howard McMinn Manzanita	5 gal.	-	L
	<i>Ceanothus 'Concha'</i>	Concha Ceanothus	5 gal.	-	L
	<i>Frangula californica</i>	Coffeeberry	5 gal.	-	L
	<i>Heteromeles arbutifolia</i>	Toyon	5 gal.	-	VL

Shade Calculations

Symbol	Botanical Name / Common Name	Quantity @ Full Shade / Sq. Ft.	Quantity @ ¾ Shade / Sq. Ft.	Quantity @ ½ Shade / Sq. Ft.	Quantity @ ¼ Shade / Sq. Ft.	Total (Sq. Ft.)
PIS	<i>Pistacia chinensis 'Keith Davey' / Chinese Pistache (30" dia.)</i>	3 @ 706 SF	0 @ 530 SF	0 @ 354 SF	0 @ 177 SF	2,118 SF
QUA	<i>Quercus agrifolia / Coast Live Oak (40" dia.)</i>	0 @ 1,256 SF	0 @ 942 SF	4 @ 628 SF	0 @ 314 SF	2,512 SF
TOTAL TREE SHADE						4,630 SF
Surfaced Area:		Parking Lot		8,849 SF	Total Surfaced Area = 8,849 SF	
		Covered Stalls (garages, carports, etc.)		0		
SHADE AREA REQUIRED (50%) =						4,425 SF
TOTAL SHADE PROVIDED =						4,630 SF
PERCENT SHADE =						52%

- ### Plan Keynotes
- ① New 4' wide concrete walkway
 - ② Picnic table at outdoor break area
 - ③ Trash receptacle at outdoor break area
 - ④ BBQ at outdoor break area
 - ⑤ Seatwall at outdoor break area
 - ⑥ Swale / Retention Area
 - ⑦ Drought tolerant native planting.
 - ⑧ Shrub and groundcover planting area, typ.
 - ⑨ Parking area included in shade calculations.

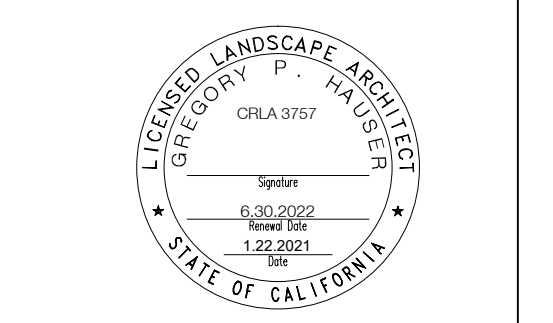



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01-22-21 | Concept Plan

PUBLISH HISTORY
 △ DATE REVISION/SET

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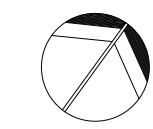
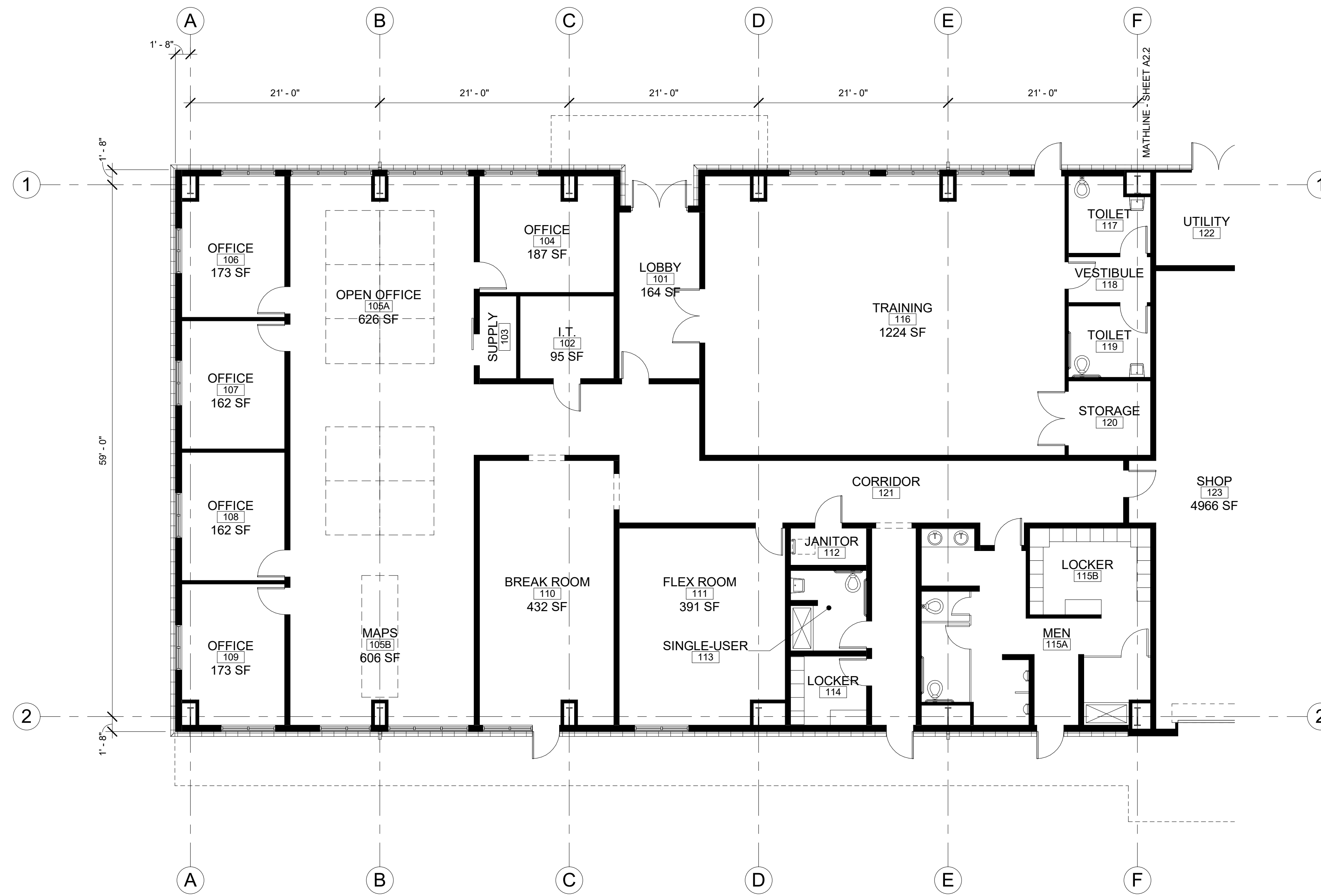
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FLOOR PLAN - SOUTH

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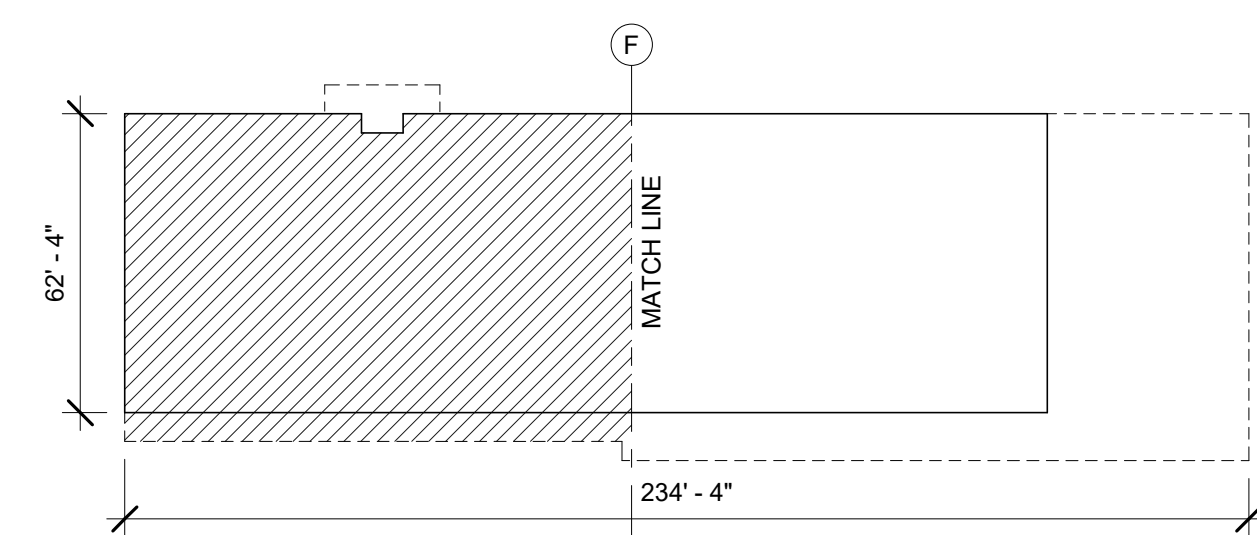
A2.1



FLOOR PLAN - SOUTH (OFFICE AREA)

SCALE: 1/8" = 1'-0"

KEY PLAN





**WMB
ARCHITECTS**

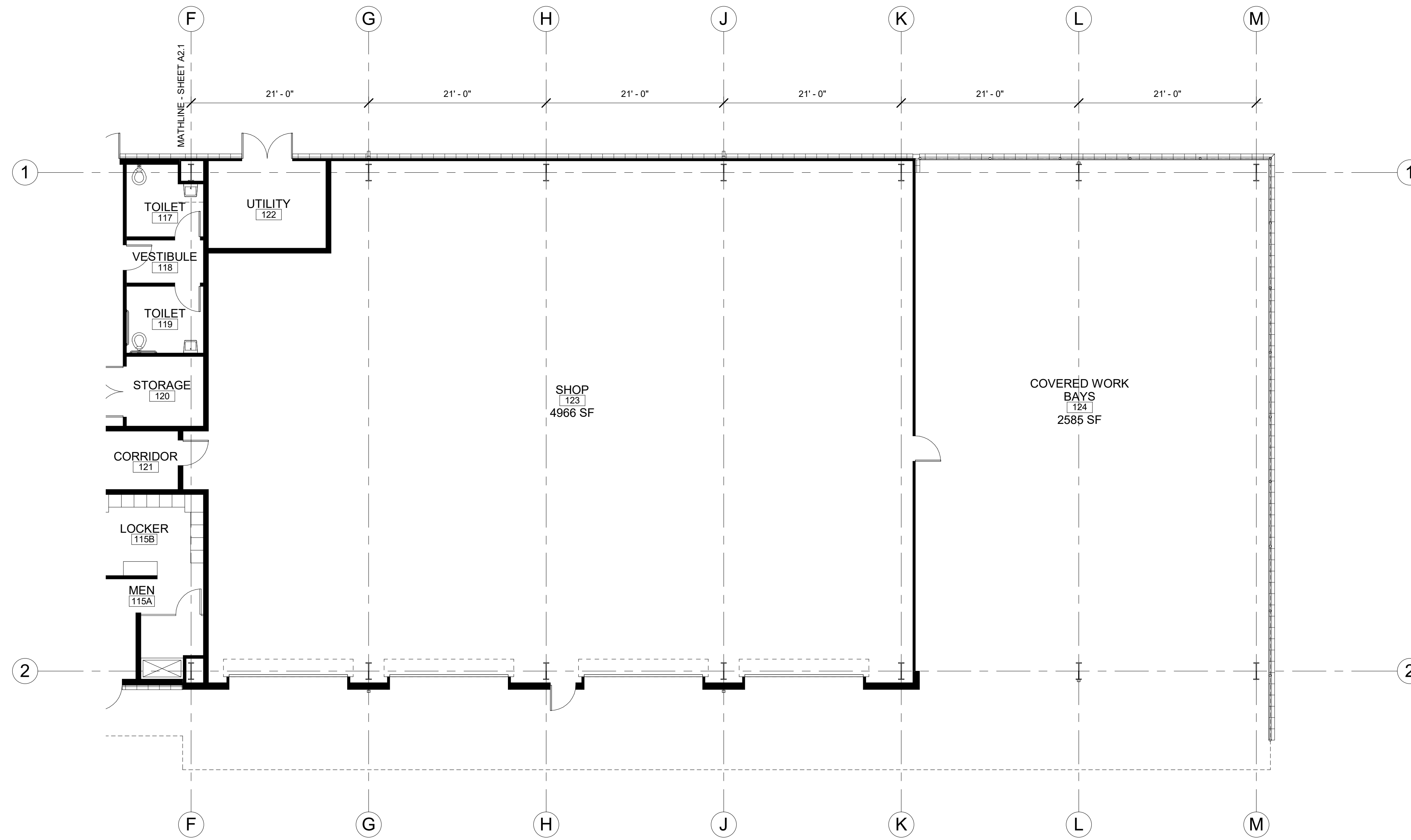
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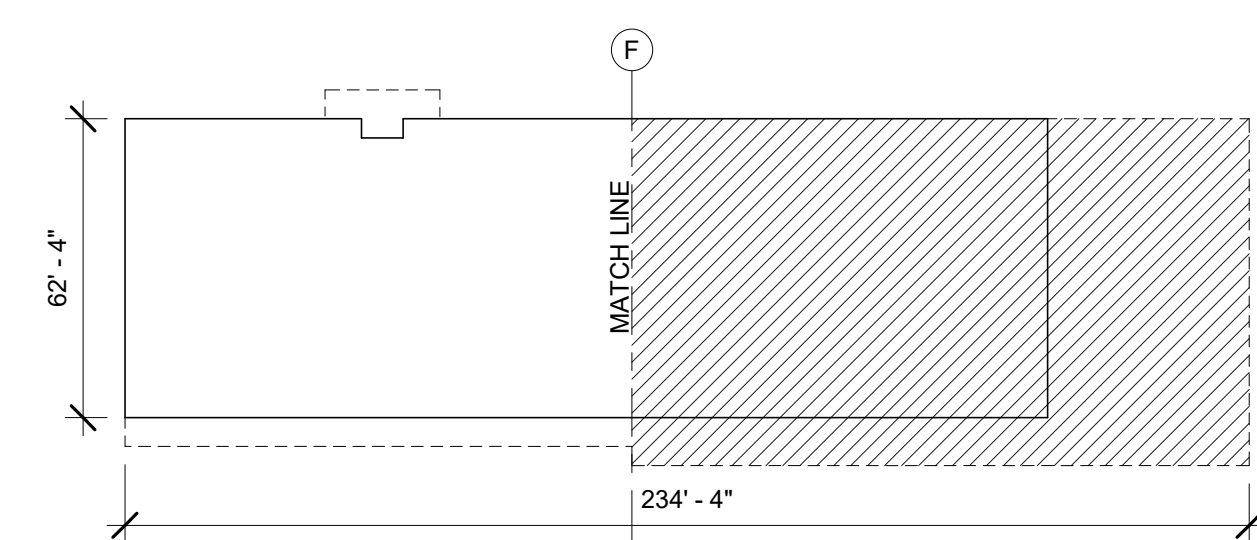
FLOOR PLAN - NORTH



FLOOR PLAN - NORTH (SHOP AREA)
SCALE: 1/8" = 1'-0"

01.04.21 DESIGN REVIEW

KEY PLAN



WMB PROJECT:
19-118

A2.2



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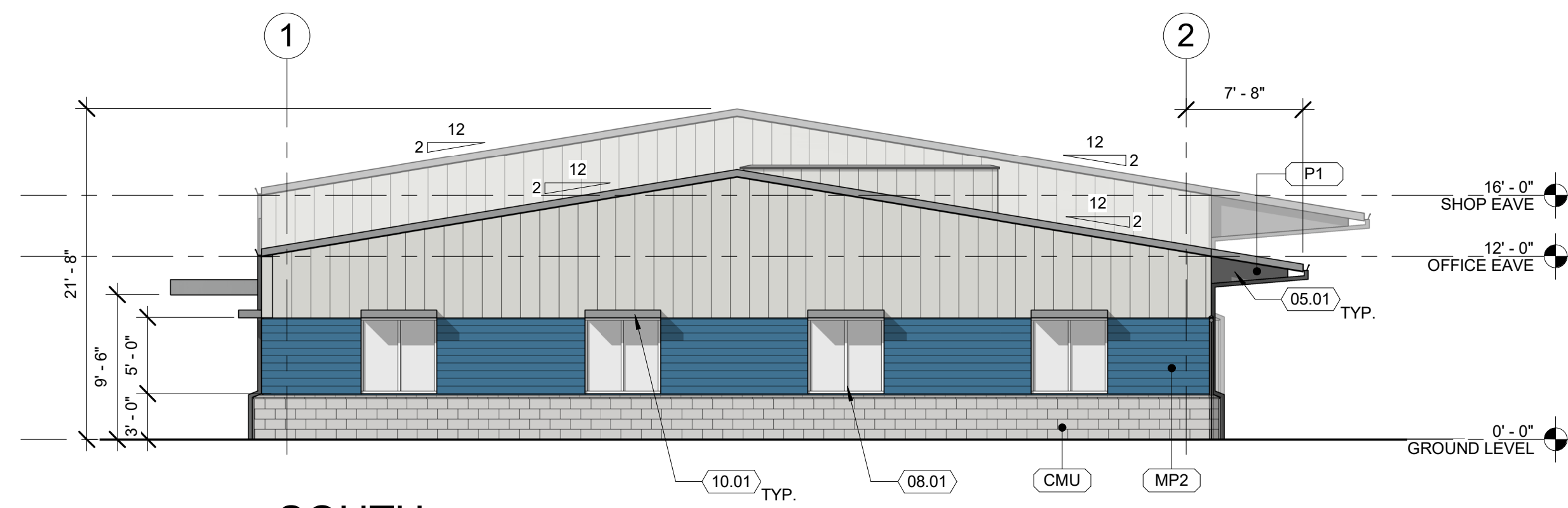
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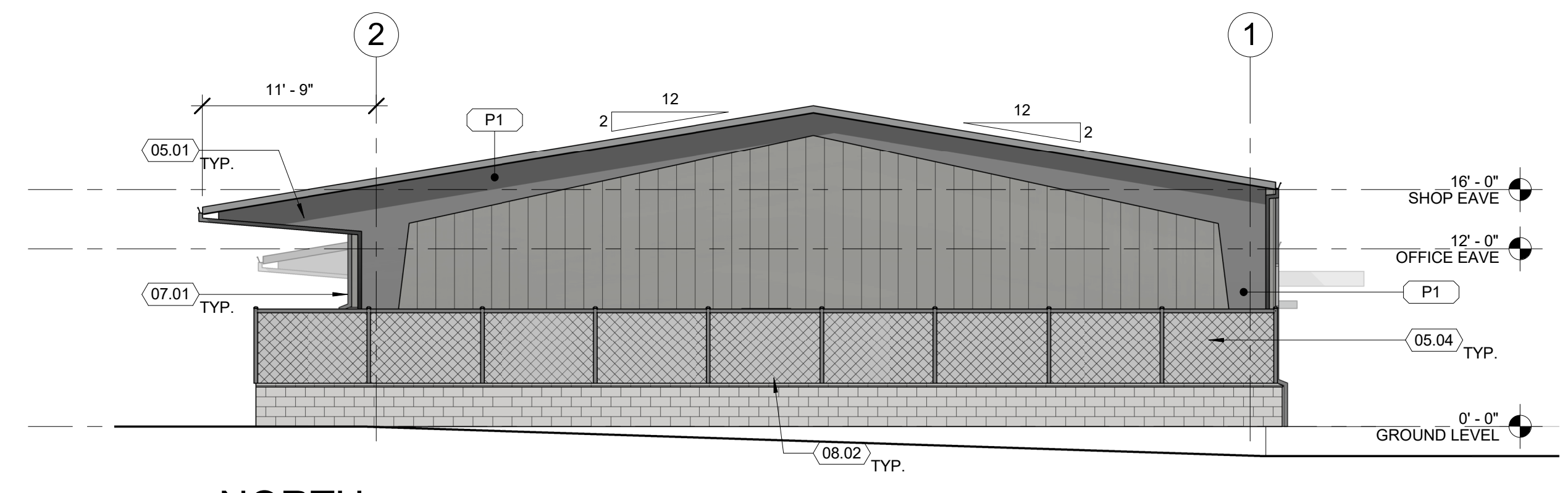
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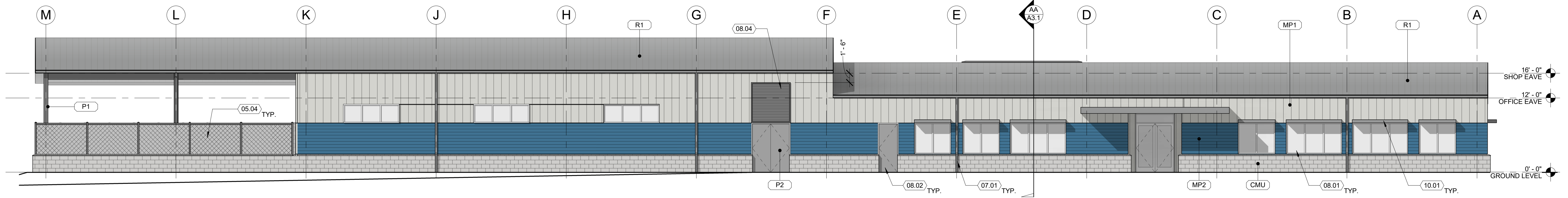
EXTERIOR ELEVATIONS
AND SECTION



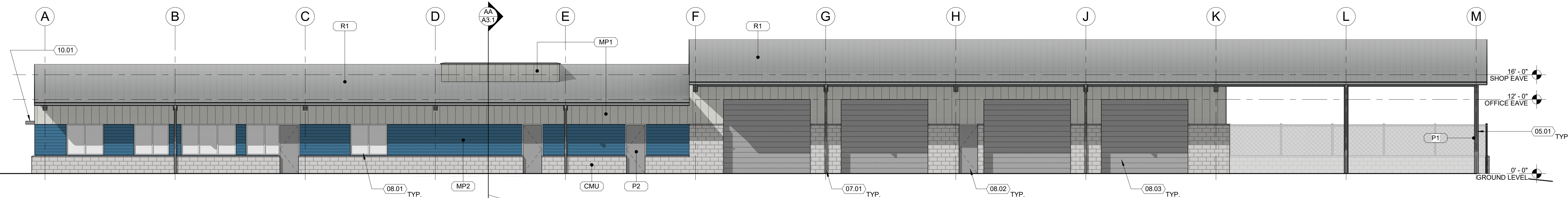
SOUTH
SCALE: 1/8" = 1'-0"



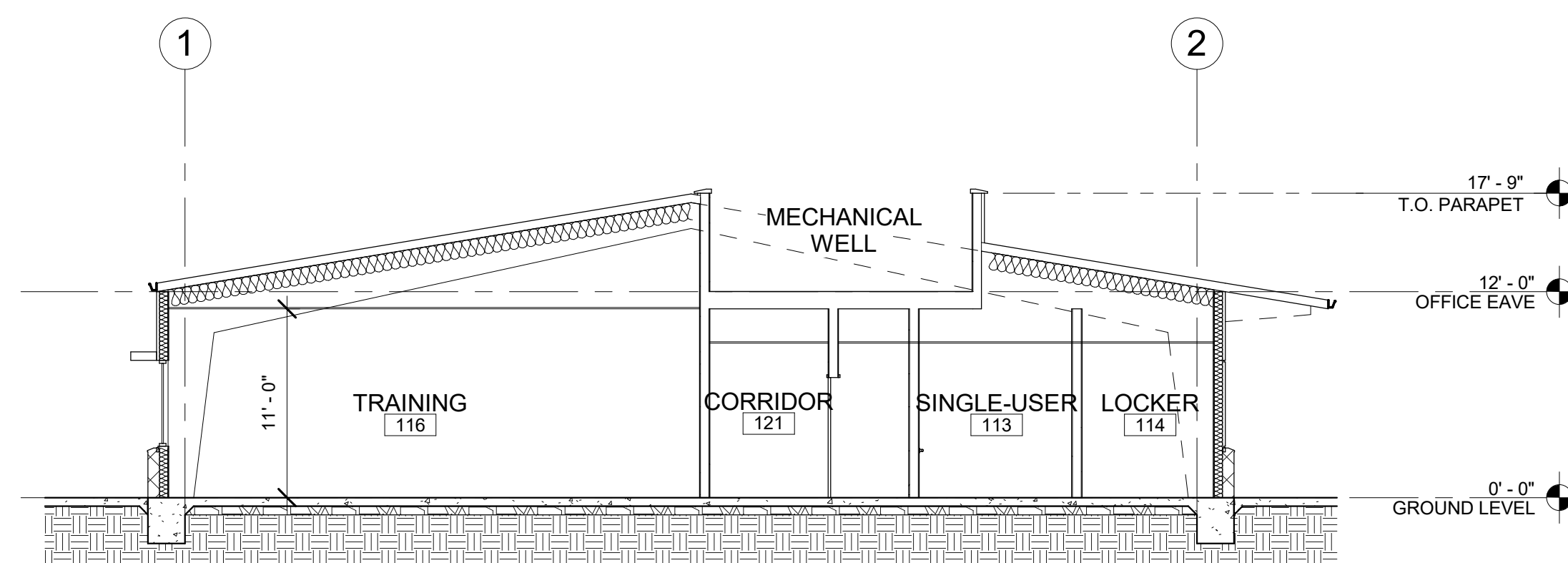
NORTH
SCALE: 1/8" = 1'-0"



WEST
SCALE: 1/8" = 1'-0"



EAST
SCALE: 1/8" = 1'-0"



BUILDING SECTION AA
SCALE: 1/8" = 1'-0"

KEYNOTES

- 05.01 EXPOSED STRUCTURAL STEEL FRAME
- 05.04 CHAIN LINK FENCE w/ BLACK FABRIC
- 07.01 DOWNSPOUT
- 08.01 ALUM. STOREFRONT WINDOW
- 08.02 HOLLOW-METAL DOOR
- 08.03 OVERHEAD COILING DOOR
- 08.04 FACTORY-FINISHED METAL LOUVER
- 10.01 FACTORY-FINISHED METAL AWNING

EXTERIOR FINISH SCHEDULE

- CMU - PRECISION CONCRETE MASONRY, COLOR: GRAY
- MP1 - VERTICAL METAL PANEL, COLOR: 'COOL PARCHMENT'
- MP2 - HORIZONTAL METAL PANEL, COLOR: 'TAHOE BLUE'
- R1 - STANDING SEAM METAL ROOF, COLOR: 'OLD TOWN GRAY'
- P1 - PAINT, KELLY MOORE KM4908 BASHFUL EMU
- P2 - PAINT, KELLY MOORE KM4910 PLATINUM GRANITE

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EXTERIOR MATERIAL PALETTE



P1 - KELLY MOORE KM4908 BASHFUL EMU



P2 - KELLY MOORE KM4910 PLATINUM GRANITE



CMU - CONCRETE BLOCK WAINSCOT w/ SILL



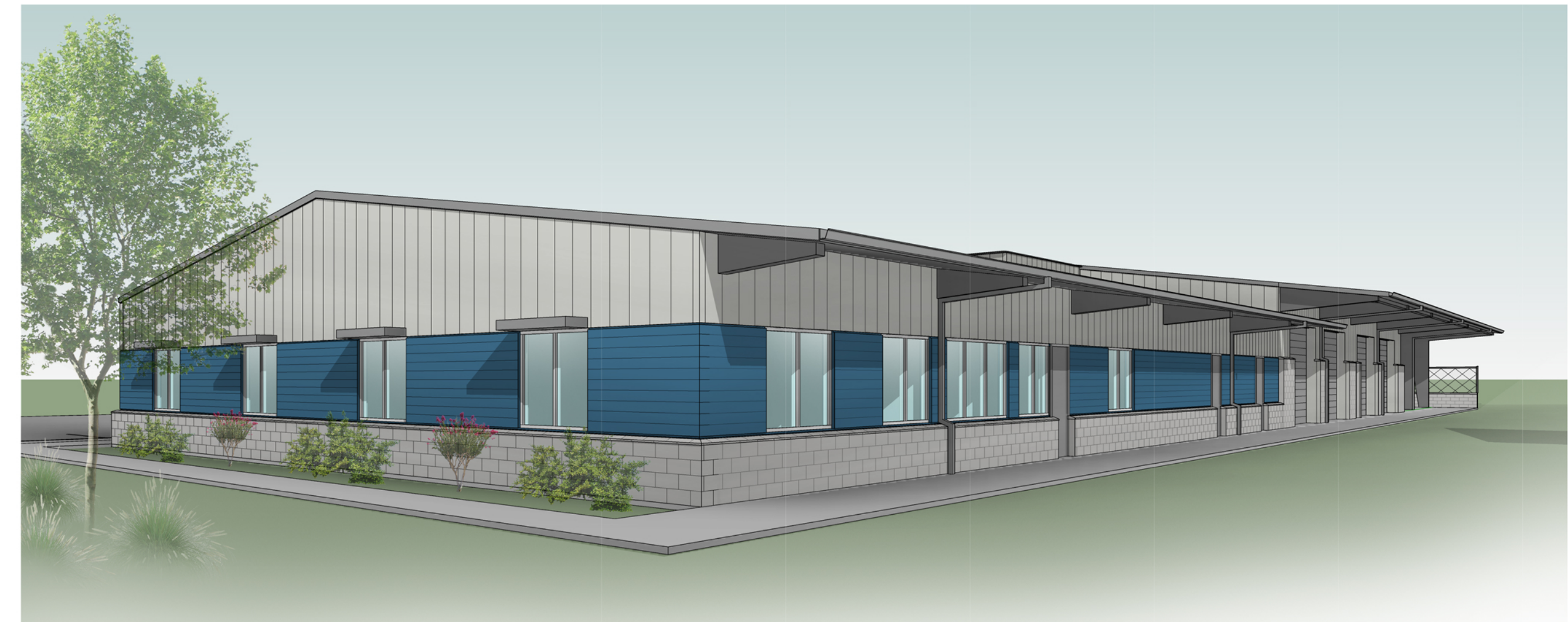
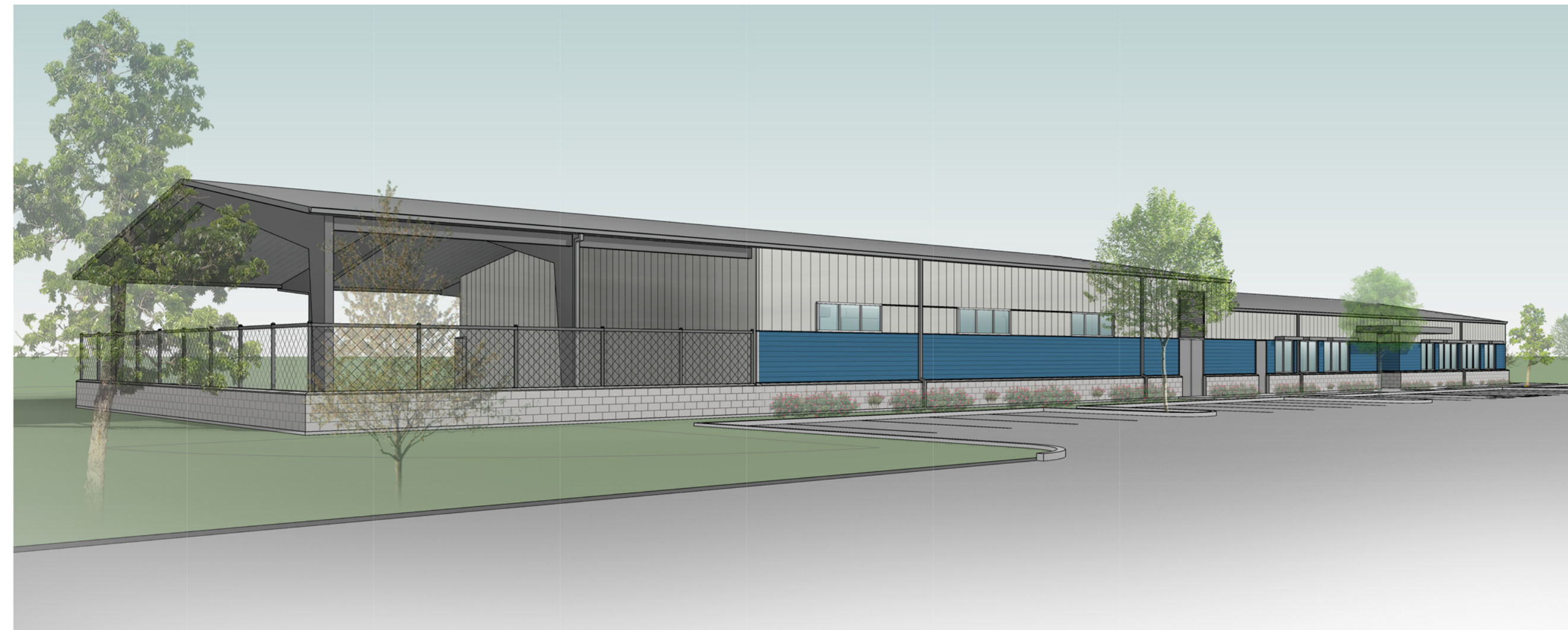
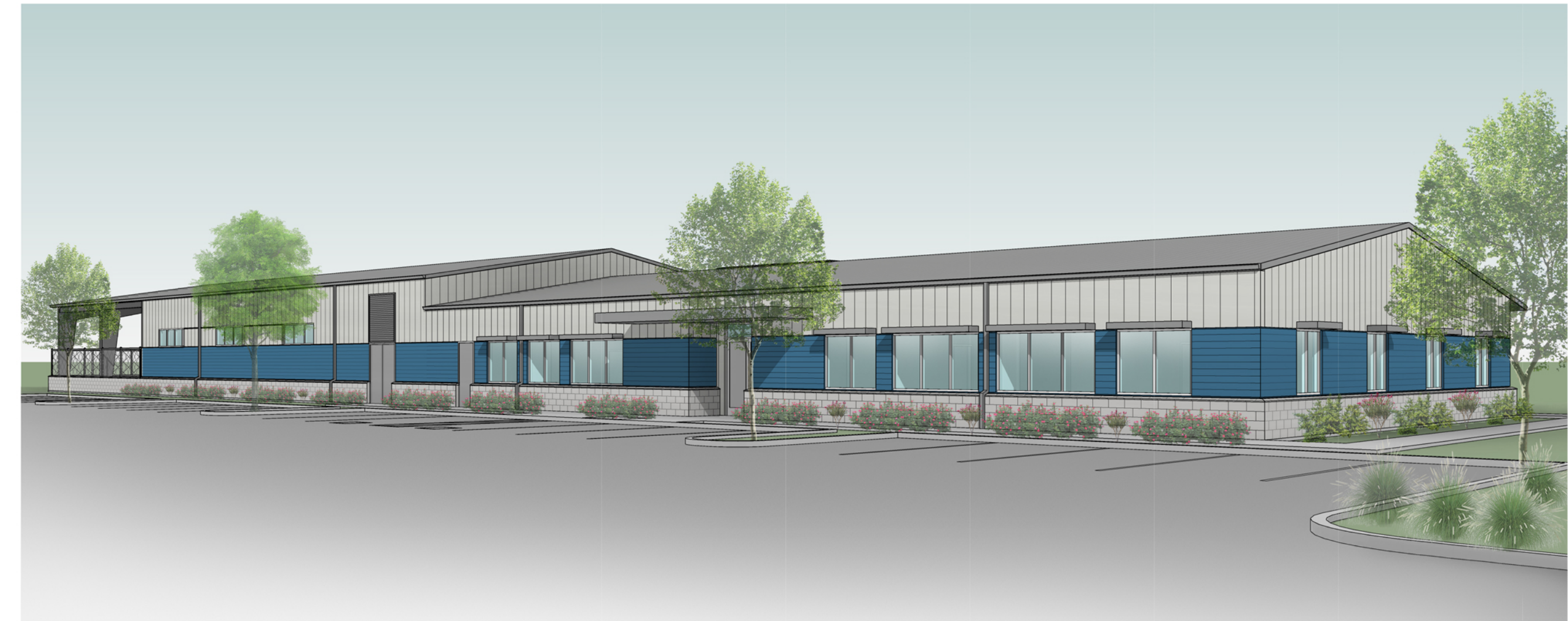
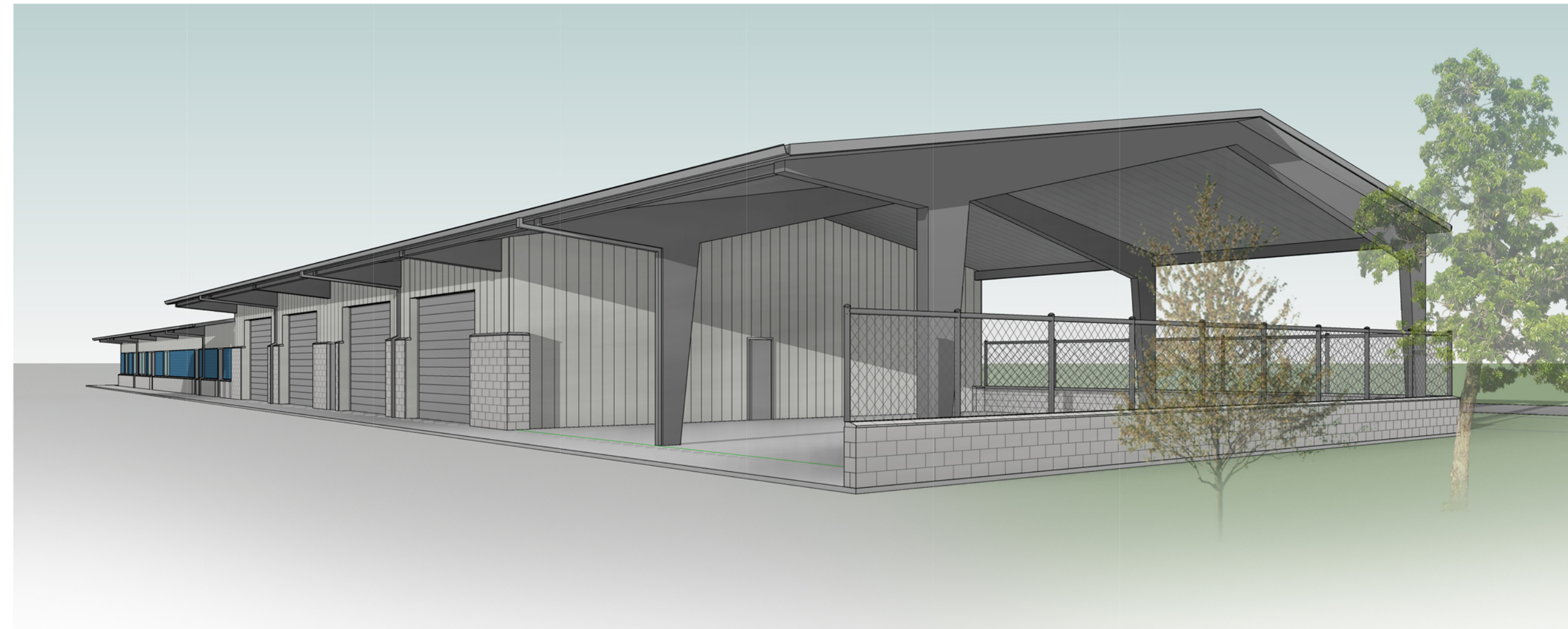
MP1 - HORIZONTAL METAL PANEL, COLOR 'TAHOE BLUE'



MP2 - VERTICAL METAL PANEL, COLOR 'COOL PARCHMENT'



R1 - STANDING SEAM METAL ROOF, COLOR 'OLD TOWN GRAY'



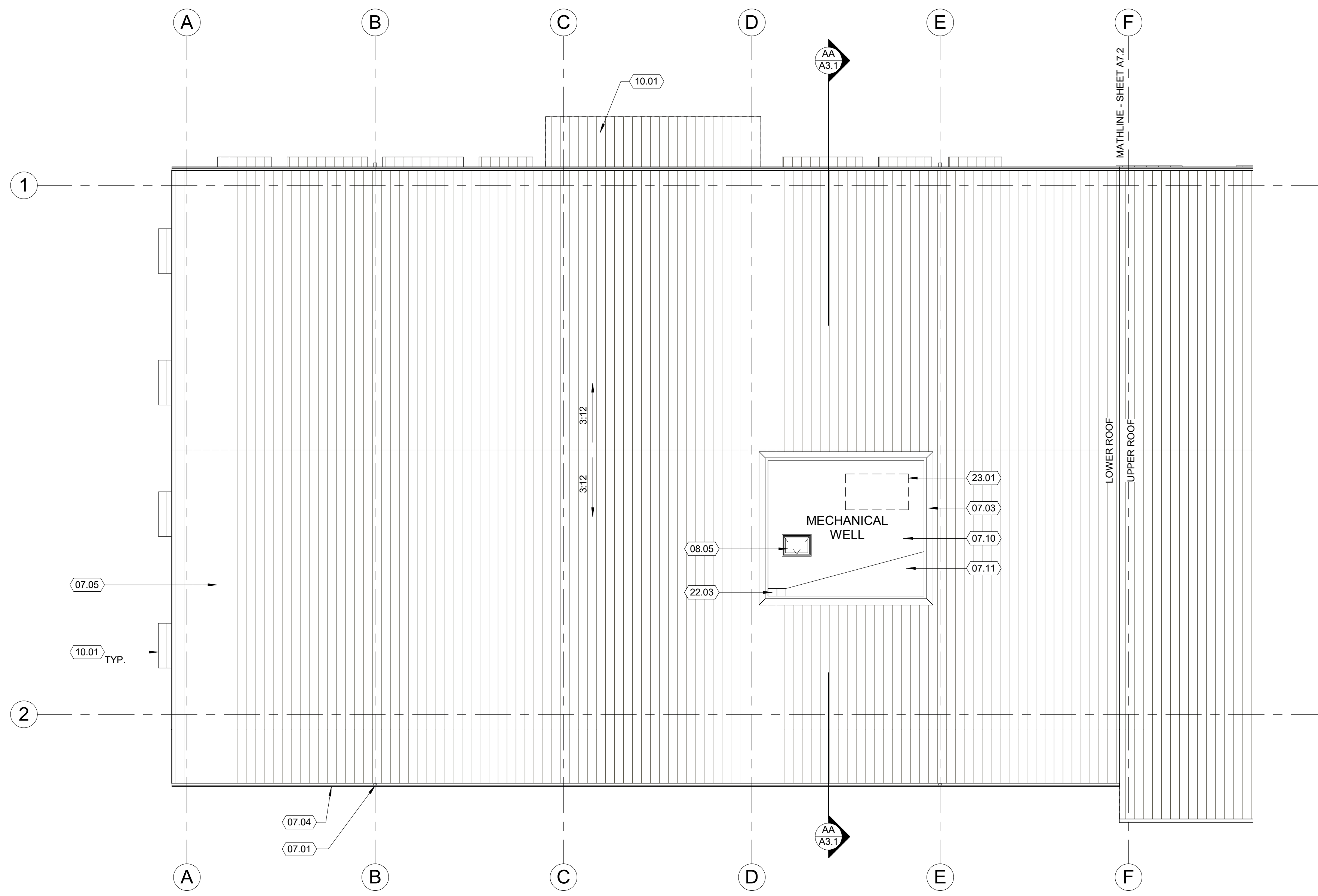
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EXTERIOR MATERIALS AND
PERSPECTIVES

01.04.21 DESIGN REVIEW

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ROOF PLAN - SOUTH
SCALE: 1/8" = 1'-0"

KEYNOTES

- 07.01 DOWNSPOUT
- 07.03 PRE-FINISHED SHEET METAL PARAPET COPING
- 07.04 PRE-FINISHED SHEET METAL GUTTER
- 07.05 STANDING SEAM METAL ROOF
- 07.10 SINGLE PLY ROOFING MEMBRANE ov/ ROOF BD.
- 07.11 CRICKET FORMED w/ TAPERED RIGID INSULATION
- 08.05 ROOF ACCESS HATCH
- 10.01 FACTORY-FINISHED METAL AWNING
- 22.03 ROOF DRAIN & OVERFLOW - REF. PLUMBING DWGS.
- 23.01 ROOFTOP ENERGY RECOVERY UNIT



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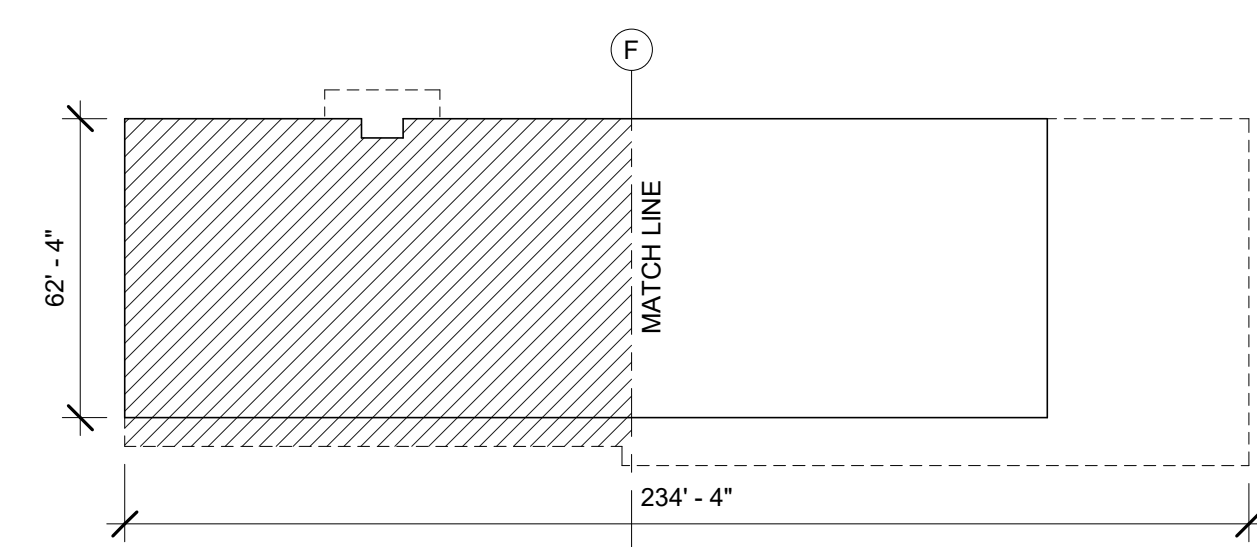
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ROOF PLAN - SOUTH

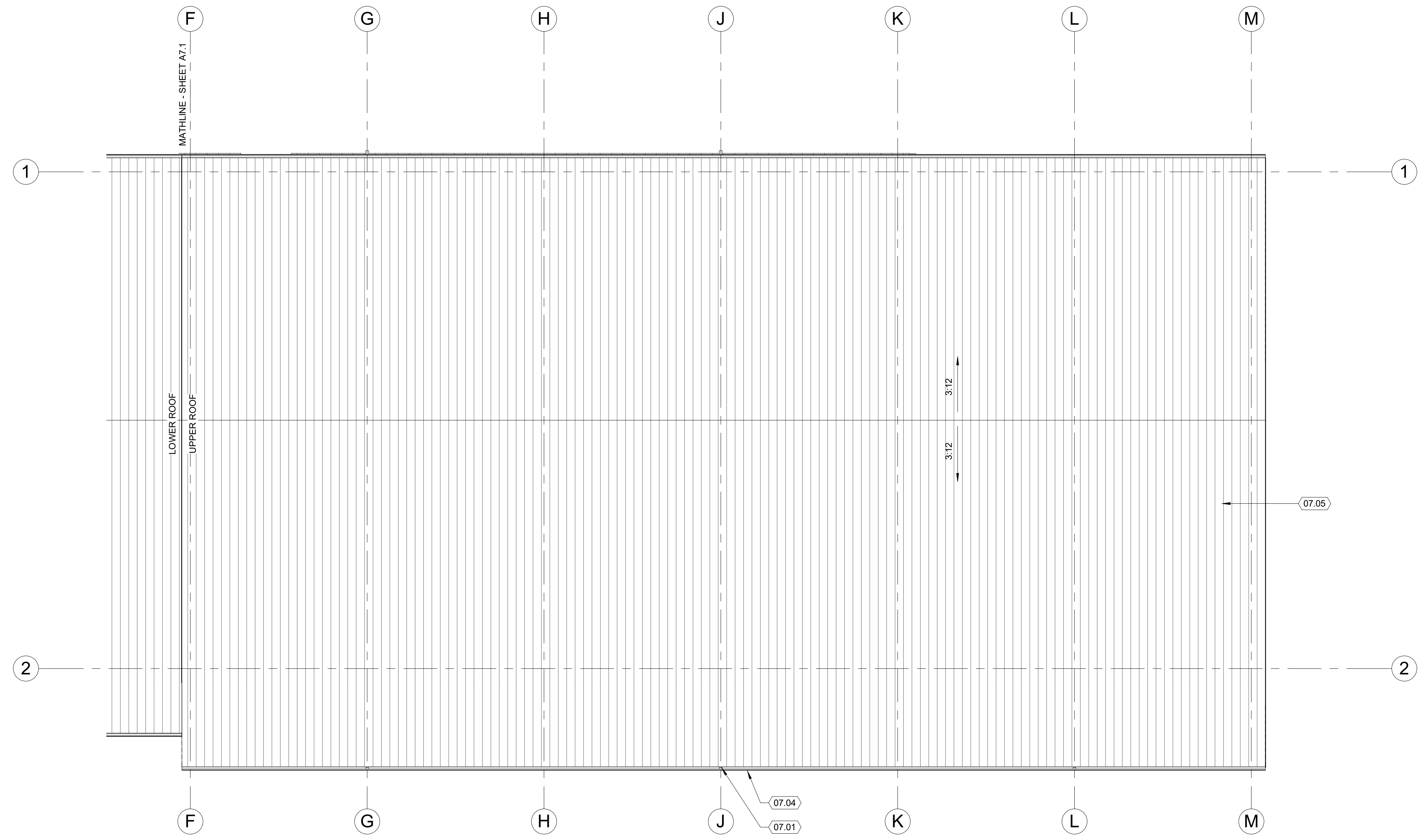
01.04.21 DESIGN REVIEW

KEY PLAN

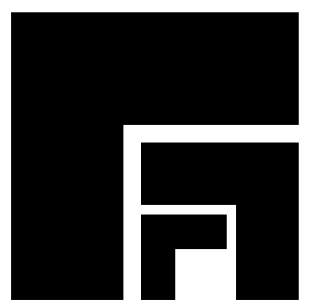


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KEYNOTES
 07.01 DOWNSPOUT
 07.04 PRE-FINISHED SHEET METAL GUTTER
 07.05 STANDING SEAM METAL ROOF



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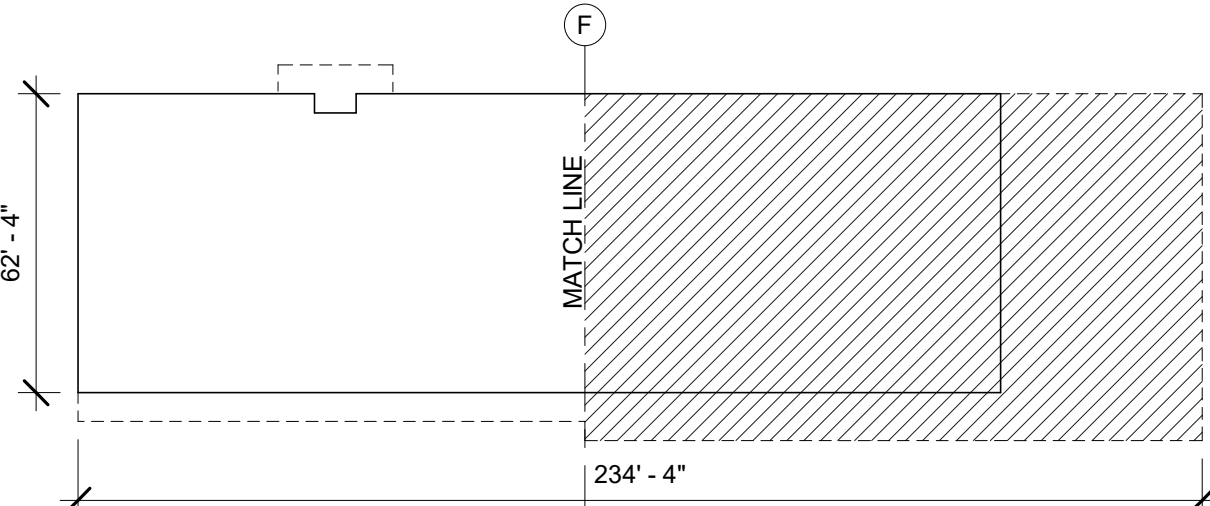
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ROOF PLAN - NORTH

ROOF PLAN - NORTH
SCALE: 1/8" = 1'-0"

01.04.21 DESIGN REVIEW

KEY PLAN



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19-118

A7.2

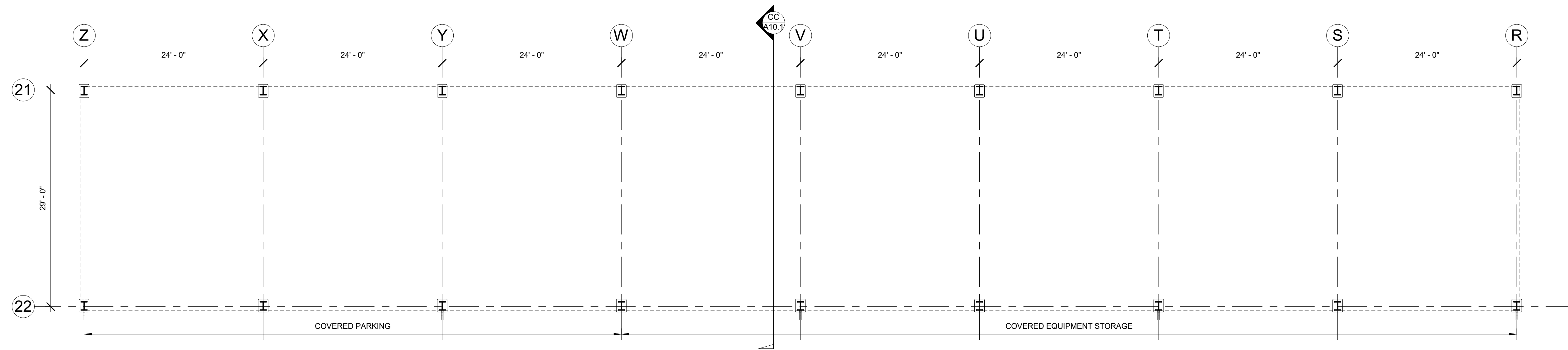


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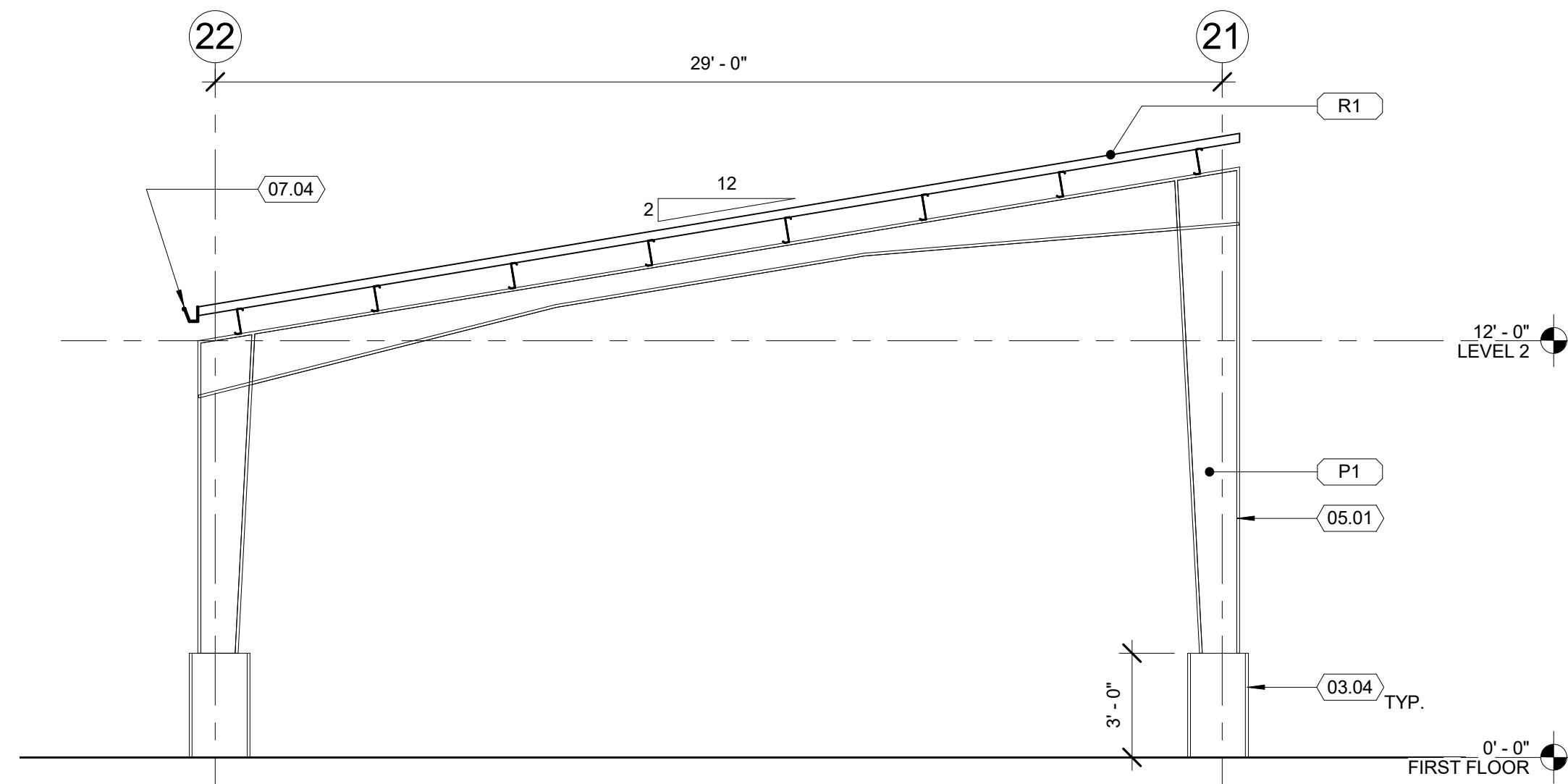
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COVERED EQUIPMENT STORAGE PLAN
SCALE: 1/8" = 1'-0"



SECTION CC
SCALE: 1/4" = 1'-0"

KEYNOTES

- 03.04 CONCRETE PLINT
- 05.01 EXPOSED STRUCTURAL STEEL FRAME
- 07.04 PRE-FINISHED SHEET METAL GUTTER

Diablo Water District
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COVERED EQUIPMENT
STORAGE

EXTERIOR FINISH SCHEDULE

- CMU - PRECISION CONCRETE MASONRY, COLOR: GRAY
- MP1 - VERTICAL METAL PANEL, COLOR: 'COOL PARCHMENT'
- MP2 - HORIZONTAL METAL PANEL, COLOR: 'TAHOE BLUE'
- R1 - STANDING SEAM METAL ROOF, COLOR: 'OLD TOWN GRAY'
- P1 - PAINT, COLOR T.B.D.
- P2 - PAINT, COLOR T.B.D.

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A10.1

ELECTRICAL LEGEND

<p>LIGHTING FIXTURES</p> <p>FIXTURE NOTATIONS: A,(b),C-12 FIXTURE TYPE "A", SWITCH "b", CIRCUIT C-12</p> <p>LINEAR FIXTURE . SQUARE = RECESSED . CIRCLE = SURFACE</p> <p>DOWNLIGHT, SQUARE = RECESSED</p> <p>WALL MOUNT</p> <p>CEILING EXHAUST FAN</p> <p>POLE MOUNT AREA LIGHT</p> <p>EMERGENCY LIGHTING</p> <p>EXIT SIGN WITH 90 MIN BATTERY BACKUP</p> <p>WALL MOUNT EMERGENCY LIGHT WITH 90 MIN BATTERY BACK</p> <p>EXTERIOR LANDING EMERGENCY LIGHT. CONNECT TO INTERIOR EXIT SIGN FOR POWER.</p> <p>FIXTURES WITH INTEGRAL EMERGENCY BALLAST</p> <p>BASIC LIGHTING CONTROLS</p> <p>LIGHT SWITCH, +48" TO TOP OF BOX</p> <ul style="list-style-type: none"> D = DIMMER 3 = 3 WAY P = PILOT SWITCH os = LINE VOLTAGE OCCUPANCY SENSOR T = TIMER VS = VACANCY SENSOR <p>WALL MOUNT OCCUPANCY SENSOR (LINE VOLTAGE)</p> <p>TITLE 24 LIGHTING CONTROLS</p> <p>LIGHT SWITCH</p> <p>COMPONENTS OF DIMMING ROOM CONTROLLER</p> <ul style="list-style-type: none"> US = LOW VOLTAGE OCCUPANCY SENSOR (CAT 5 OR AS REQUIRED) DRC = DIMMING ROOM CONTROLLER PE = LOW VOLTAGE DIMMING PHOTOCELL (CAT 5 OR AS REQUIRED) D = LOW VOLTAGE DIMMER (CAT 5 OR AS REQUIRED) R = PLUG LOAD CONTROLLER ADR = AUTOMATIC DEMAND RESPONSE (FOR BUILDINGS OVER 10,000 SF) <p>NOTES:</p> <ol style="list-style-type: none"> FOR SUBMITTAL INCLUDE FACTORY CONTROL DRAWINGS. CONDUCT A CONTROLS PRE-CONSTRUCTION MEETING WITH CONTROLS STARTUP TEAM. PROVIDE AGENDA AND ATTENDEES AS A SUBMITTAL. INCLUDE DEVICE I.D. TAGS, PROGRAMMING, CABLE ROUTING, PROGRAM AND TIME SCHEDULES AND DATE OF PROGRAMMING AND TESTING. CONTRACTOR TO HAVE SYSTEM FACTORY SUPPORT FOR START UP, PROGRAMMING AND COMMISSIONING. VERIFY OPERATIONAL HOURS WITH OWNER PRIOR TO COMMISSIONING. 	<p>DRAFTING NOTATIONS</p> <p>KEY NOTE, SEE SCHEDULE</p> <p>EQUIPMENT TAG, SEE SCHEDULE</p> <p>REFERENCE TO A DETAIL VIEW "A" ON SHEET E-2</p> <p>NEW ELECTRICAL</p> <p>EXISTING ELECTRICAL OR DEMOLISHED WHERE NOTED</p> <p>EXISTING DEVICE, TO REMAIN IN OPERATION</p> <p>REMOVE DEVICE, KEEP REMAINDER OF CIRCUIT IN OPERATION</p> <p>REMOVE, RELOCATE AND RECONNECT DEVICE ON EXISTING CIRCUIT, EXTEND CIRCUIT</p> <p>ONE LINE DIAGRAM</p> <p>BUS / SWITCHBOARD</p> <p>PANEL</p> <p>GROUND</p> <p>METER</p> <p>CURRENT TRANSFORMER</p> <p>POTENTIAL TRANSFORMER</p> <p>DRY TYPE TRANSFORMER</p> <p>MOTOR</p>
---	---

MOUNTING HEIGHTS

ELECTRICAL LEGEND

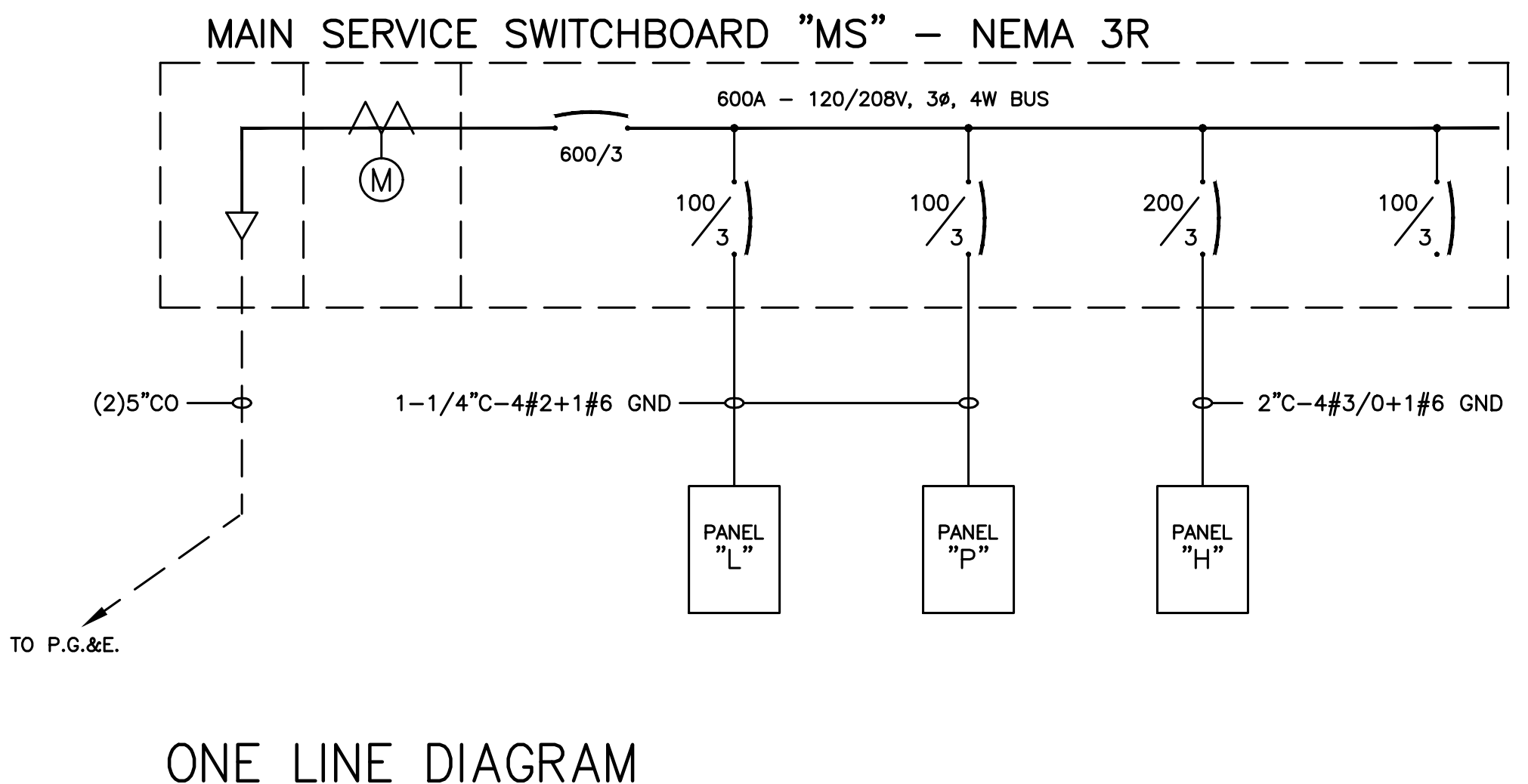
<p>DRAFTING NOTATIONS</p> <p>KEY NOTE, SEE SCHEDULE</p> <p>EQUIPMENT TAG, SEE SCHEDULE</p> <p>REFERENCE TO A DETAIL VIEW "A" ON SHEET E-2</p> <p>NEW ELECTRICAL</p> <p>EXISTING ELECTRICAL OR DEMOLISHED WHERE NOTED</p> <p>EXISTING DEVICE, TO REMAIN IN OPERATION</p> <p>REMOVE DEVICE, KEEP REMAINDER OF CIRCUIT IN OPERATION</p> <p>REMOVE, RELOCATE AND RECONNECT DEVICE ON EXISTING CIRCUIT, EXTEND CIRCUIT</p> <p>ONE LINE DIAGRAM</p> <p>BUS / SWITCHBOARD</p> <p>PANEL</p> <p>GROUND</p> <p>METER</p> <p>CURRENT TRANSFORMER</p> <p>POTENTIAL TRANSFORMER</p> <p>DRY TYPE TRANSFORMER</p> <p>MOTOR</p>	<p>CIRCUIT BREAKER 50 AMP RATED, 3 POLE</p> <p>GFI = GROUND FAULT INTERRUPTER</p> <p>AFCI = ARC FAULT CIRCUIT INTERRUPTER</p> <p>DISCONNECT, RATED TO POWER SOURCE VOLTAGE AND AMPERAGE RATING FOR FUSE OR AS NOTED</p> <p>FUSE, SIZE = 60 AMPS</p>
---	---

PANEL "P"

LOCATION : -	TITLE 24 CATEGORY: OUTLETS				
TOTAL KVA : -	CONNECT AMPS: -A				
MOUNTING : FLUSH - SURFACE	VOLTAGE : 120/208V, 3Ø, 4W				
BUSSING : 100A <input type="checkbox"/> MCB <input checked="" type="checkbox"/> MLO	FEEDER : <input checked="" type="checkbox"/> SEE ONE LINE DIAGRAM				
AIC : 18,000	<input type="checkbox"/> EXISTING				
DESCRIPTION	LOAD	BRKR	BRKR	LOAD	DESCRIPTION
			1	2	
			3	4	
			5	6	
			7	8	
			9	10	
			11	12	
			13	14	
			15	16	
			17	18	
			19	20	
			21	22	
			23	24	
			25	26	
			27	28	
			29	30	
			31	32	
			33	34	
			35	36	
			37	38	
SPARE		20/1	39	40	SPARE
			41	42	
	7200	VA	TOTAL	6660	

PANEL "H"

LOCATION : -	TITLE 24 CATEGORY: HVAC				
TOTAL KVA : -	CONNECT AMPS: -A				
MOUNTING : FLUSH	VOLTAGE : 120/208V, 3Ø, 4W				
BUSSING : 200A <input type="checkbox"/> MCB <input checked="" type="checkbox"/> MLO	FEEDER : <input checked="" type="checkbox"/> SEE ONE LINE DIAGRAM				
AIC : 18,000	<input type="checkbox"/> EXISTING				
DESCRIPTION	LOAD	BRKR	BRKR	LOAD	DESCRIPTION
			1	2	
			3	4	
			5	6	
			7	8	
			9	10	
			11	12	
			13	14	
			15	16	
			17	18	
			19	20	
			21	22	
			23	24	
			25	26	
			27	28	
			29	30	
			31	32	
			33	34	
			35	36	
			37	38	
SPARE		20/1	39	40	SPARE
			41	42	
	-	VA	TOTAL	-	

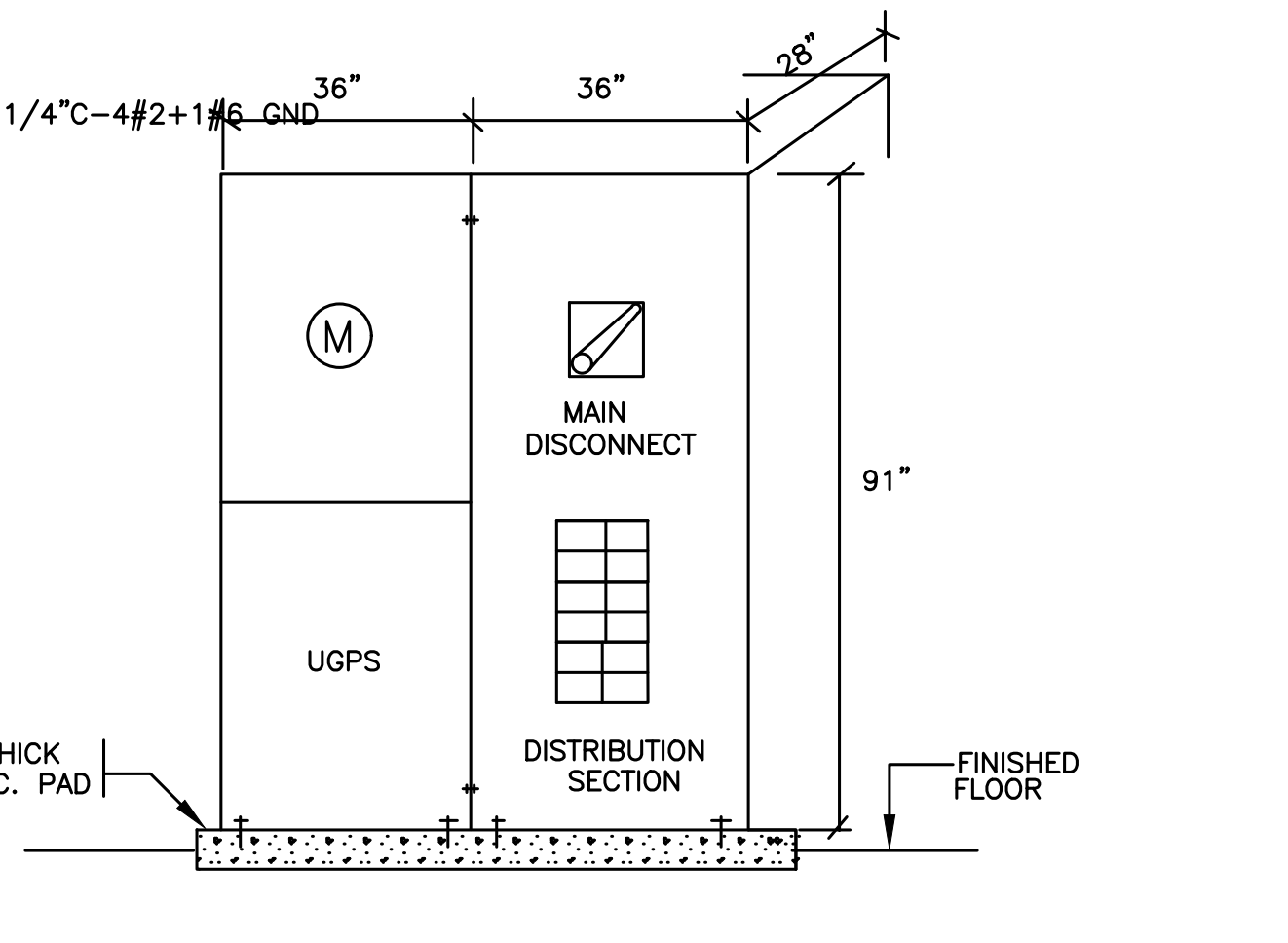


ARC FLASH LABELING REQUIREMENT:
PROVIDE THE FOLLOWING LABEL AS A MINIMUM FOR COMPLIANCE WITH NFPA AND NEC ON THIS PROJECT

⚠ DANGER
ARC FLASH AND SHOCK HAZARD
FOLLOW ALL REQUIREMENTS IN NFPA 70E FOR SAFE WORK PRACTICES AND FOR PERSONAL PROTECTIVE EQUIPMENT

LOAD CALCULATIONS

13W PER SQ FT	
TOTAL SQ FT =	12,244
TOTAL =	159,172 VA
TOTAL =	442.1 A



MAIN SERVICE SWITCHBOARD "MS"

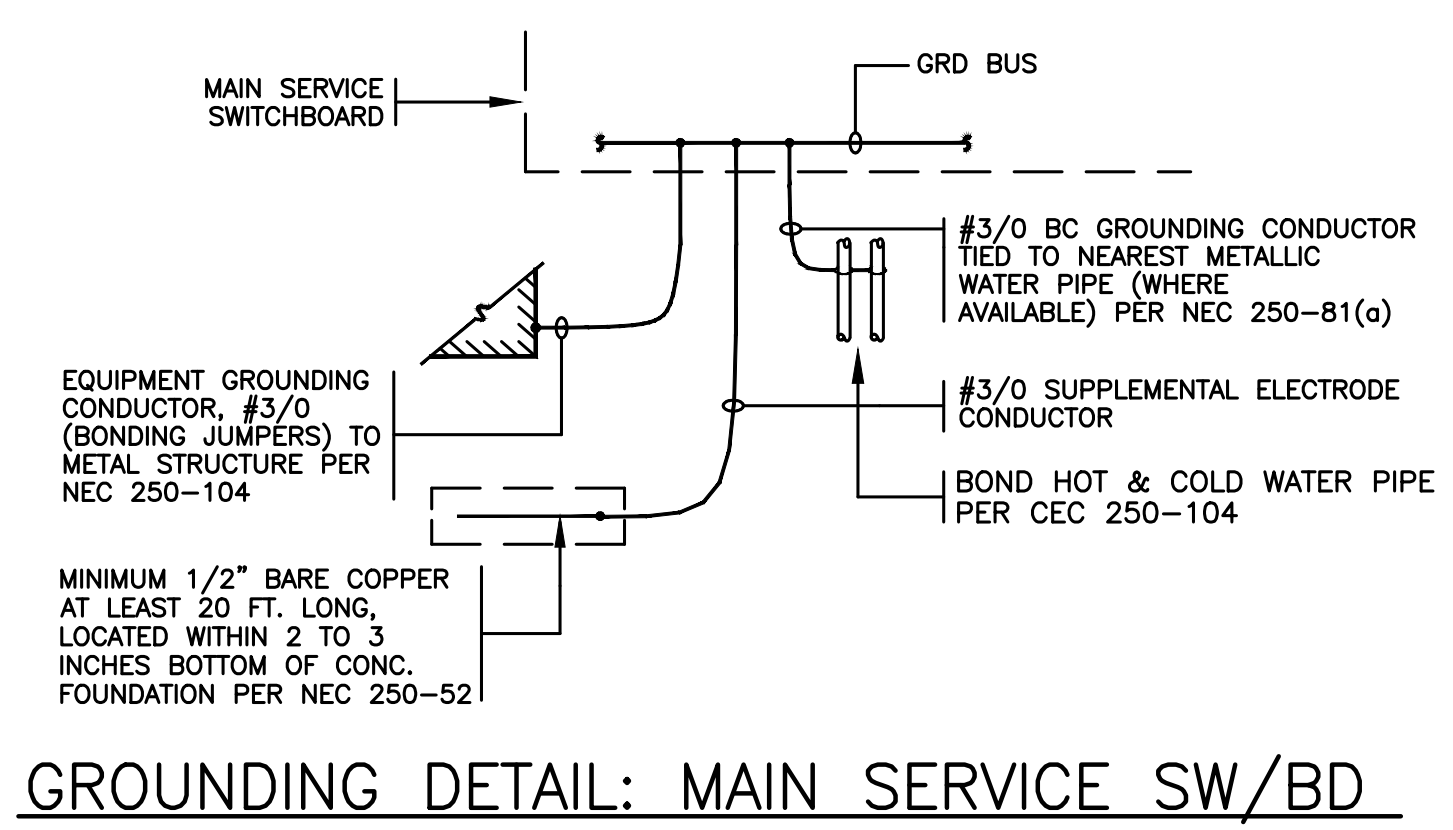
- NOTES: MAIN SERVICE SWITCHBOARD**
- ALL DIMENSIONS ARE NOMINAL.
 - THE COMPLETE SWITCHBOARD SHALL HAVE A SYMMETRICAL SHORT CIRCUIT RATING EQUAL TO OR GREATER THAN THAT AVAILABLE FROM THE UTILITY COMPANY.
 - MINIMUM INTEGRAL A.I.C. RATING OF SWITCHBOARD AND FEEDER CIRCUIT BREAKERS TO BE 22,000 AMPS.
 - BOLT SECTIONS OF THE SWITCHBOARD TOGETHER WITH 1/2" BOLT AND NUTS AT 4 PLACES PER SECTION.
 - BOLT EACH SECTION OF SWITCHBOARD TO FLOOR WITH (4) 1/2"x3" ANCHOR BOLTS.

FITTURE SCHEDULE

TYPE	#LAMPS	W/LAMP	DESCRIPTION	MANUFACTURER'S NO.	LOAD
A	LED		PARKING AREA & STORAGE AREA LED	LITHONIA #EVT4-4000LM-FST-M-GZ10-40K-90CRI-DL-MS10NWL	33
S1	LED		SINGLE HEAD PARKING LOT LUMINAIRE	LITHONIA #DSX0-LED-P3-40K-TFTM-MVOLT	71
S2	LED		DOUBLE HEAD PARKING LOT LUMINAIRE	LITHONIA #DSX0-LED-P3-40K-TFTM-MVOLT	142
W1	LED		WEDGE ARCHITECTURAL WALL PACK	LITHONIA #WDGE2-LED-P3-40K-40CRI-VW-MVOLT-SRM	23
	-	-	COMBINATION EXIT SIGN/EGRESS LIGHT UNIT, 90 MIN BATTERY BACKUP	LITHONIA #LHQM LED R HO SD	-
	-	-	WALL MOUNT EMERGENCY EGRESS LIGHT UNIT, 90 MIN BATTERY BACKUP	LITHONIA #ELM2L	-
	-	-	REMOTE EMERGENCY EXTERIOR LIGHT POWERED BY	LITHONIA AFF OELR DWHGXD WT	-

PANEL "L"

LOCATION : -	TITLE 24 CATEGORY: LIGHTING				
TOTAL KVA : 1.3	CONNECT AMPS: 3.7A				
MOUNTING : FLUSH	VOLTAGE : 120/208V, 3Ø, 4W				
BUSSING : 100A <input type="checkbox"/> MCB <input checked="" type="checkbox"/> MLO	FEEDER : <input checked="" type="checkbox"/> SEE ONE LINE DIAGRAM				
AIC : 18,000	<input type="checkbox"/> EXISTING				
DESCRIPTION	LOAD	BRKR	BRKR	LOAD	DESCRIPTION
FRONT PARKING LTS	355	20/1	1	2	20/1 497 BACK PARKING LTS
EXTERIOR BUILDING	253	20/1	3	4	20/1 231 STORAGE LTS
			5	6	
			7	8	
			9	10	
			11	12	
			13	14	
			15	16	
			17	18	
			19	20	
			21	22	
			23	24	
			25	26	
			27	28	
			29	30	
			31	32	
			33	34	
SPARE		20/1	35	36	SPARE
			37	38	
			39	40	
			41	42	
	608	VA	TOTAL	728	



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ONE LINE DIAGRAM, PANEL SCHEDULES, LEGEND & ELECTRICAL DETAILS

01.04.21 | Design Review

PUBLISH HISTORY

DATE	REVISION/SET
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HCS Engineering
50 years

4512 Feather River Dr #F, Stockton, CA 95219
209-478-8270 | www.hcs-eng.com

Richard C. Smith, PE richard@hcs-eng.com
Dhruvendra Patel, PE dhruvendra@hcs-eng.com
Elizabeth Aguirre elizabeth@hcs-eng.com

No. E14303
Exp. 6-30-21

PROJECT = 2020.309



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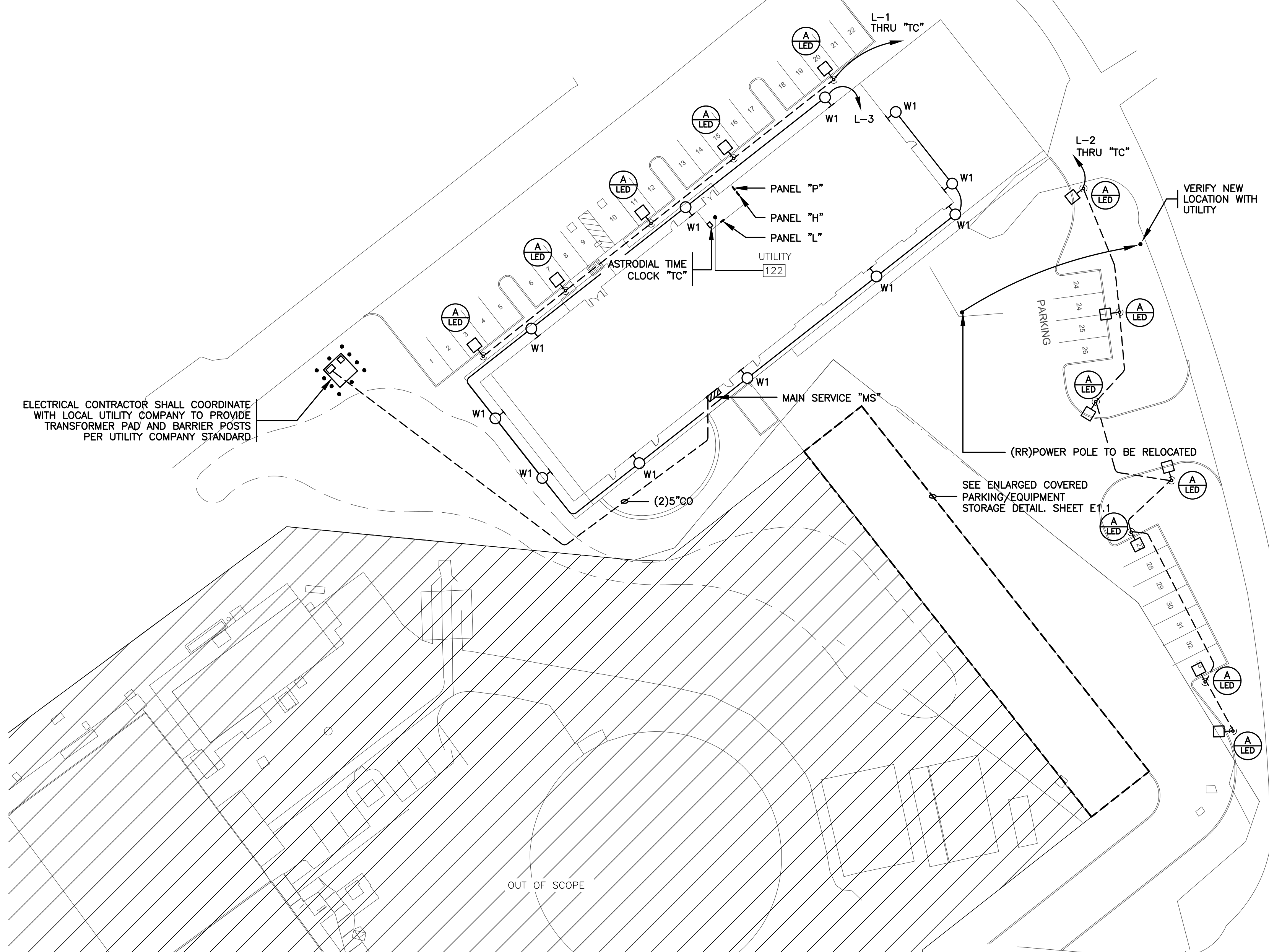
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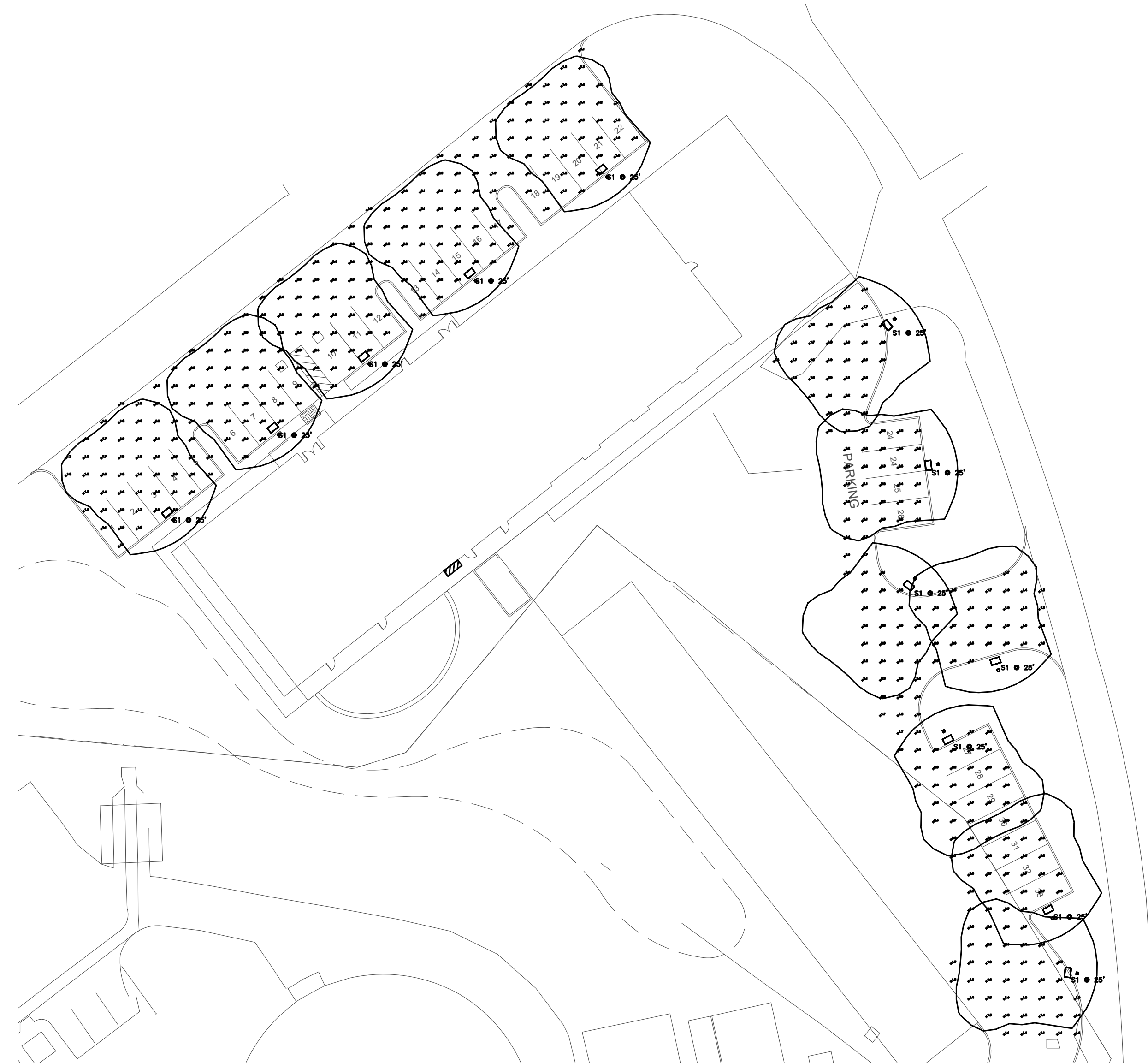
Diablo Water District Corporation Yard Office/Shop Building

3950 Main Street
Oakley, California

ELECTRICAL SITE PLAN



ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"
NORTH



PHOTOMETRIC STUDY
SCALE: 1"=30'-0"
NORTH

01.04.21 | Design Review

PUBLISH HISTORY

△ DATE REVISION/SET

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HCS Engineering
50 years

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Richard C. Smith, PE richard@hcs-eng.com
Chupendra Patel, PE chupendra@hcs-eng.com
Elizabeth Aguilar elizabeth@hcs-eng.com
PROJECT = 2020.309





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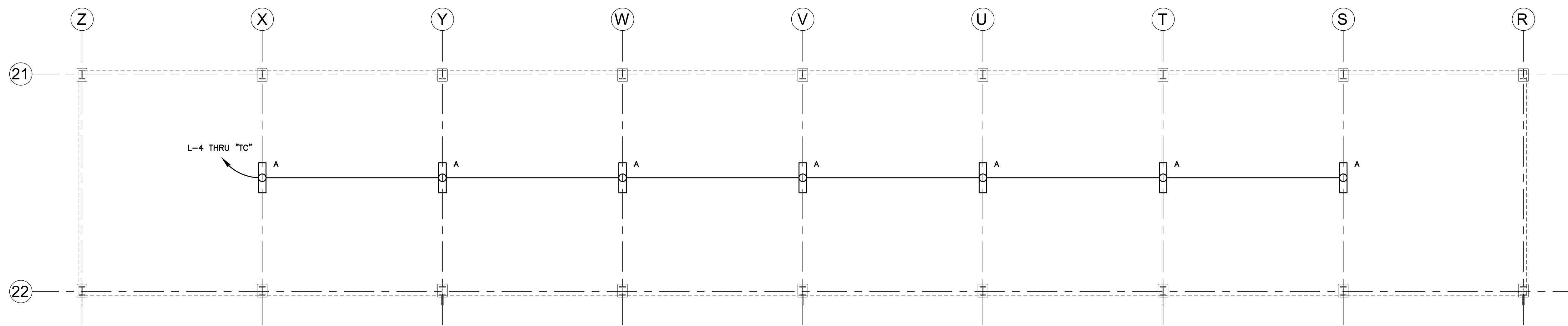
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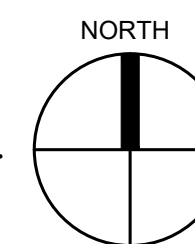
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COVERED PARKING ELECTRICAL PLAN



COVERED PARKING/EQUIPMENT STORAGE ELECTRICAL PLAN

SCALE: 1/8"=1'-0"



01.04.21 | Design Review

PUBLISH HISTORY

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E1.1

HCS.
Engineering
50 years

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PROJECT = 2020.309

