Diablo Water District Corporation Yard Office / Shop Building 3990 Main Street City of Oakley **Planning Department** February 9, 2021 Oakley, CA 94561 RECEIVED APN: 037-191-006 & -034

LIST OF SHEETS

- DR1 TITLE SHEET
- DR2 SITE DEMOLITION PLAN
- DR3 SITE IMPROVEMENT PLAN
- C1 PRELIMINARY GRADING AND DRAINAGE PLAN
- C2 STORM WATER CONTROL PLAN
- L1.0 PRELIMINARY PLANTING PLAN
- A2.1 FLOOR PLAN SOUTH
- A2.2 FLOOR PLAN NORTH
- A3.1 EXTERIOR ELEVATIONS AND SECTION A3.2 EXTERIOR MATERIALS AND PERSPECTIVES
- A7.1 ROOF PLAN SOUTH
- A7.2 ROOF PLAN NORTH
- A10.1 COVERED EQUIPMENT STORAGE
- E0.1 GENERAL NOTES

DWG.

DRAWING

- E0.2 ONE-LINE DIAGRAM, PANEL SCHEDULES, LEGEND, & ELECTRICAL DETAILS
- E1.0 ELECTRICAL SITE PLAN E1.1 COVERED PARKING ELECTRICAL PLAN

ABBREVIATIONS

			ADDREVIA		D	
@	AT	E.J.	EXPANSION JOINT	M.L.	METAL LATH	SPEC.
A.B.	ANCHOR BOLT	E.W.	EACH WAY	MAX.	MAXIMUM	SQ.
A.C.	AIR CONDITIONER	EA.	EACH	MFG.	MANUFACTURER	STD.
A.D.	AREA DRAIN	ELEV.	ELEVATION	MIN.	MINIMUM / MINUTE	STL.
A.F.F.	ABOVE FINISH FLOOR	EQ.	EQUAL	MTD.	MOUNTED	SUSP.
ABV.	ABOVE	EXIST. /	EXISTING			SW.
ACC.	ACCESSIBLE	(E)		(N)	NEW	
ACST.	ACOUSTIC	EXT.	EXTERIOR	N.I.C.	NOT IN CONTRACT	Т&В
ADJ.	ADJUSTABLE			N.T.S.	NOT TO SCALE	T & G
ALUM.	ALUMINUM	F.D.	FLOOR DRAIN	N/A	NOT APPLICABLE	T.O.
APPROX	. APPROXIMATE	F.E.	FIRE EXTINGUISHER	NO. / #	NUMBER	T.O.C.
		F.G.	FIBERGLASS / FINISH GRADE			T.O.P.
В.О.	BOTTOM OF	F.H.	FIRE HYDRANT	O.C.	ON CENTER	T.S.
B.P.	BUILDING PAPER	F.O.S.	FACE OF STUD	OPP.	OPPOSITE HAND	TEMP
B.U.	BUILT UP	FIN.	FINISH	ov/	OVER	TYP.
BD.	BOARD	FLR.	FLOOR	OZ.	OUNCE	
BLDG.	BUILDING	FT.	FOOT / FEET			U.B.C.
BLK.	BLOCK	FTG.	FOOTING	P.F.	PREFINISHED	U.O.N.
BLKG.	BLOCKING			P.O.C.	POINT OF CONNECTION	
BOTT.	ВОТТОМ	G.I.	GALVANIZED IRON	P.T.	PRESSURE TREATED	V.B.
BTWN.	BETWEEN	GA.	GAUGE	PL.	PLATE	V.I.F.
		GD.	GRADE	PLAS.	PLASTIC	V.T.R.
C.I.	CAST IRON	GL.	GLASS	PLY	PLYWOOD	VERT.
C.I.P.	CAST-IN-PLACE	GYP. BD.	GYPSUM BOARD	PR.	PAIR	
C.J.	CONTROL JOINT			PROP.	PROPERTY	W.
C.L.	CENTER LINE	H.M.	HOLLOW METAL	PSI	POUNDS PER SQUARE INCH	W.H.
CAB.	CABINET	HD.	HEAD			W.I.
CAT.	CATALOG	HDR.	HEADER	R.C.	RELATIVE COMPACTION	W.W.F
CBC	CALIFORNIA BUILDING CODE	HDWR.	HARDWARE	RDWD.	REDWOOD	w/
CLG.	CEILING	HORIZ.	HORIZONTAL	REINF.	REINFORCED	w/o
CLR.	CLEAR	HR.	HOUR	REQ'D.	REQUIRED	WAINS
CMU	CONCRETE MASONRY UNIT	HT.	HEIGHT	RM.	ROOM	WD.
COL.	COLUMN					
COMP.	COMPACTED	INSUL.	INSULATION	S.C.	SOLID CORE	
CONC.	CONCRETE	INT.	INTERIOR	S.D.	STORM DRAIN	
CONT.	CONTINUOUS			S.F.	SQUARE FOOTAGE	
		JB.	JAMB	S.M.	SHEET METAL	
D.F.	DOUGLAS FIR / DRINKING	JT.	JOINT	S.P.	SINGLE PLY	
	FOUNTAIN			S.S.	SANITARY SEWER LINE /	
D.H.	DOUBLE HUNG	LAM.	LAMINATE		STANDING SEAM /	
D.S.	DOWNSPOUT	LAV.	LAVATORY		STAINLESS STEEL	
DBL.	DOUBLE	LT.	LIGHT	SCH.	SCHEDULE	
DIA.	DIAMETER	LTWT.	LIGHT WEIGHT	SECT.	SECTION	
DN.	DOWN			SIM.	SIMILAR	
				0	0111	

SL.

SILL

LIST OF CONSULTANTS

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OWNER PARCEL 037-191-006

DIABLO WATER DISTRICT 87 CAROL LANE OAKLEY, CA 94561 PHONE: 925.625.3798 EMAIL: dmuelrath@diablowater.org CONTACT: DAN MUELRATH

EC. SPECIFICATION SQUARE STANDARD STEEL P. SUSPENDED

SWITCH

TOP & BOTTOM TONGUE & GROOVE TOP OF TOP OF CURB TOP OF PAVING TUBE STEEL IP TEMPORARY TYPICAL

C. UNIFORM BUILDING CODE N. UNLESS OTHERWISE NOTED

> VAPOR BARRIER VERIFY IN FIELD VENT THROUGH ROOF VERTICAL

WIDE WATER HEATER WROUGHT IRON /.F. WOVEN WIRE FABRIC WITH WITHOUT NS. WAINSCOT WOOD



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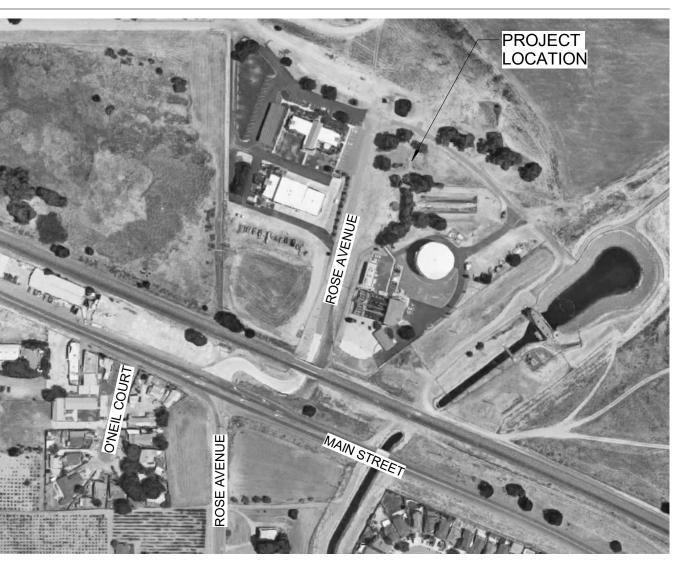
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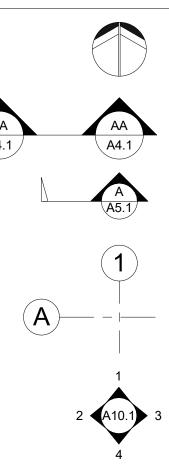
Diablo Water District **Corporation Yard** Office/Shop Building 3990 Main Street Oakley, California

VICINITY MAP



TITLE SHEET

01.04.21 DESIGN REVIEW



SYMBOLS

-	ELEVATION MARKER
A A6.1	DETAIL DESIGNATION
(00.00	NUMBERED NOTE
(P1)	FINISH DESIGNATION
	REVISION TO DRAWIN
Ę	CENTERLINE DESIGN

DETAIL DESIGNATION
NUMBERED NOTE
FINISH DESIGNATION
REVISION TO DRAWINGS
CENTERLINE DESIGNATION

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ROOM NAME ROOM NAME

AND NUMBER

ELEVATION MARKER

NORTH ARROW

BUILDING SECTION

WALL SECTION

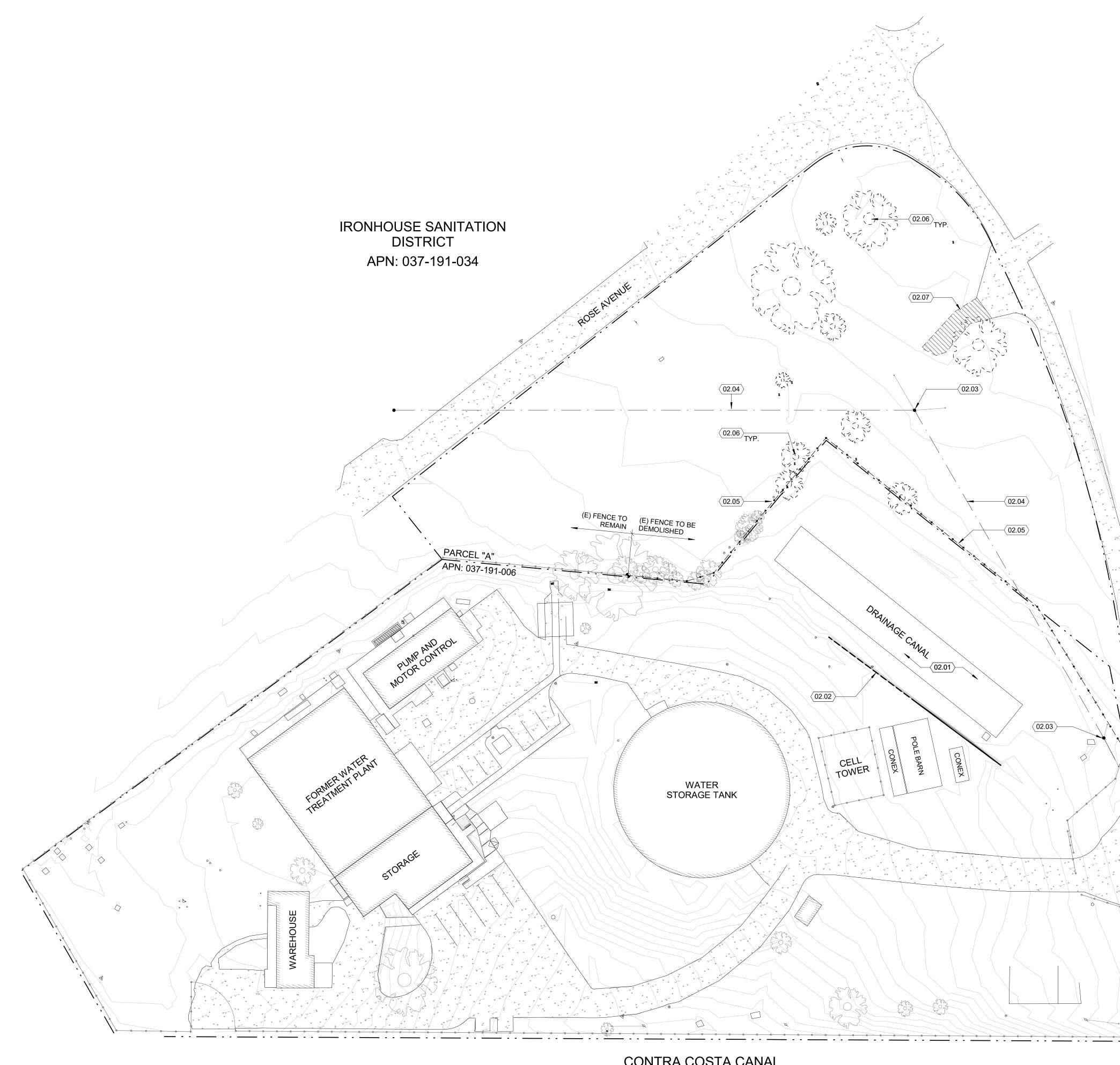
STRUCTURAL /

GRID LINE

INTERIOR

DR1

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CONTRA COSTA CANAL

KEYNOTES

- 02.01 (E) INFILTRATION BASINS TO BE INFILLED
- 02.02 PORTION OF (E) RETAINING WALL TO BE DEMOLISHED 02.03 (E) ELECTRICAL POLE TO BE RELOCATED BY PG&E
- 02.04 (E) OVERHEAD POWER LINES TO BE REROUTED BY PG&E
- 02.05 (E) CHAIN LINK FENCE TO BE REMOVED SHOWN DASHED 02.06 (E) TREES TO BE REMOVED SHOWN DASHED
- 02.07 (E) CONCRETE FLATWORK TO BE DEMOLISHED



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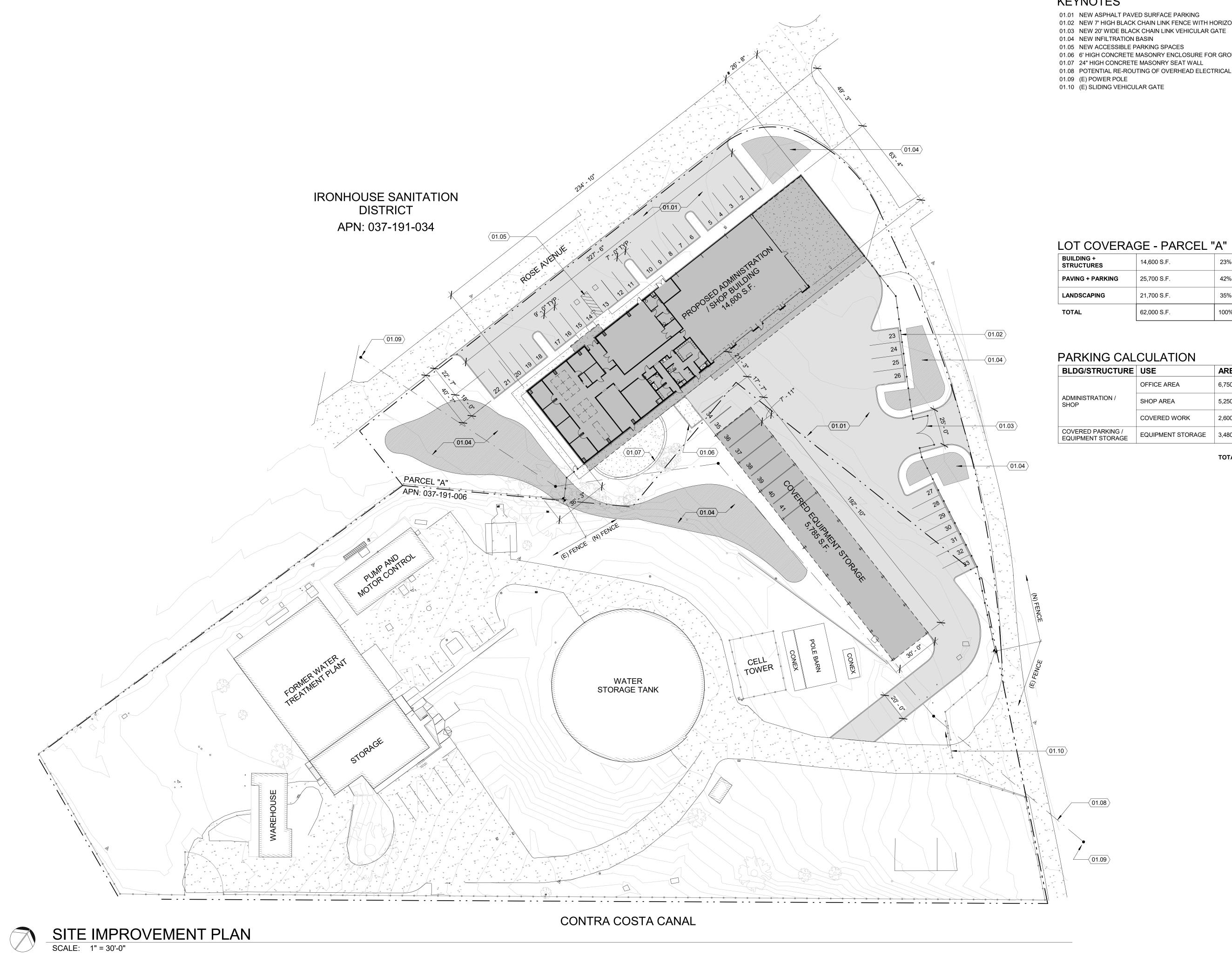
SITE DEMOLITION PLAN

01.04.21 DESIGN REVIEW

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KEYNOTES

01.01 NEW ASPHALT PAVED SURFACE PARKING

- 01.02 NEW 7' HIGH BLACK CHAIN LINK FENCE WITH HORIZONTAL RAZOR WIRE TOP
- 01.03 NEW 20' WIDE BLACK CHAIN LINK VEHICULAR GATE 01.04 NEW INFILTRATION BASIN
- 01.05 NEW ACCESSIBLE PARKING SPACES
- 01.06 6' HIGH CONCRETE MASONRY ENCLOSURE FOR GROUND-MOUNTED CONDENSING UNIT
- 01.07 24" HIGH CONCRETE MASONRY SEAT WALL 01.08 POTENTIAL RE-ROUTING OF OVERHEAD ELECTRICAL LINES BY PG&E
- 01.09 (E) POWER POLE 01.10 (E) SLIDING VEHICULAR GATE



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14,600 S.F. 23% OF TOTAL PAVING + PARKING 25,700 S.F. 42% OF TOTAL

	20,700 0.1 .	
LANDSCAPING	21,700 S.F.	35% OF TOTAL
TOTAL	62,000 S.F.	100% OF TOTAL

PARKING CALCULATION

BLDG/STRUCTURE	USE	AREA	SPACES REQ'D	
	OFFICE AREA	6,750 S.F.	27 SPACES	Diablo Water District - Corporation Yard
ADMINISTRATION / SHOP	SHOP AREA	5,250 S.F.	5.3 SPACES	Office/Shop Building
	COVERED WORK	2,600 S.F.	2.6 SPACES	3990 Main Street Oakley, California
COVERED PARKING / EQUIPMENT STORAGE	EQUIPMENT STORAGE	3,480 S.F.	3.5 SPACES	
		TOTAL	38 SPACES REQ'D	

41 SPACES PROVIDED

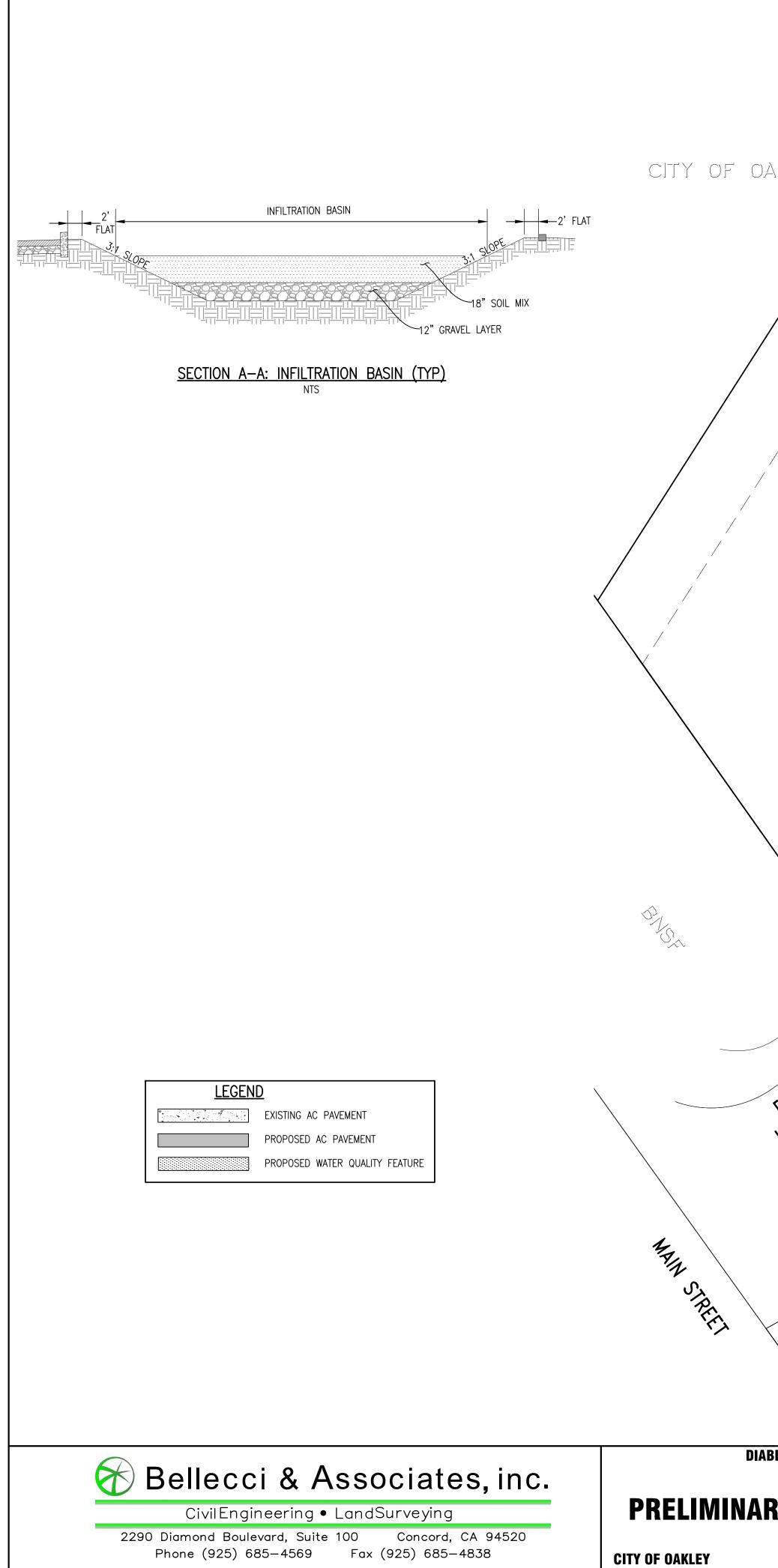


01.04.21 DESIGN REVIEW

SITE IMPROVEMENT PLAN

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CONTRA COSTA CO	UNTY	CALIFORN	IIA NO.	REVISIONS	BY	APP [
RY GRADING & DR						
BLO WATER DISTRICT ADMINISTRA	TION & SHOP BUILDINGS	S				
	25,5		f the for			CONT
Uu.						
ROSE AVENUE UNDER CROSSING	~5	OFFICE BUILDING				
	\$ 25			OPERATI MAINTEN BUILDING	ONS AND ANCE	
		EXISTING	G WATER TANK			ISTING WATER STORAGE
					APN: 037	WD 7—191
			WARHOUST			
				<u>TC 16.85</u> FL 16.35 <u>TC 16.85</u> FL 16.35		
			2054		Frid PROP	
				TC 17.10 FL 16.60	$\frac{10^{-17.00}}{FL}$	LAL ADMINISTRA
		37—191—03			P 16.25×	10 10 10 11 10 10 10 11 10 10 11
	IRONHOUSE (SANITARY I	DISTRICT			IC 15.90 FL 15.40
AKLEY						
/	/					



Project Name: 20034_DWD Corp Yard LLA Project Type: Treatment Only APN: 037-191-006-8 Drainage Area: 158,471 Mean Annual Precipitation: 11.5

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA3	1,210.0
DMA6	2,562.0
DMA10	154.0
DMA13	359.0
DMA14	293.0
DMA17	103.0
DMA18	103.0
DMA19	103.0
DMA20	359.0
DMA21	5,117.0
DMA22	3,310.0
DMA23	2,842.0

IV. Areas Draining to IMPs

IMP Name: IMP1 IMP Type: Bioretention Facility Soil Group: IMP1

 DMA Name
 Area (sq ft)
 Post Project
 DMA Runoff
 DMA Area x

 Surface Type
 Factor
 Runoff Factor
 IMP Sizing

		Surface Type	Factor	Runoff Factor	IMP Sizing			
DMA1	8,745	Concrete or Asphalt	1.00	8,745	IMP Sizing Factor	Rain Adjustment	Minimum Area or	Proposed Area or
DMA2	2,850	Conventional Roof	1.00	2,850		Factor	Volume	Volume
			Total	11,595				
				Area	0.040	1.000	464	618

IMP Name: IMP2 IMP Type: Bioretention Facility

Soil Group: IMP2

 DMA Name
 Area (sq ft)
 Post Project
 DMA Runoff
 DMA Area x

 Surface Type
 Factor
 Runoff Factor
 IMP Sizing

Asphalt Factor Adjustment Area or Area			Surface Type	I actor	Number 1 actor				
DMA5 2850 Conventional 100 2850 Adjustment Area of Area	DMA4	12,811		1.00	12,811	U U U U U U U U U U U U U U U U U U U		-	Proposed Area or
	DMA5	2,850	Conventional	1.00	2,850	T dotor	Aujustinent	Alcaol	Area or

		Roof			Factor	Volume	Volume
DMA7	8,480	Conventional Roof	1.00	8,480			
DMA8	200	Conventional Roof	1.00	200			
DMA9	1,052	Concrete or Asphalt	1.00	1,052			
DMA11	167	Concrete or Asphalt	1.00	167			
· · · · ·			Total	25,560			

Area

1,071

1,022

1.000

0.040

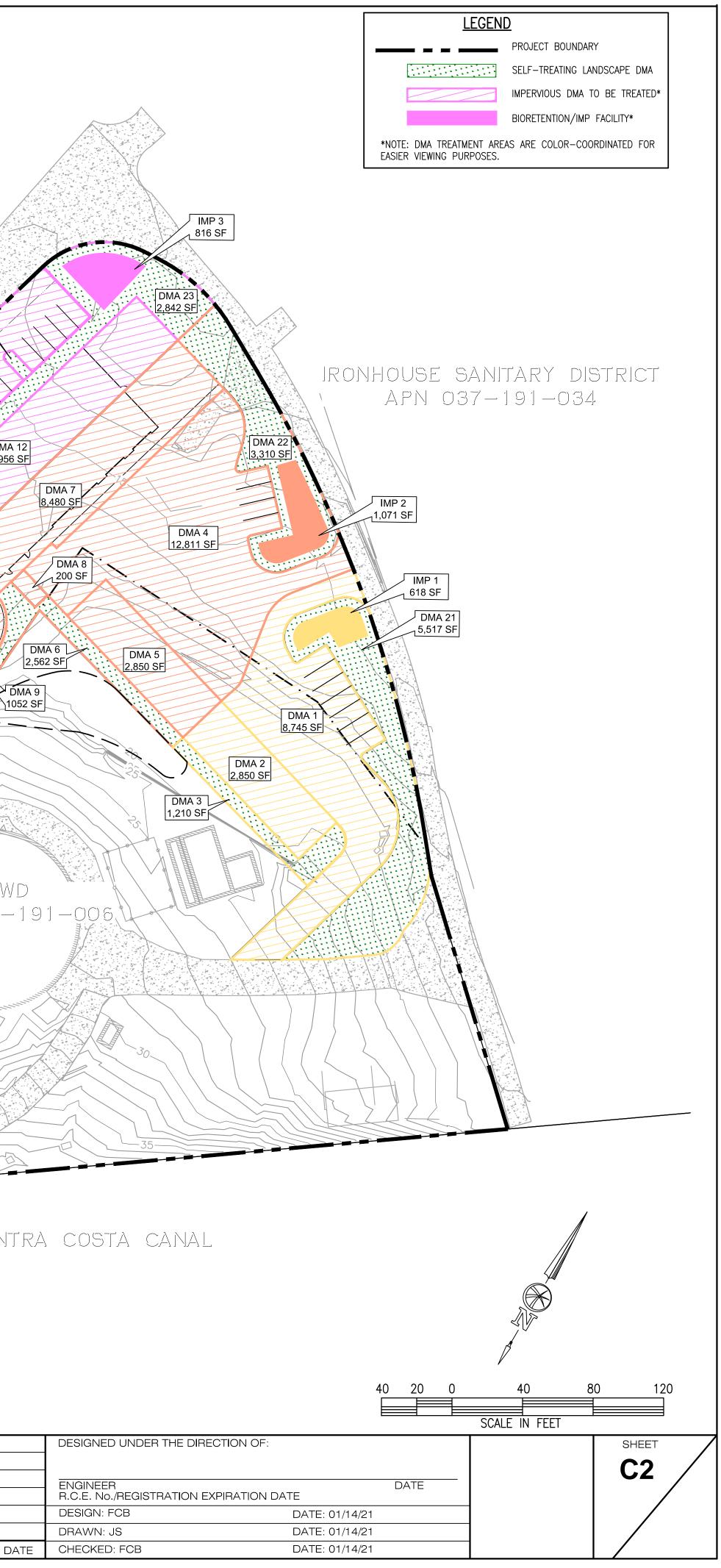
IMP Name: IMP3 IMP Type: Bioretention Facility Soil Group: IMP3

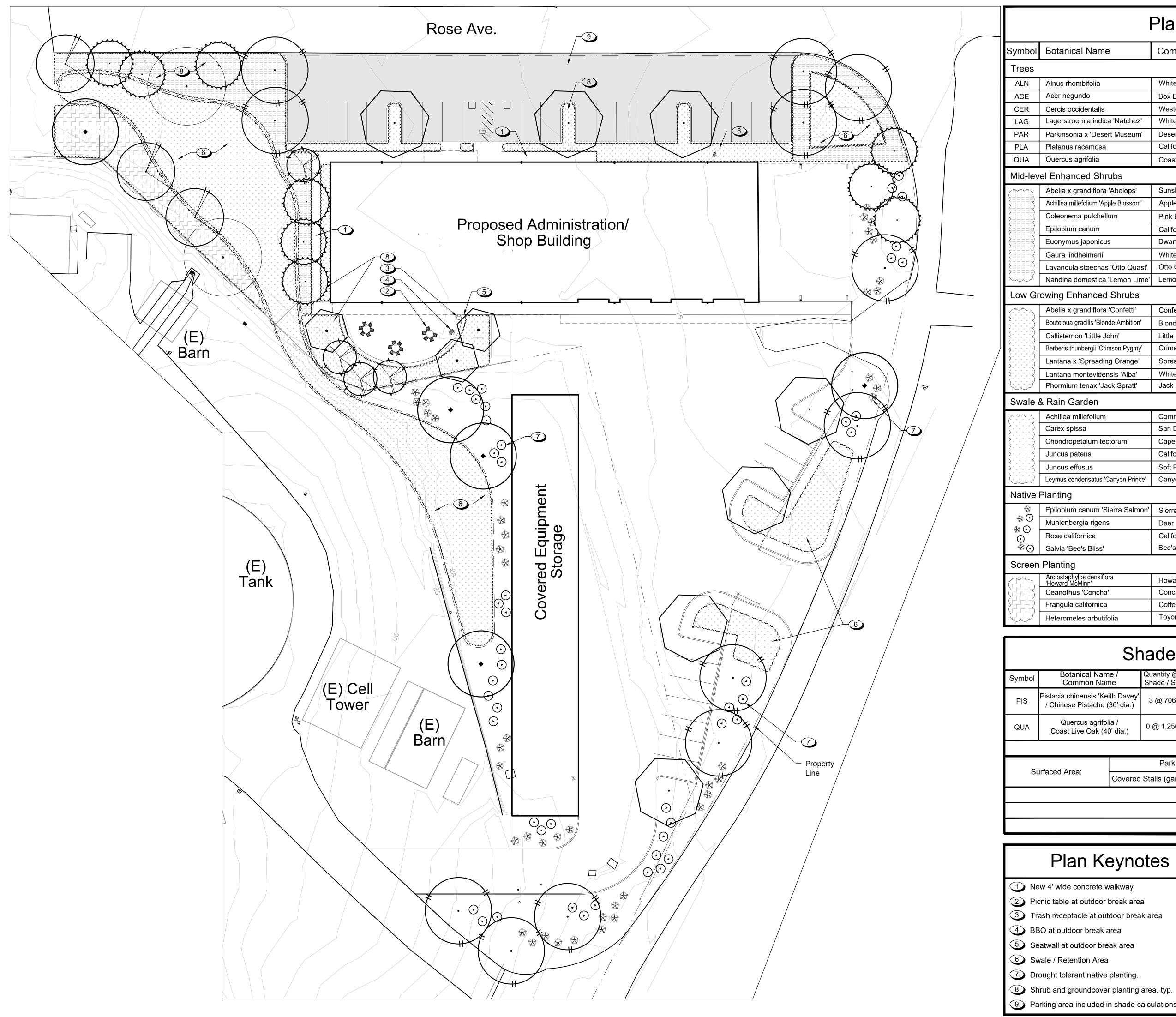
DMA Name	Area (sq ft)	Post Project	DMA Runoff	DMA Area x				
		Surface Type	Factor	Runoff Factor	IMP Sizing			
DMA12	7,956	Conventional Roof	1.00	7,956	IMP Sizing Factor	Rain Adjustment	Minimum Area or	Proposed Area or
DMA15	963	Concrete or Asphalt	1.00	963		Factor	Volume	Volume
DMA16	8,510	Concrete or Asphalt	1.00	8,510				
			Total	17,429				
				Area	0.040	1.000	697	816

Report generated on 1/14/2021 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



			/3
			DMA 17 103 SF
	IRONHOUSE SANITARY DIS Apn 037—191—034		DMA 18 103 SF DMA 16 8,510 SF
		DMA 19 103 SF	DM, 7,95
		IU	DMA 20 359 SF
		POST DMA 15 963 SF	DMA 13 359 SF
		DMA 15 963 SF DMA 14 293 SF	
			DMA 11 167 SF
\backslash			
			DW
			APN 037-
ROSE AVENUE UNDER CROSSING			
ROSE CAL			
	25	<u>17111</u>	RO RO SITE DU TEU EI GIOL
BLO WATER DISTRICT ADMINISTRATI	ON & SHOP BUILDINGS		
M WATER CONTRO	L PLAN EXHIBIT		
CONTRA COSTA COUI	ITY CALIFORNIA	NO. REVISIONS	BY APP C





	Plant Legend			\ \ / - 1
nical Name	Common Name	Size	Remarks	Wat. Use
rhombifolia	White Alder	24" Box	-	L
negundo	Box Elder	24" Box	-	М
s occidentalis	Western Redbud	15 gal.	Multi-stem	VL
stroemia indica 'Natchez'	White Crape Myrtle	15 gal.	-	L
nsonia x 'Desert Museum'	Desert Museum Palo Verde	15 gal.	-	VL
nus racemosa	California Sycamore	24" Box	-	М
cus agrifolia	Coast Live Oak	24" Box	-	VL
nanced Shrubs				
a x grandiflora 'Abelops'	Sunshine Daydream Abelia	5 gal.	_	М
a millefolium 'Apple Blossom'	Apple Blossom Common Yarrow	5 gal.		L
nema pulchellum	Pink Breath of Heaven	5 gal.	-	M
bium canum	California Fuchsia	1 gal.	-	L
/mus japonicus	Dwarf Japanese Euonymus	1 gal.	-	
a lindheimerii	White Guara	1 gal.	-	М
dula stoechas 'Otto Quast'	Otto Quast Spanish Lavender	1 gal.	-	L
ina domestica 'Lemon Lime'	Lemon Lime Heavenly Bamboo	1 gal.	-	L
Enhanced Shrubs		1		
a x grandiflora 'Confetti'	Confetti Glossy Abelia	5 gal.	-	М
oua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	1 gal.	-	L
temon 'Little John'	Little John Bottlebrush	5 gal.	-	L
is thunbergii 'Crimson Pygmy'	Crimson Pygmy Dwarf Japanese Barberry	5 gal.	-	М
na x 'Spreading Orange'	Spreading Orange Lantana	1 gal.	-	L
na montevidensis 'Alba'	White Trailing Lantana	1 gal.	-	L
nium tenax 'Jack Spratt'	Jack Spratt New Zealand Flax	5 gal.	-	L
n Garden		•		
ea millefolium	Common Yarrow	1 gal.	Upland Zone	L
spissa	San Diego Sedge	5 gal.	Upland Zone	L
dropetalum tectorum	Cape Rush	1 gal.	Inundation Zone	L
is patens	California Gray Rush	1 gal.	Inundation Zone	М
is effusus	Soft Rush	1 gal.	Inundation Zone	М
s condensatus 'Canyon Prince'	Canyon Prince Wild Rye	5 gal.	Upland Zone	L
ng		-		-
pium canum 'Sierra Salmon'	Sierra Salmon California Fuchsia	5 gal.	-	L
enbergia rigens	Deer Grass	5 gal.	-	L
californica	California Wild Rose	5 gal.	-	L
a 'Bee's Bliss'	Bee's Bliss Sage	5 gal.	-	L
ing				
taphylos densiflora	Howard McMinn Manzanita	5 gal.	-	L
rdˈMćMinn' othus 'Concha'	Concha Ceanothus	5 gal.	-	L
ula californica	Coffeeberry	5 gal.	-	L
omeles arbutifolia	Toyon	5 gal.		VL



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uantity @ ¼ ade / Sq. Ft.	Total (Sq. Ft.)	01-22-21

Concept Plan

ATE REVISION/ SET

Botanical Name / Common Name Quantity @ FullQuantity @ $\frac{3}{4}$ Quantity @ $\frac{1}{2}$ Quantity @ $\frac{1}{2}$ Shade / Sq. Ft.Shade / Sq. Ft.Shade / Sq. Ft.Shade Pistacia chinensis 'Keith Davey 0 @ 354 SF 0 @ 177 SF 2,118 SF PUBLISH HISTORY 3 @ 706 SF 0 @ 530 SF / Chinese Pistache (30' dia.) Quercus agrifolia / Coast Live Oak (40' dia.) 0 @ 1,256 SF 0 @ 942 SF 4 @ 628 SF 0 @ 314 SF 2,512 SF TOTAL TREE SHADE 4,630 SF 8,849 SF Parking Lot Total Surfaced 8,849 SF Covered Stalls (garages, carports, etc.) Area = SHADE AREA REQUIRED (50%) = 4,425 SF TOTAL SHADE PROVIDED = 4,630 SF

Shade Calculations

80'

52%

Scale 1"=20'-0"



PERCENT SHADE =



39920



The HLA Group Landscape Architects & Planners, Inc. 301 University Avenue, Suite 110 Sacramento, California 95825 916.447.7400 www.hlagroup.com WMB PROJECT: 19-118

L1.0

- 8 Shrub and groundcover planting area, typ.
- 9 Parking area included in shade calculations.







FLOOR PLAN - SOUTH (OFFICE AREA) SCALE: 1/8" = 1'-0"



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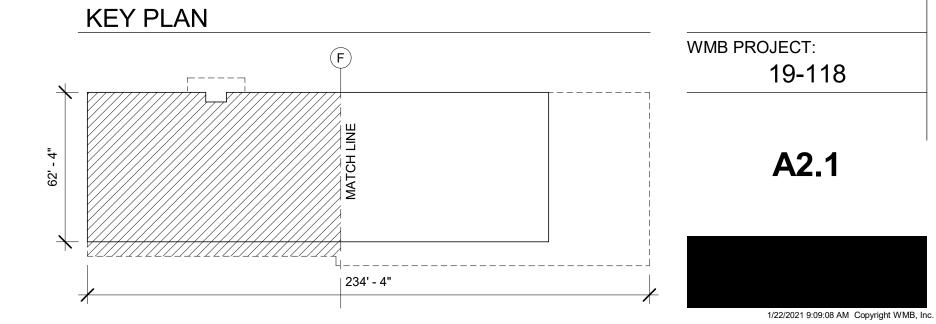
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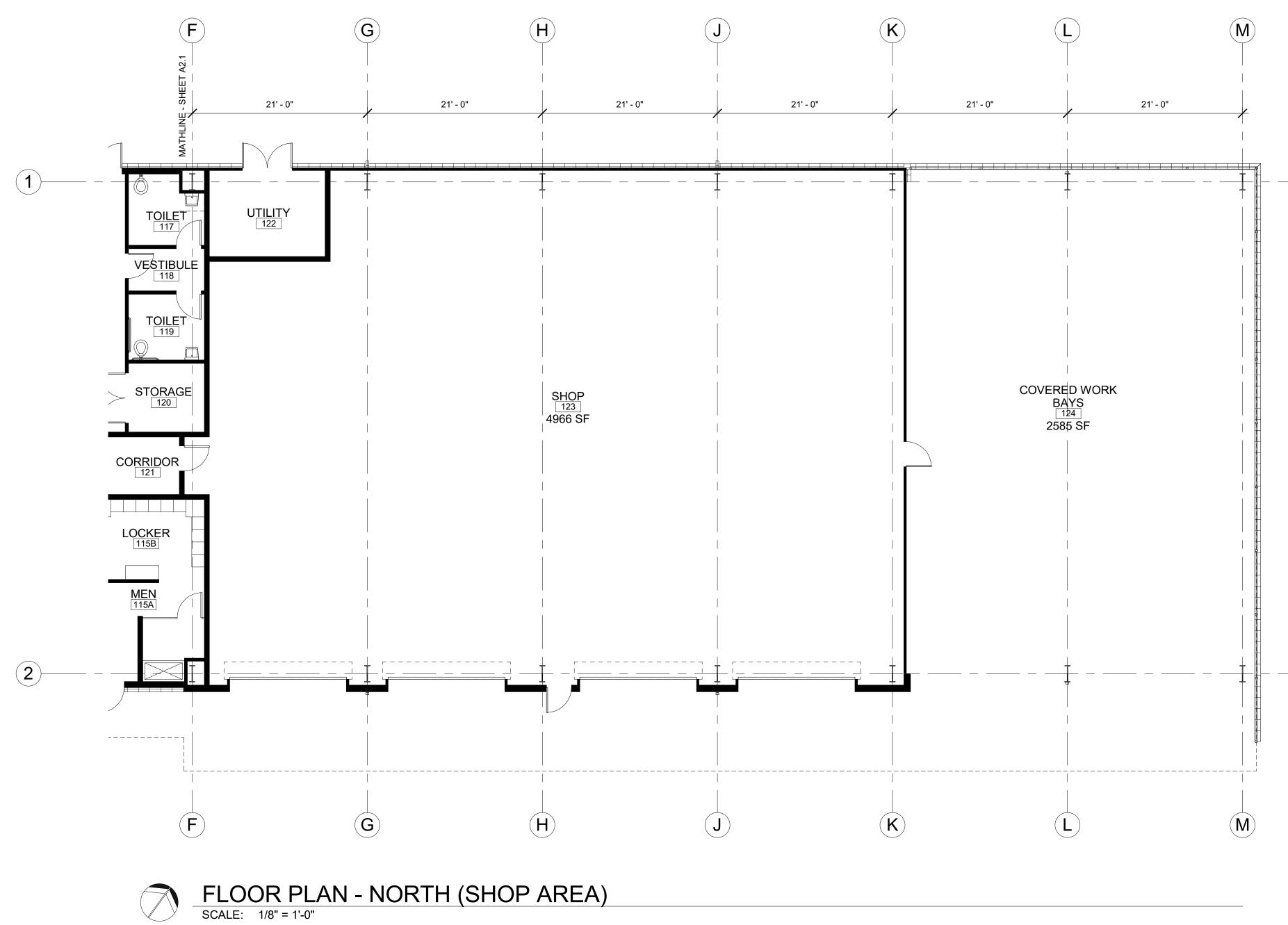
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FLOOR PLAN - SOUTH







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1

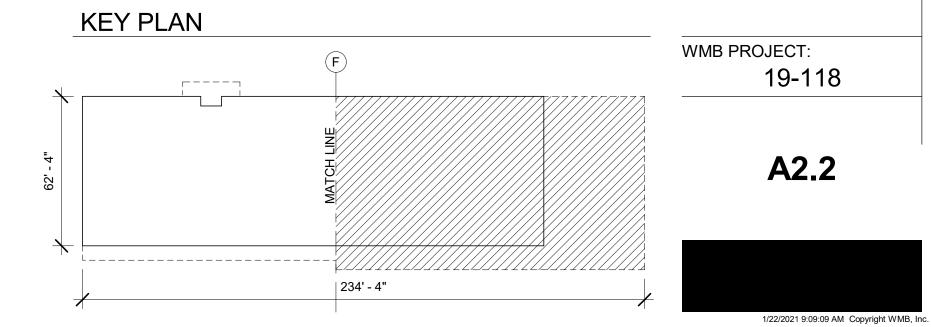
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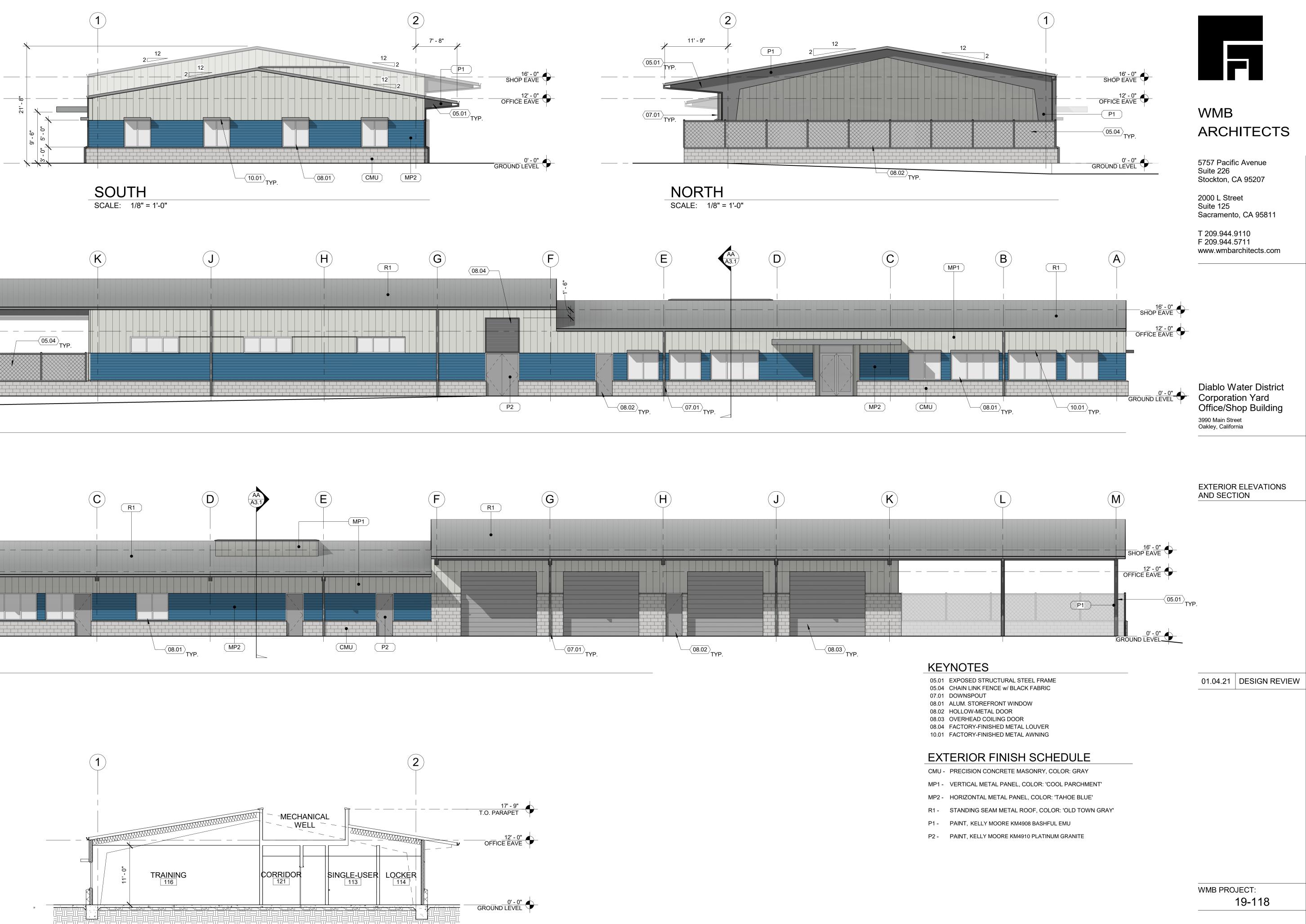
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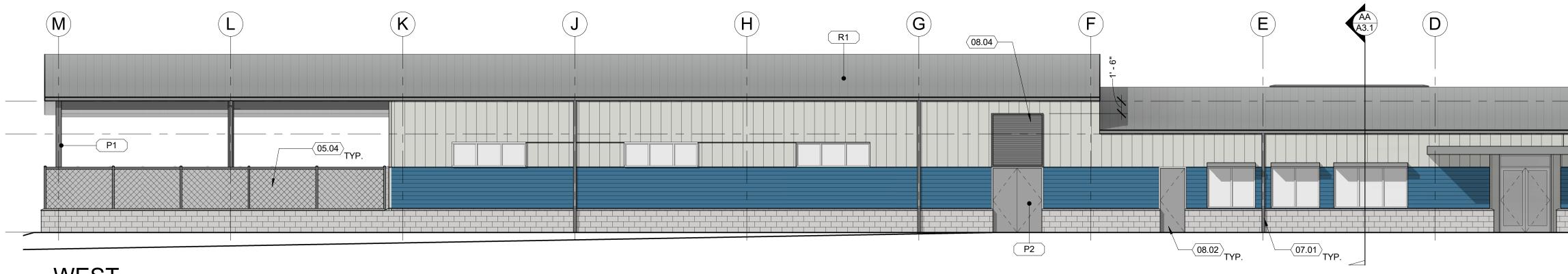
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FLOOR PLAN - NORTH

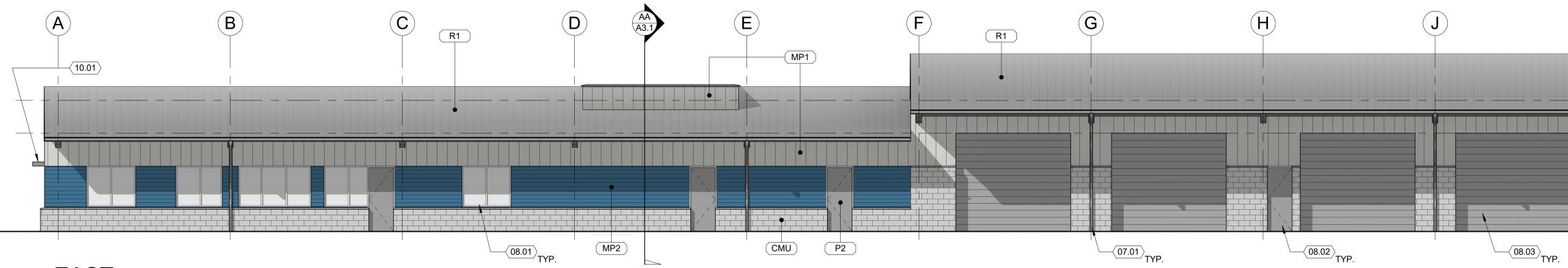




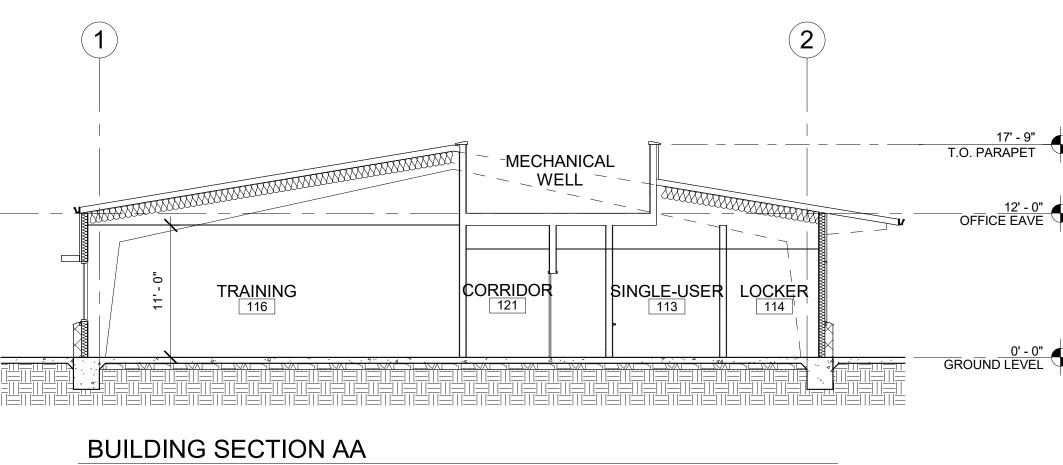


WEST

SCALE: 1/8" = 1'-0"







SCALE: 1/8" = 1'-0"







P2 - KELLY MOORE KM4910 PLATINUM GRANITE



CMU - CONCRETE BLOCK WAINSCOT w/ SILL

N





EXTERIOR MATERIAL PALETTE



MP1 - HORIZONTAL METAL PANEL, COLOR: 'TAHOE BLUE'



MP2 - VERTICAL METAL PANEL, COLOR 'COOL PARCHMENT'





R1 - STANDING SEAM METAL ROOF, COLOR: 'OLD TOWN GRAY'



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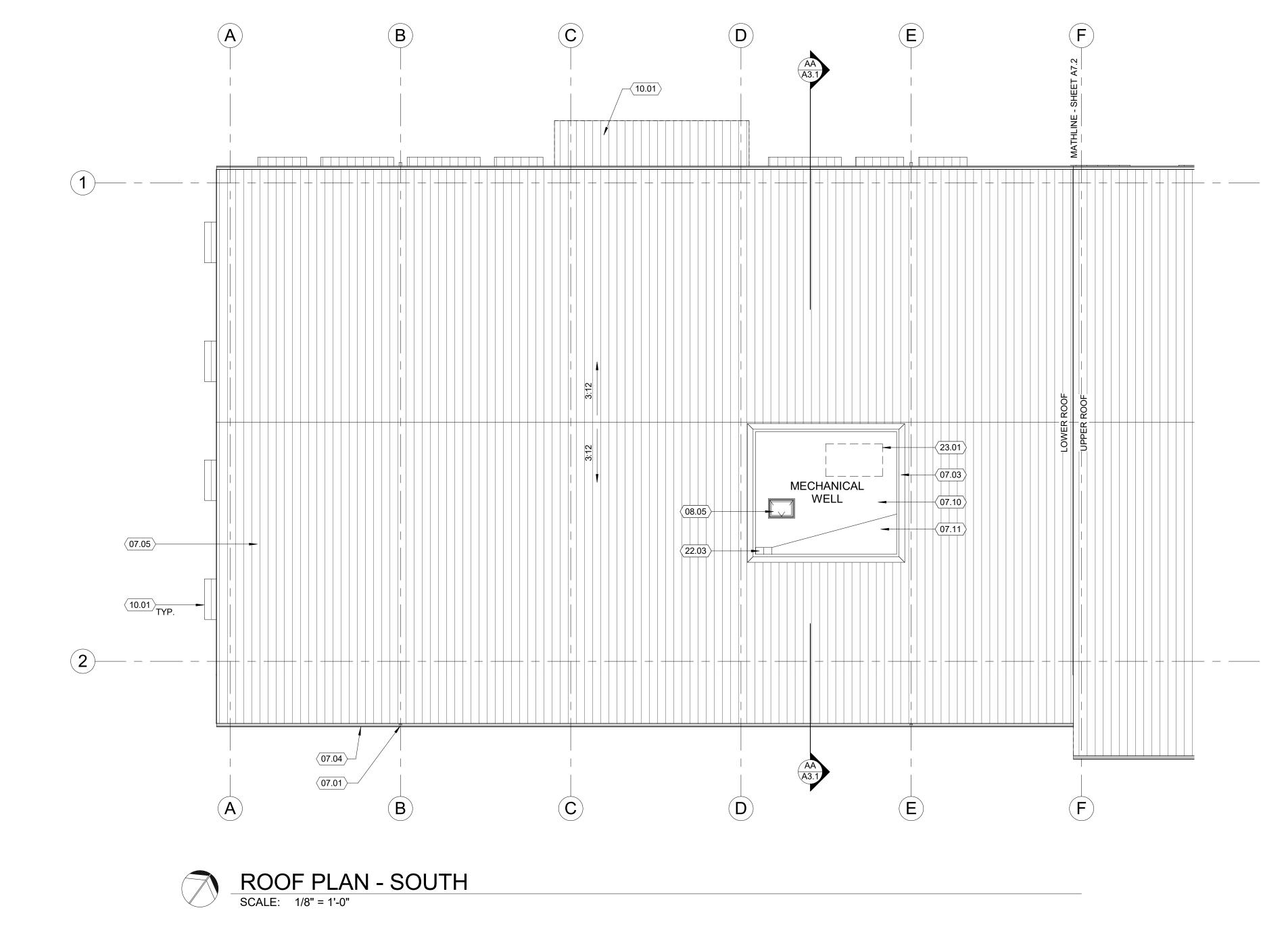
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EXTERIOR MATERIALS AND PERSPECTIVES

01.04.21 DESIGN REVIEW

WMB PROJECT: 19-118





KEYNOTES

07.01 DOWNSPOUT

07.03 PRE-FINISHED SHEET METAL PARAPET COPING 07.04 PRE-FINISHED SHEET METAL GUTTER

07.05 STANDING SEAM METAL ROOF

- 07.10 SINGLE PLY ROOFING MEMBRANE ov/ ROOF BD.07.11 CRICKET FORMED w/ TAPERED RIGID INSULATION
- 08.05 ROOF ACCESS HATCH
- 10.01 FACTORY-FINISHED METAL AWNING
- 22.03 ROOF DRAIN & OVERFLOW REF. PLUMBING DWGS.
- 23.01 ROOFTOP ENERGY RECOVERY UNIT



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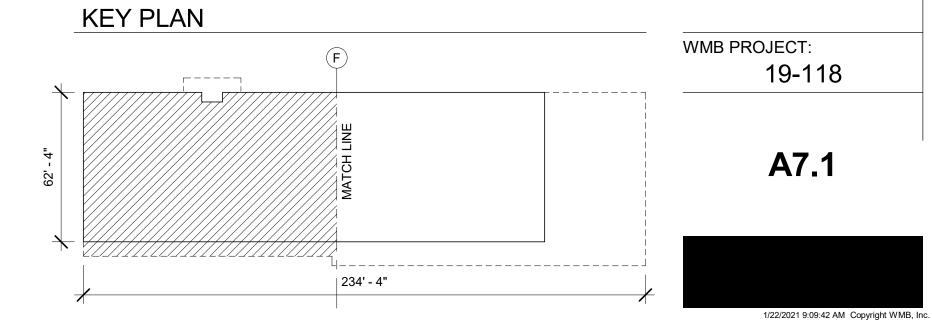
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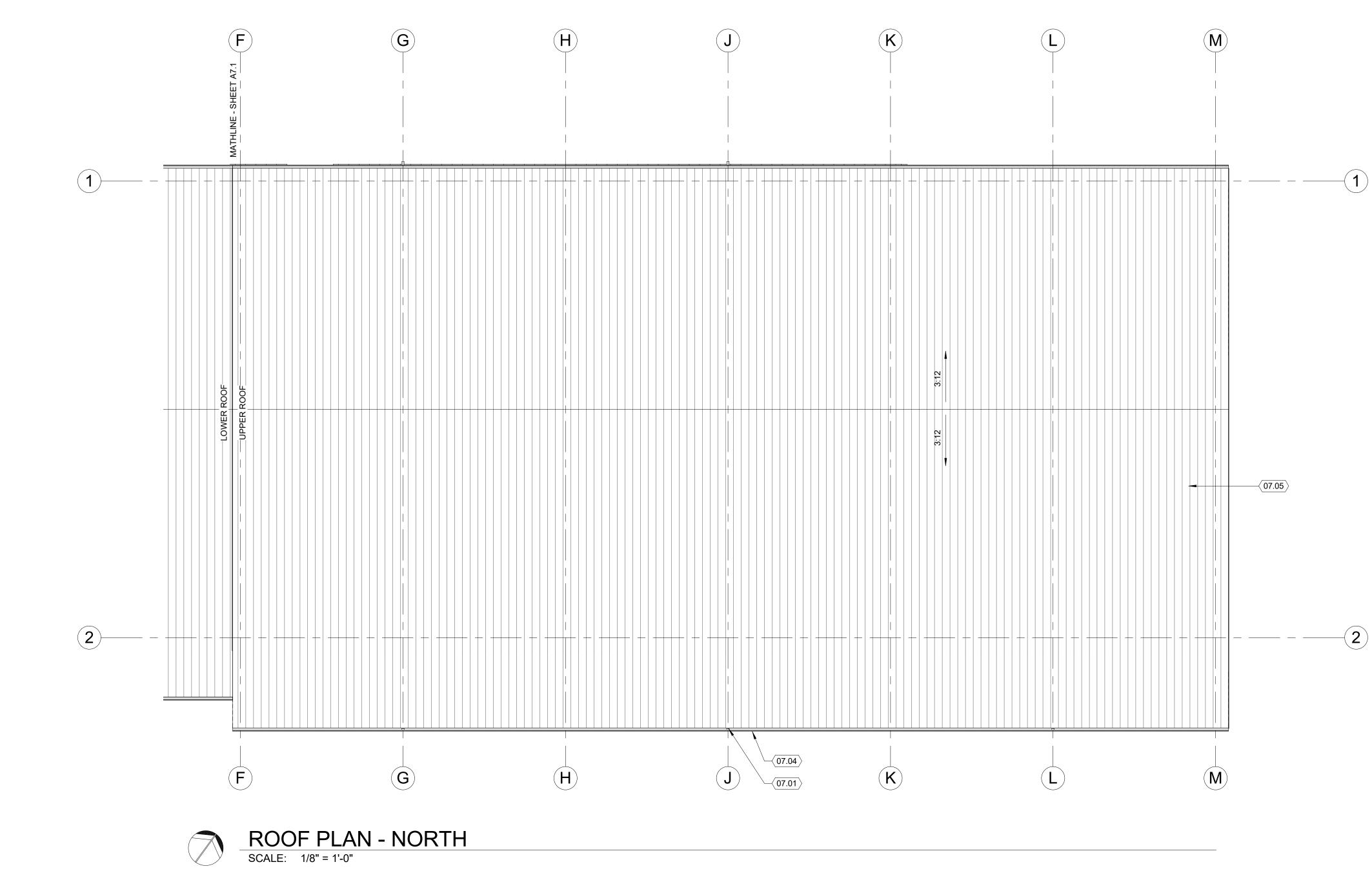
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ROOF PLAN - SOUTH





KEYNOTES

07.01 DOWNSPOUT07.04 PRE-FINISHED SHEET METAL GUTTER07.05 STANDING SEAM METAL ROOF



WMB ARCHITECTS

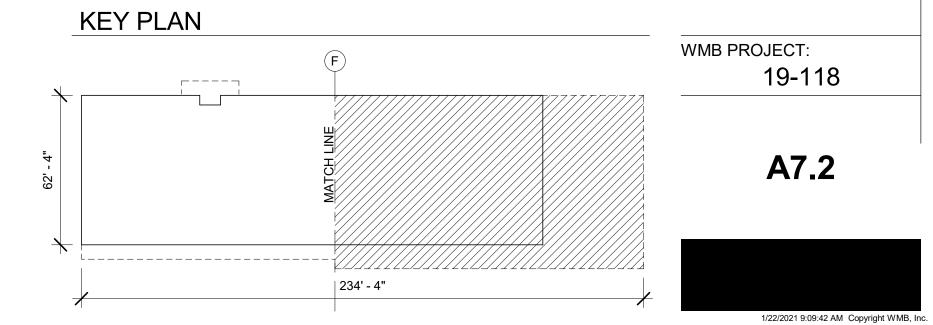
5757 Pacific Avenue Suite 226 Stockton, CA 95207

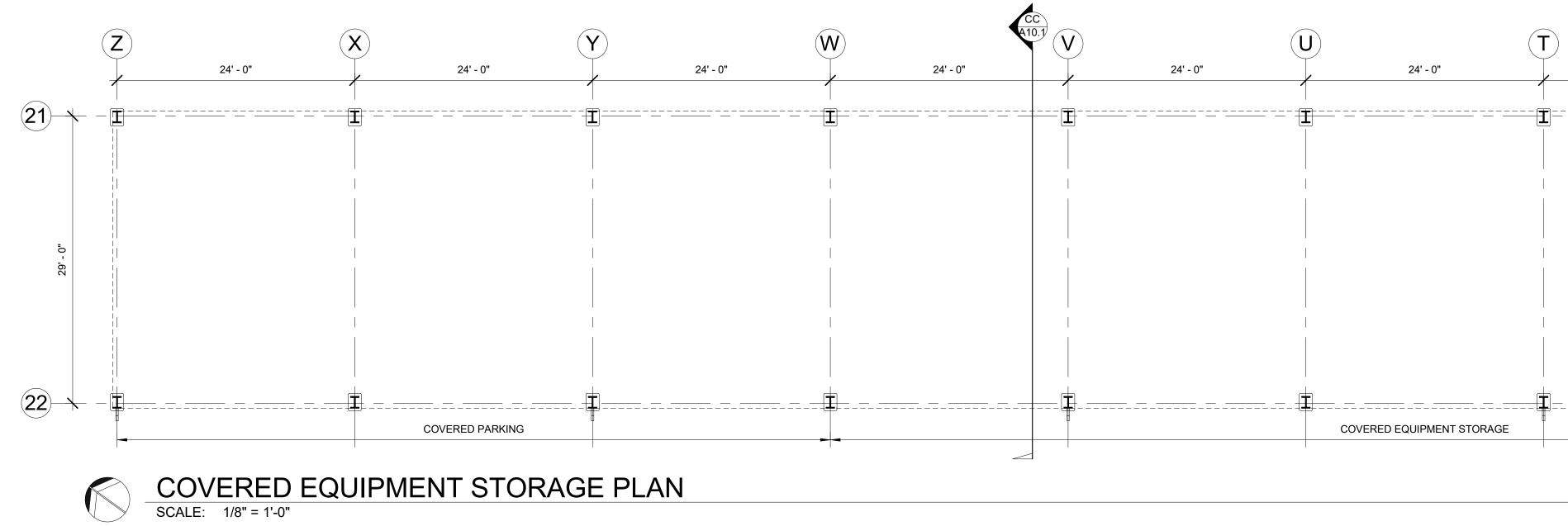
2000 L Street Suite 125 Sacramento, CA 95811

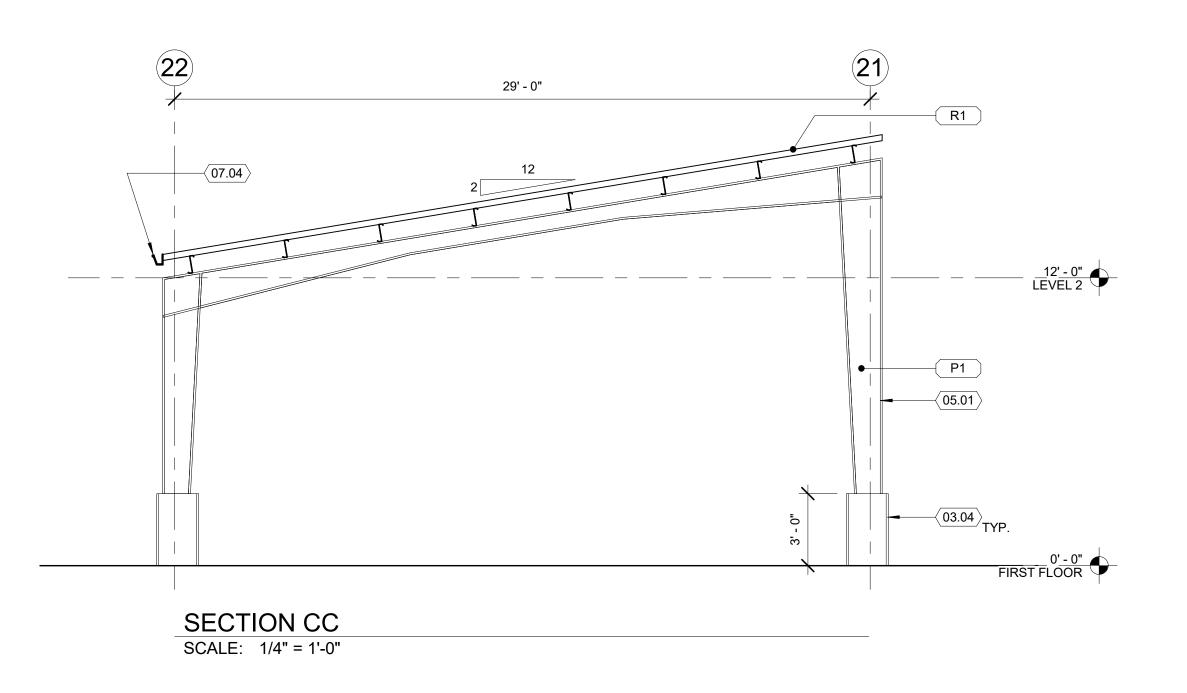
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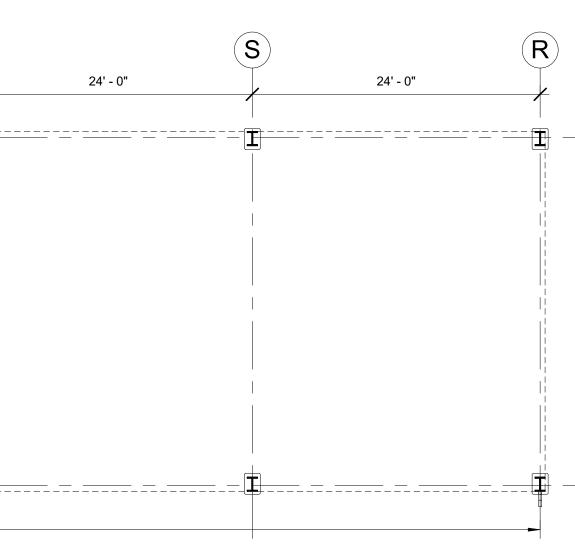
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ROOF PLAN - NORTH











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COVERED EQUIPMENT STORAGE

01.04.21 DESIGN REVIEW

WMB PROJECT: 19-118

A10.1

KEYNOTES

03.04 CONCRETE PLINT 05.01 EXPOSED STRUCTURAL STEEL FRAME 07.04 PRE-FINISHED SHEET METAL GUTTER

EXTERIOR FINISH SCHEDULE

- CMU PRECISION CONCRETE MASONRY, COLOR: GRAY
- MP1 VERTICAL METAL PANEL, COLOR: 'COOL PARCHMENT'
- MP2 HORIZONTAL METAL PANEL, COLOR: 'TAHOE BLUE'
- R1 STANDING SEAM METAL ROOF, COLOR: 'OLD TOWN GRAY'
- P1 PAINT, COLOR T.B.D.
- P2 PAINT, COLOR T.B.D.

260500 ELECTRICAL WORK FOR COMMON RESULTS:

1. ELECTRICAL INSTALLATION SHALL COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, INCLUDING THE FOLLOWING:

TITLE 24, CCR, PART 2, 2019 CBC TITLE 24, CCR, PART 3, 2019 CEC

TITLE 24, CCR, PART 4, 2019 CMC TITLE 24, CCR, PART 9, 2019 CFC

TITLE 24, CCR, PART 6, 2019 CALIFORNIA ENERGY CODE TITLE 24, CCR, PART 11, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL APPLICABLE LOCAL CODES

2. ELECTRICAL CONTRACTOR SHALL VERIFY POWER, TELEPHONE AND CABLE TV SERVICES AT SITE PRIOR TO BIDDING. SERVICES TO CONFORM TO UTILITY COMPANY REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL ARRANGE FOR SERVICE INSTALLATIONS PER UTILITY COMPANY REQUIREMENTS AND PAY ALL CUSTOMER CHARGED SERVICE COSTS. COORDINATE WITH OWNER AND UTILITY COMPANY FOR SERVICE INSTALLATION.

3. CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, LICENSES, ETC. REQUIRED TO CARRY ON AND COMPLETE THE WORK.

4. PROVIDE ALL LABOR, MATERIALS, TOOLS, PLANT EQUIPMENT, TRANSPORTATION AND PERFORM ALL OPERATIONS NECESSARY FOR ANY REASONABLE INCIDENTAL TO PROPER EXECUTION AND COMPLETION OF ALL "ELECTRICAL WORK" WHETHER SPECIFICALLY MENTIONED OR NOT; ALL AS INDICATED, SPECIFIED HEREIN, AND/OR IMPLIED THEREBY TO CARRY OUT THE APPARENT INTENT THEREOF.

5. ALL MATERIALS SHALL BE NEW AND LISTED WITH THE UNDERWRITERS' LABORATORIES, INC., SHALL MEET THEIR REQUIREMENTS AND SHALL BEAR THEIR LABEL WHEREVER STANDARDS HAVE BEEN ESTABLISHED AND LABEL SERVICE IS REGULARLY FURNISHED BY THAT AGENCY.

6. ELECTRICAL DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH THE SIZE AND LOCATIONS OF EQUIPMENT ARE SHOWN TO SCALE WHEREVER POSSIBLE, CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION AT THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT AND INSTALLING HIS WORK TO AVOID INTERFERENCE WITH OTHER TRADES.

7. WORK SHOWN ON THE DRAWINGS TO BE INSTALLED UNDERGROUND SHALL BE INSTALLED AT LEAST 24" BELOW GRADE UNLESS OTHERWISE NOTED. BACKFILL IN 6" THICK, PROPERLY MOISTENED LAYERS, SOLIDLY PACKED AND IRON TAMPED TO A DENSITY NOT LESS THAN THAT OF ADJACENT, UNDISTURBED EARTH. RESTORE SURFACES, ROADWAYS, WALKS, CURBS, WALLS AND EXISTING UNDERGROUND INSTALLATIONS TO ORIGINAL CONDITION IN AN ACCEPTABLE MANNER.

8. ALL ELECTRICAL EQUIPMENT EXPOSED TO THE WEATHER SHALL BE LISTED FOR EXTERIOR USE.

9. ALL U.L. LISTED EQUIPMENT SHALL BE INSTALLED AS PER THEIR LISTING OR LABELING.

10. IN LOCATIONS WHERE ELECTRICAL EQUIPMENT WOULD BE EXPOSED TO PHYSICAL DAMAGE. ENCLOSURES OR GUARDS SHALL BE SO ARRANGED AND OF SUCH STRENGTH AS TO PREVENT SUCH DAMAGE

11. CONFLICTS BETWEEN SPECIFICATIONS AND PLANS:

a. ANY CONFLICT BETWEEN ELECTRICAL SPECIFICATIONS AND ELECTRICAL PLANS; OR BETWEEN ELECTRICAL PLANS AND PLANS OF ANOTHER DISCIPLINE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND A RESOLUTION RECEIVED PRIOR TO PROCUREMENT OR INSTALLATION OF THE ITEM IN QUESTION.

b. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT RECEIVING ANY RESOLUTION TO THE CONFLICT HE/SHE DOES SO AT HIS/HER OWN RISK AND SHALL RECTIFY THE WORK TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER OR ENGINEER.

260500.02. SUBMITTALS:

PROVIDE THE FOLLOWING SUBMITTALS FOR REVIEW AND APPROVAL. EACH SHALL BE SUBMITTED SEPARATELY TO AVOID DELAYS IN THE REVIEW OF ONE SUBMITTAL IN HOLDING UP REVIEW OF THE REMAINDER.

- SERVICE SWITCHBOARD
- LIGHTING CONTROL PANEL. LIGHTING CONTROLS
- PANEL BOARDS
- BASIC ELECTRICAL MATERIALS LIGHT FIXTURES

260500.03. WORKING CLEARANCES FOR ELECTRICAL SWITCHGEAR:

PROVIDE WORKING SPACES FOR ELECTRICAL PANELS AND SWITCHGEAR TO COMPLY WITH CEC 110.26.

2. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED TO ENSURE THE CLEARANCES REQUIRED BY ITEM 1 ABOVE ARE PROVIDED

260526. GROUNDING:

GROUND AND BOND ALL EQUIPMENT AS REQUIRED BY GOVERNING CODES AND SPECIFICALLY INCLUDING SWITCHBOARD, PANELBOARDS, MOTOR CASES, METAL PIPING SYSTEMS, STRUCTURAL STEEL, ETC.

- PROVIDE GROUND WIRES IN ALL FEEDERS AND BRANCH CIRCUITS, SIZE PER CEC TABLE 250.122 ALL GROUND WIRES SHALL BE INSULATED GROUND WIRES.
- 260529. INSTALLATION OF SUPPORT SYSTEMS

RACEWAYS, CABLE ASSEMBLIES, BOXES, CABINETS, AND FITTINGS SHALL BE SECURELY FASTENED IN PLACE PER CEC ARTICLE 300.11. SUPPORT WIRES THAT DO NOT PROVIDE SECURE SUPPORT SHALL NOT BE PERMITTED AS THE SOLE SUPPORT. SUPPORT WIRES AND ASSOCIATED FITTINGS THAT PROVIDE SECURE SUPPORT AND THAT ARE INSTALLED IN ADDITION TO THE CEILING GRID SUPPORT WIRES SHALL BE PERMITTED AS THE SOLE SUPPORT. WHERE INDEPENDENT SUPPORT WIRE ARE USED, THEY SHALL BE SECURED AT BOTH ENDS. CABLES AND RACEWAYS SHALL NOT BE SUPPORTED BY CEILING GRIDS.

FURNISH ALL NECESSARY FOUNDATIONS, SUPPORTS, BACKING, ETC., FOR ALL ELECTRICAL ENCLOSURES, CONDUITS AND EQUIPMENT.

ATTACH ALL BOXES, CABINETS, ETC. TO WOOD WITH WOOD OR LAG SCREWS, TO METAL WITH MACHINE SCREWS OR BOLTS AND TO CONCRETE WITH EXPANSION ANCHORS AND MACHINE SCREWS OR BOLTS.

RIGID STEEL CONDUIT SHALL BE SUPPORTED AT INTERVALS NOT GREATER THAN 10 FT, ELECTRICAL METALLIC TUBING AT INTERVALS NOT GREATER THAN 5 FT.

3. A SUPPORT SHALL BE PROVIDED NOT MORE THAN 3 FT. FROM ANY CHANGE IN DIRECTION. ADDITIONAL SUPPORTS TO THOSE SPECIFIED ABOVE SHALL BE INSTALLED WHERE REQUIRED TO SUIT JOB CONDITIONS AND TO PROVIDE A SECURE INSTALLATION. ALL HANGERS AND SUPPORTS SHALL BE THE PRODUCTS OF ONE MANUFACTURER.

260533. PULL OR JUNCTION BOXES:

INSTALL WHERE INDICATED, OR AS REQUIRED BY CODE, PULL BOXES AND JUNCTION BOXES OF SUFFICIENT SIZE AND CAPACITY TO FACILITATE ALL WIRING. BOXES SHALL BE SIZED TO PROPERLY ACCOMMODATE ALL CONDUCTORS ENTERING SAME.

BOXES SHALL BE OF THE SHAPE AND SIZE BEST SUITED FOR THE PARTICULAR APPLICATION AND SHALL BE SUPPORTED DIRECTLY TO STRUCTURAL MEMBERS, FRAMING OR BLOCKING BY MEANS OF SCREWS, ANCHORS, BOLTS OR EMBEDDED IN MASONRY.

A. SWITCH AND RECEPTACLE BOX SHALL BE ONE PIECE DRAWN OR STAMPED STEEL BOXES MINIMUM SIZE SHALL BE FOUR INCHES (4") SQUARE. BOXES SHALL BE FITTED WITH FLUSH DEVICE COVERS, PLASTER RINGS, OR TILE SWITCH RINGS IN MASONRY IN AREA WHERE EXPOSED WIRING IS PERMISSIBLE, BOXES SHALL BEFITTED WITH SURFACE TYPE COVERS.

B. LIGHTING OUTLETS SHALL BE FOUR INCHES (4")OCTAGON, MINIMUM.

FLOOR BOXES: SHALL BE SINGLE SERVICE OR MULTI-SERVICE AS NOTED ON PLANS. BOXES С SHALL BE FULLY ADJUSTABLE BEFORE AND AFTER CONCRETE POUR. BOXES SHALL BE FURNISHED WITH ALL REQUIRED ACCESSORIES FOR A COMPLETE AND WORKING INSTALLATION, INCLUDING DEVICE MOUNTING BRACKETS, BOTH POWER AND COMMUNICATIONS, TRIM RING/COVERPLATE OR FLOOR PORT ACTIVATION KIT. PROVIDE POWER DEVICES AND TERMINATIONS. SINGLE SERVICE BOX SHALL BE HUBBELL, NON-METALLIC, CONCRETE FLOOR BOX TYPE PFB1 WITH FLUSH BRASS ROUND COVERPLATE AS HUBBELL #S3925, FLANGE AS HUBBELL #S3082 AND DUPLEX 120V, 15A OUTLET. MULTI-SERVICE FLOOR BOXES SHALL BE AS HUBBELL SYSTEM ONE AS FOLLOWS:

ON-GRADE-CASTIRON #S1CFB

UPPER CONCRETE FLOORS - STEEL #S1SFB AV BOX - #S1SFBAV

NON-METALLIC 1 #S1PFB PROVIDE COVERPLATE AND FLANGE, FINISH PER ARCHITECT. PROVIDE MINIMUM (1) DUPLEX OUTLET AND A 4-PORT MULTISERVICE COMMUNICATIONS FRAMES. VERIFY EXACT REQUIREMENT WITH OWNER PRIOR TO PROCUREMENT

WEATHERPROOF BOXES SHALL BE APPLETON FD SERIES AND FITTED WITH GASKETED CAST COVERS.

VOICE/DATA OUTLET BOXES SHALL BE 4_11/16"SQ.x2_1/8" DEEP MINIMUM, FITTED WITH PLASTER RINGS.

BOXES FOR SPECIAL EQUIPMENT SHALL BE SUITABLE FOR THE PARTICULAR EQUIPMENT.

BOXES SHALL BE LOCATED AND PLACED ACCORDING TO ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

260550. WIRING METHODS: LINE VOLTAGE SYSTEMS (120V AND ABOVE)

ALL WIRING SHALL BE INSTALLED IN CONDUITS. CONDUITS SHALL BE RUN CONCEALED IN WALLS AND CEILINGS WHERE FEASIBLE. ALL CONDUITS INSTALLED SURFACE ON WALL SHALL BE PAINTED TO MATCH WALL FINISH. MOUNT EXTERIOR CONDUITS ON WALL ON GALVANIZED UNISTRUTS. ALL SURFACE CONDUIT INSTALLATION/ RUNS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. ALL CONDUITS RUN WITHIN INTERIOR FINISHED SPACES SUCH AS OFFICES, BREAKROOM,

RESTROOM ETC. SHALL BE RUN CONCEALED. 3. ALL CONDUITS RUN IN DEDICATED ELECTRICAL AND MECHANICAL ROOMS SHALL BE RUN

EXPOSED. MINIMUM CONDUIT SIZE SHALL BE 1/2" ABOVE GRADE AND 3/4" UNDERGROUND. 4.

- MINIMUM ACCEPTABLE CONDUITS ARE:
- A. GALVANIZED RIGID STEEL FOR USE ON:

(1) EXTERIOR WALL SURFACES.

B. GALVANIZED STEEL EMT FOR USE CONCEALED IN INDOOR FINISHED SPACES. 2) EXPOSED INSIDE ELECTRICAL & MECHANICAL ROOMS.

LIQUID TIGHT STEEL FLEX: (1) FOR FINAL CONNECTION TO OUTDOOR EQUIPMENT. LENGTH SHALL NOT EXCEED 36".

D. FLEXIBLE STEEL CONDUIT: (1) FOR INDOOR FINAL CONNECTION TO RECESSED LIGHT FIXTURES. LENGTH SHALL NOT EXCEED 72". (2) FOR INDOOR FINAL CONNECTION TO HVAC EQUIPMENT. LENGTH SHALL NOT EXCEED 36".

E. "PVC" SCHEDULE 40: (1) FOR CONDUITS RUN UNDERGROUND AND FOR UNDER BUILDING SLAB. (2) CONDUIT STUBUPS THROUGH THE FLOOR OR GRADE SHALL BE IN PVC WRAPPED RIGID STEEL CONDUIT. PVC WRAPPING SHALL EXTEND 6" ABOVE FINISHED FLOOR OR GRADE.

(3) NOT PERMITTED FOR WIRING ABOVE FINISHED FLOOR INSIDE BUILDINGS ALUMINUM CONDUITS, IMC CONDUITS OR ALUMINUM FITTINGS ARE NOT APPROVED FOR USE ON THIS PROJECT.

G. ALL CONDUIT FITTINGS SHALL BE MALLEABLE IRON/STEEL

COUPLING

(1) EMT COUPLING - APPLETON TWC-CS SERIES (2) EMT CONNECTOR - APPLETON TW-CSI SERIES

(3) FLEX CONDUIT CONNECTOR - T&B "TITE BITE", INSULATED (4) LIQUID TIGHT FLEX CONDUIT CONNECTOR - APPLETON "STB" SERIES UP TO 2", "ST" SERIES OVER 2"

RIGID STEEL CONDUIT CONNECTED TO BOXES AND CABINETS SHALL BE FITTED WITH TWO LOCKNUTS AND INSULATING BUSHING, OA "A" SERIES. PROVIDE GROUNDING BUSHING OZ "BL" SERIES WHERE LOCKNUTS AND BUSHING IS NOT USED. CONDUITS CONNECTED TO BOXES EXPOSED TO WEATHER/MOISTURE SHALL BE FITTED WITH WATERTIGHT SEALING HUBS OF STEEL OR MALLEABLE IRON WITH SEALING RING AND INSULATED THREAT, T & B 370 SERIES.

TYPE NM AND NMC CABLES SHALL NOT BE USED ON THIS PROJECT.

SUCH CONDUITS. MC CABLES MAY BE UTILIZED AS DESCRIBED BELOW, WITH RESTRICTIONS NOTED.

(1) PRIOR APPROVAL OF OWNER/ARCHITECT OR ENGINEER REQUIRED.

(2) MC CABLES SHALL BE AS MANUFACTURED BY SOUTHWIRE TYPE EZ-MC DURACLAD TYPE WITH LIGHT WEIGHT STEEL ARMOR AND INSULATED GREEN GROUNDING CONDUCTORS OR APPROVED EQUAL.

(3) SHALL BE USED FOR BRANCH CIRCUITS ONLY AS NOTED BELOW.

(a) CANNOT BE USED ANYWHERE EXPOSED

(b) LIGHTING: VERTICAL DROPS IN WALL FOR LIGHT SWITCHES FORM JBOX IN CEILING. HORIZONTAL RUNS IN CEILING SHALL BE IN SOLID STEEL CONDUITS.

(c) POWER RECEPTACLES:

(A) FOR UNDERGROUND HOMERUNS: SOLID CONDUIT VERTICAL RISER IN WALL FROM UNDERGROUND CONDUIT TO FIRST RECEPTACLE JBOX. THEN HORIZONTAL RUNS WITHIN WALLS TO OTHER RECEPTACLE BOXES IN MC CABLE. (B) FOR OVERHEAD HOMERUNS: VERTICAL DROPS FROM JBOX IN CEILING THEN HORIZONTAL RUNS WITHIN WALLS TO OTHER RECEPTACLES. HORIZONTAL RUNS IN CEILING SHALL BE IN SOLID STEEL CONDUITS.

(d) NO OTHER USE IS PERMITTED WITHOUT SPECIFIC WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.

(4) ALL FITTINGS AND TERMINATIONS FOR THE MC CABLING SYSTEM SHALL BE METAL AND SUITABLE AND LISTED FOR SUCH USE.

(5) ALL SUPPORTS, ATTACHMENTS SPACING SHALL BE PER CEC 330.30. (6) FOR MULTI-WIRE BRANCH CIRCUITS SUCH CABLES SHALL HAVE MULTIPLE NEUTRALS, ONE FOR EACH CIRCUIT.

CONDUCTORS SHALL BE COPPER CONDUCTORS TYPE THHN/THWN UNLESS OTHERWISE NOTED OR REQUIRED BY CODE.

ALL DEVICES, CONDUITS, RACEWAYS AND CABLES SHOWN ARE NEW TO BE PROVIDED UNLESS OTHERWISE NOTED.

8. FLASH AND COUNTERFLASH ALL ITEMS PASSING THROUGH THE ROOF.

2. TRANSFORMERS SHALL BE THREE PHASE, FOUR WIRE OR SINGLE PHASE, THREE WIRE, WITH KVA THE OWNER RESERVES THE RIGHT TO RELOCATE ALL LIGHTING, OUTLETS AND SWITCHES BEFORE RATING AND VOLTAGES AS INDICATED ON THE PLANS. PROVIDE FULL CAPACITY, OFF LOAD PRIMARY TAPS. THEY ARE ROUGHED IN AT NO EXTRA COST.

WIRING FOR DIFFERENT VOLTAGE CLASSIFICATIONS SHALL BE INSTALLED IN ENTIRELY SEPARATE RACEWAYS/CONDUITS SYSTEM AND ENCLOSURES/BOXES.

CLASSIFICATION 1 - 0 TO 30V CLASSIFICATION 2 - 100 TO 250V CLASSIFICATION 3 - 251 TO 500V

- PARTICULAR ATTENTION SHALL BE PAID TO THE WIRING FOR
- 1. ROOF TOP CONVENIENCE OUTLETS FOR SERVICING ROOF TOP EQUIPMENT.
- 2.

DISCONNECTS SHALL NOT BE USED AS THROUGH RACEWAYS FOR WIRING NOT DIRECTLY SERVING THE DISCONNECTS. SERVICING OUTLETS SHALL NOT BE MOUNTED ON DISCONNECTS.

260551. INSTALLATION OF RACEWAYS AND FITTINGS CONCEAL RACEWAYS WITHIN CEILINGS, WALLS, AND FLOORS EXCEPT WHERE EXPOSED RACEWAYS ARE SPECIFICALLY PERMITTED.

WHERE CONDUIT IS ALLOWED TO BE EXPOSED, INSTALL THE CONDUIT PARALLEL WITH OR AT RIGHT ANGLES TO STRUCTURAL MEMBERS, WALLS, AND LINES OF THE BUILDING.

INSTALL WHERE INDICATED, OR AS REQUIRED BY CODE, PULLBOXES AND JUNCTION BOXES OF SUFFICIENT SIZE TO FACILITATE WIRING. BOXES SHALL BE SIZED TO PROPERLY ACCOMMODATE ALL CONDUCTORS ENTERING SAME.

THE PROJECT DRAWINGS ARE LAID OUT USING SOLID CONDUITS AND CABLES PULLED THROUGH

10. SEPARATION OF WIRING OF DIFFERENT VOLTAGE CLASSIFICATIONS:

LINE VOLTAGE CONTROLS FOR ROOF TOP HVAC AND OTHER REQUIREMENTS.

DO NOT INSTALL CONDUIT OR TUBING WHICH HAS BEEN CRUSHED OR DEFORMED.

RUN CONDUCTORS OF SAME CIRCUIT IN SAME CONDUIT. RUN CONDUCTORS OF DIFFERENT VOLTAGE SYSTEMS IN SEPARATE CONDUITS.

INSTALL NO CONDUCTORS UNTIL WORK WHICH MIGHT CAUSE DAMAGE TO SUCH CONDUCTORS OR THE CONDUIT HAS BEEN COMPLETED.

7 KEEP ALL CONDUITS AT LEAST SIX INCHES AWAY FROM THE COVERING ON HOT WATER OR STEAM PIPES.

CAP RACEWAY ENDS DURING CONSTRUCTION. CLEAN OR REPLACE CONDUITS IN WHICH WATER OR FOREIGN MATTER HAVE ACCUMULATED, TO THE SATISFACTION OF THE ARCHITECT.

CONDUITS SHALL BE SUPPORTED WITH STRAPS, WITH GALVANIZED MALLEABLE SPLIT RING AND ROD FOR INDIVIDUAL RUNS OR WITH KINDORF OR UNISTRUT CHANNEL SUPPORTS FOR MULTIPLE RUNS. DISTANCE BETWEEN SUPPORTS SHALL NOT EXCEED 10 FEET. CONDUITS SHALL BE SUPPORTED INDEPENDENTLY OF ONE ANOTHER.

CONDUITS CONNECTED TO BOXES AND CABINETS SHALL BE FITTED WITH TWO LOCKNUTS AND INSULATED BUSHING, OA "A" SERIES.

11. CONDUITS NOT CONNECTED WITH LOCKNUTS AND BUSHINGS SHALL BE FITTED WITH GROUNDING BUSHING, OZ "BL" SERIES, U. L. APPROVED AND BONDED.

CONDUIT STRAPS FOR INDIVIDUAL RUNS SHALL BE SECURED BY TOGGLE BOLTS ON HOLLOW MASONRY, EXPANSION ANCHORS ON SOLID CONCRETE OR MASONRY, MACHINE SCREWS OR BOLTS ON METAL SURFACES AND WOOD SCREWS ON WOOD CONSTRUCTION. THE USE OF NAILS TO ANCHOR STRAPS ON WOOD CONSTRUCTION IS PROHIBITED. STRAPS SHALL BE TWO HOLE MALLEABLE IRON OR SNAP-TYPE STEEL WITH RIBBED BACK, GALVANIZED OR CADMIUM PLATED. THE USE

13. PLACEMENT OF ALL BOXES SHALL BE GOVERNED BY APPLICABLE ARCHITECTURAL AND STRUCTURAL REQUIREMENTS.

14. CONDUIT FITTINGS: EXCEPT WHERE OTHERWISE NOTED, CONDUIT FITTINGS SHALL BE APPLETON OR APPROVED EQUAL. UNILETS SHALL BE MALLEABLE IRON AND FITTED WITH COVERS AND GASKETS.

15. TELEPHONE AND SIGNAL CONDUIT BENDS WHERE REQUIRED SHALL HAVE A RADIUS OF TEN TIMES THE CONDUIT TRADE SIZE.

16. PROVIDE PULL TAPE IN ALL EMPTY CONDUITS.

260553. NAMEPLATES & IDENTIFICATION:

INSTALL ENGRAVED NAMEPLATES FOR EACH PANELBOARD, CABINET, DISCONNECT, ETC. NAMEPLATES SHALL BE SECURELY FASTENED TO THE EQUIPMENT WITH #4 PHILLIPS ROUND HEAD CADMIUM PLATED SELF-TAPPING SCREWS, BRASS BOLT.

PROVIDE CIRCUIT LABEL INDICATING PANEL AND CIRCUIT NUMBER ON EACH COVERPLATE FOR EACH RECEPTACLE AND LIGHT SWITCH, MOTION SENSOR SWITCH. SUCH LABEL SHALL BE SELF ADHESIVE WHITE TAPE WITH BLACK LETTERS MADE ON A LABEL MAKER.

ALL CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED TO DIFFERENTIATE THEM FROM UNCONTROLLED RECEPTACLES PER CALIFORNIA ENERGY CODE SECTION 130.5(d)(3).

260573. ARC FLASH HAZARDS:

PROVIDE WARNING LABEL ON ELECTRICAL EQUIPMENT OF POSSIBLE ARC FLASH HAZARDS PER C.E.C. 110.16.

260800. TESTING:

THE ENTIRE ELECTRICAL INSTALLATION SHALL BE FREE FROM SHORT CIRCUITS AND IMPROPER GROUNDS. TEST ALL WIRING AND CONNECTIONS FOR CONTINUITY AND GROUNDS BEFORE ANY FIXTURES OR EQUIPMENT ARE CONNECTED AND WHERE SUCH TESTS INDICATE FAULTY INSULATION OR OTHER DEFECTS, THEY SHALL BE LOCATED, REPAIRED AND RETESTED AT THE CONTRACTOR'S EXPENSE. PROVIDE ALL INSTRUMENTS TO MAKE SUCH TESTS.

DEMONSTRATE TO THE OWNER AND THE ARCHITECT, THAT THE ENTIRE INSTALLATION IS COMPLETE, IN PROPER OPERATING CONDITION AND THAT THE CONTRACT HAS BEEN PROPERLY AND FULLY EXECUTED.

260800.01. CERTIFICATE OF COMPLETION:

ACCEPTANCE OF THE CONTRACT FOR THIS WORK INCLUDES THIS GUARANTEE: THE CONTRACTOR GUARANTEES THAT HE HAS PERFORMED THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR AGREES TO REPLACE OR REPAIR, AS NEW ANY DEFECTIVE WORK, MATERIALS, OR PART WHICH MAY APPEAR WITHIN ONE YEARS (1) OF FINAL ACCEPTANCE, IF, IN THE OPINION OF THE ARCHITECT OR THE OWNER, THE DEFECT IS DUE TO WORKMANSHIP OR MATERIAL.

260800.02. WARRANTIES, GUARANTEES, CERTIFICATES, ETC.

WARRANTIES, GUARANTEES, CERTIFICATES, ETC. THAT ARE FURNISHED AND AVAILABLE FOR EQUIPMENT AND MATERIALS FURNISHED AND INSTALLED UNDER THIS SECTION SHALL BE PROPERLY FILLED OUT AS OF DATE OF ACCEPTANCE OF THE WORK BY THE OWNER AND SHALL BE DELIVERED TO THE ARCHTITECT.

260811. OPERATIONS AND MAINTENANCE (O&M) MANUALS

PROVIDE AS-BUILT DRAWINGS.

UPON COMPLETION OF WORK COVERED BY THIS CONTRACT, PROVIDE AS-BUILT PLANS UPON WHICH SHALL BE SHOWN ALL CHANGES OF FEEDERS. PANELS, CIRCUITS, LIGHT FIXTURES, ETC., FOR THIS PROJECT AND INSTALLED UNDER THIS CONTRACT, WHICH ARE NOT IN ACCORD WITH THESE DRAWINGS FOR THE WORK.

B. ALL SYMBOLS AND DESIGNATIONS USED IN PREPARING "AS-BUILT" DRAWINGS SHALL MATCH THOSE USED IN CONTRACT DRAWINGS.

PROVIDE OF OPERATION AND MAINTENANCE MANUAL FOR POWER, AND LIGHTING SYSTEMS.

SCAN BOTH "AS-BUILT" PLANS AND O&M MANUAL ON TO A CD AND PROVIDE (3) COPIES OF THE CD TO OWNER PRIOR TO RELEASE OF FINAL PAYMENT.

262200. TRANSFORMERS:

1. TRANSFORMERS SHALL BE DRY TYPE LOW LOSS TRANSFORMERS TYPE AS MANUFACTURED BY SQUARE D OR APPROVED EQUAL THE SAME MANUFACTURER AS THE MAIN SERVICE SWITCHBOARD.

TRANSFORMERS SHALL BE 150 DEGREES C TEMPERATURE RISE ABOVE 40 DEGREE C AMBIENT. INSULATION SHALL BE IN ACCORDANCE WITH THE LATEST NEMA STANDARDS FOR A 220 DEGREE C UL COMPONENT RECOGNIZED INSULATION SYSTEM.

4. TRANSFORMER COILS SHALL BE COPPER OR ALUMINUM AND OF THE CONTINUOUS WIRE WOUND CONSTRUCTION AND SHALL BE IMPREGNATED WITH NON-HYGROSCOPIC THERMO SETTING VARNISH. TRANSFORMER CORES SHALL BE CONSTRUCTED FROM HIGH GRADE, NON-AGING SILICON STEEL WITH MAGNETIC PERMEABILITY AND LOW LOSSES. THE COMPLETE CORE AND COIL ASSEMBLY SHALL BE SUITABLY CLAMPED AND BRACED MECHANICALLY. ADDITIONALLY, PROVIDE AN ELECTROSTATIC SHIELD ENVELOPING THE FULL HEIGHT OF THE WINDING IN CASE OF SHIELDED TRANSFORMERS.

5. TRANSFORMERS SHALL BE IN HEAVY GAUGE, SHEET STEEL, VENTILATED ENCLOSURE PER UL, NEMA AND CEC STANDARDS EXCEPT ONES CALLED OUT ON THE PLANS TO HAVE NON-VENTILATED ENCLOSURES.

6. TRANSFORMER SOUND LEVELS SHALL NOT EXCEED 45dB FOR UNITS UP TO 50KVA AND 50dB FOR UNITS 51 TO 150KVA.

7. TRANSFORMERS SHALL BE SUITABLE FOR FLOOR OR WALL MOUNTING AS INDICATED ON THE DRAWINGS.

TRANSFORMERS FOR OUTDOORS INSTALLATION SHALL BE WEATHERPROOF. PROVIDE WEATHER SHIELDS WHERE SO REQUIRED.

FASTEN TRANSFORMERS TO BUILDING STRUCTURE (WALL OR FLOOR AS CASE MAY BE) USING EXPANSION ANCHORS. PROVIDE BRACKETS AND ALL MOUNTING HARDWARE AS NEEDED.

PROVIDE MINIMUM CLEARANCE FROM WALLS AT THE BACK FOR VENTILATION AIR. SUCH CLEARANCES SHALL BE AS REQUIRED BY THE MANUFACTURER.

12. FOR ROOF MOUNTING, SEAL ALL ANCHOR BOLTS WITH SILICON SEALER. UNITS AS FAR AS PRACTICAL.

CLEAN ALL DEBRIS FROM WITHIN THE TRANSFORMER. 14.

1. SQUARE D, EATON, OR APPROVED EQUAL, METAL ENCLOSED UNIT WITH UGPS, METERING SECTION, MAIN DISCONNECT AND GROUP MOUNTED, MOULDED CASE BRANCH CIRCUIT BREAKERS COMPLETE WITH INTERCONNECTING BUS IN A FACTORY ASSEMBLED, INTEGRATED UNIT. ARRANGEMENT AND RATINGS OF EQUIPMENT ARE SHOWN ON DRAWINGS. UNIT SHALL MEET ALL UTILITY COMPANY REQUIREMENTS.

SWITCHBOARD SHALL BE ENCLOSED STRUCTURE OF CODE GAUGE STEEL PLATES WITH REMOVABLE FRONT. FULL FRONT ACCESS SHALL BE PROVIDED FOR CONNECTIONS AND OPERATIONS. FRONT SECTIONS SHALL BE ATTACHED WITH MACHINE SCREWS. EVENLY SPACED, HINGED DOOR SHALL HAVE VAULT TYPE HANDLES AND LOCKS. UNITS SHALL BE NEMA 3R FOR OUTDOOR INSTALLATION AND NEMA 1 FOR INDOOR INSTALLATION.

RUN FULL HEIGHT

4. SERVICE SWITCHBOARD SHALL HAVE PERMANENTLY INSTALLED USER-ACCESSIBLE METERING OF TOTAL ELECTRICAL ENERGY USE PER TABLE 130.5-A OF THE 2016 CALIFORNIA ENERGY CODE. AS A MINIMUM THIS REQUIRES THE FOLLOWING:

a. INSTANTANEOUS KW DEMAND. b. HISTORICAL PEAK KW DEMAND. c. RESETTABLE KWH.

UTILITY COMPANY AND PLANS.

PROVIDE CONCRETE PAD (FOR GRADE MOUNTING) OR PLATFORM (FOR ROOF AND ATTIC SPACE MOUNTING). ROOF PLATFORM DESIGN SHALL BE COMPATIBLE ROOF SYSTEM.

13. CONDUITS FOR TRANSFORMER CONNECTIONS SHALL BE LOCATED WITHIN THE FOOTPRINT OF THE

262400. MAIN SERVICE SWITCHBOARD

3. ALL BUSES SHALL BE COPPER OR ALUMINUM SIZED TO CONFORM TO UL TO LIMIT TEMPERATURE RISE. ALL BUS CONNECTIONS SHALL BE BOLTED. BUSES SHALL BE BRACED TO WITHSTAND, AS A MINIMUM, THE SHORT CIRCUIT CURRENT INDICATED ON DRAWINGS. BUSES SHALL BE SEQUENCE PHASED AND SHALL

THE DISTRIBUTION SECTION SHALL BE SET UP TO PERMIT IN FUTURE THE DESEGREGATED MEASUREMENT OF ELECTRICAL LOAD ENERGY USES DOWNSTREAM FROM THE SERVICE ACCORDING TO TABLE 130.5-B OF THE 2016 CALIFORNIA ENERGY CODE.

6. PROVIDE "SPACES" INDICATED ON DRAWINGS WITH ALL NECESSARY MOUNTING HARDWARE PERMITTING EASY FUTURE INSTALLATION OF BREAKERS IN THE FIELD.

7. PROVIDE INCOMING SERVICE TERMINALS, METERING SECTIONS, CTs, ETC. IN ACCORDANCE WITH THE

8. PROVIDE A COPPER GROUND BUS.



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Diablo Water District Corporation Yard Office/Shop Building 3990 Main Street

Oakley, California

GENERAL NOTES

01.04.21 Design Review

PUBLISH HISTORY DATE REVISION/ SET

WMB PROJECT: 19-118

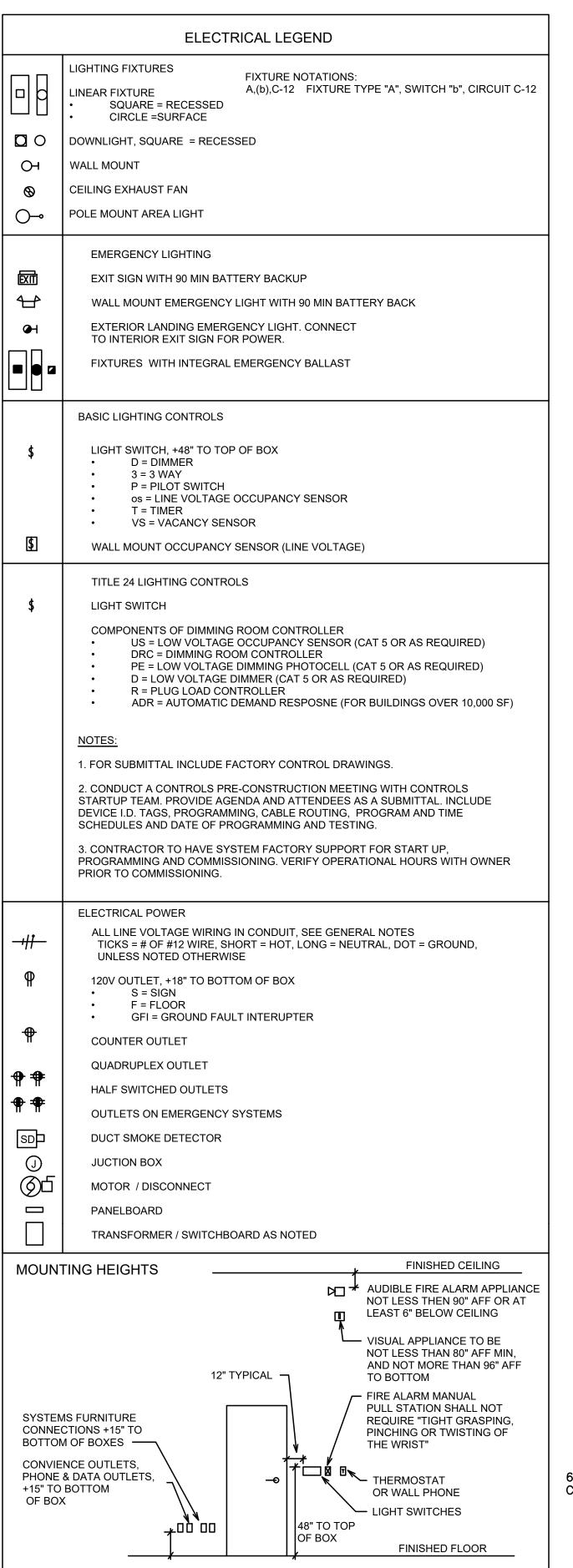


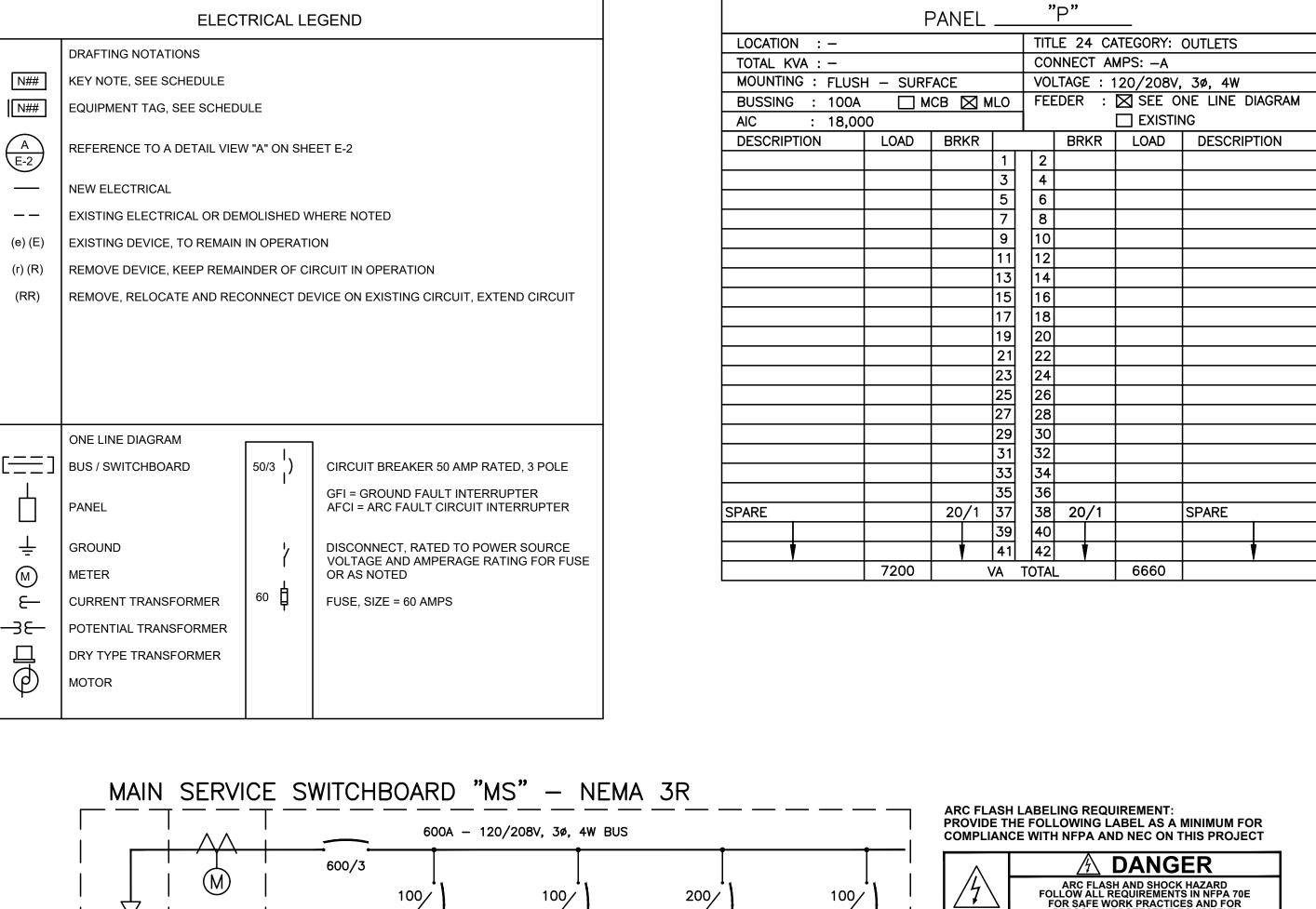
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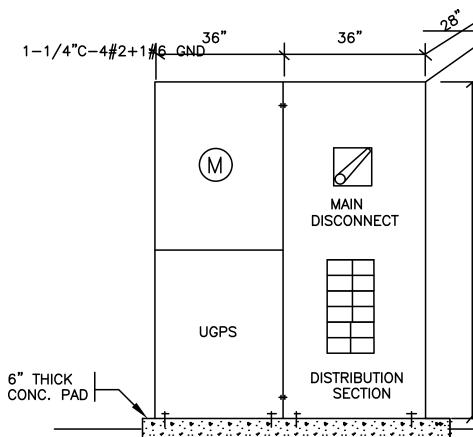
Richard C. Smith, PE richard@hcs-eng.com Bhupendra Patel, PE bhupendra@hcs-eng.com Elizabeth Aguilar elizabeth@hcs-eng.com PROJECT # 2020.309











ONE LINE DIAGRAM

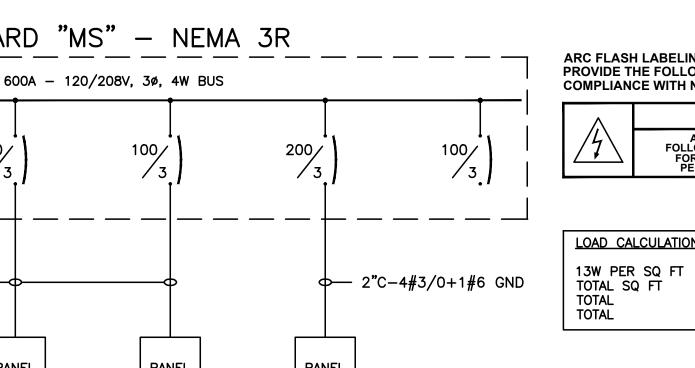
(2)5"CO — 4

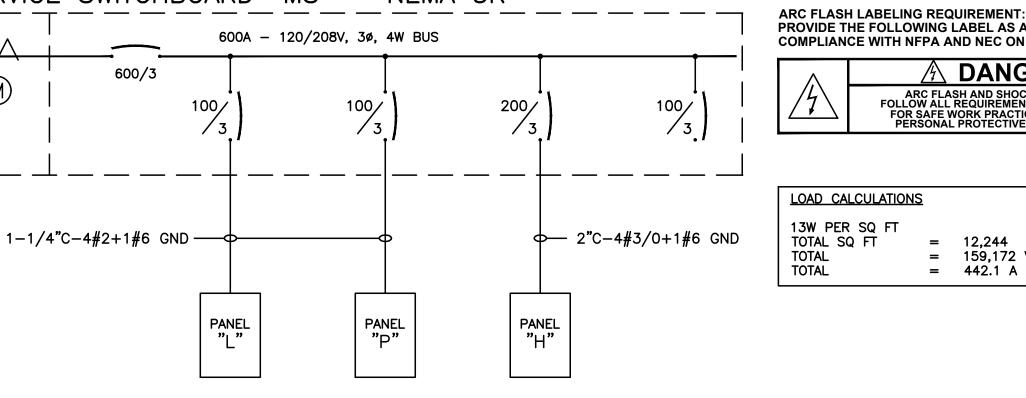
TO P.G.&E.

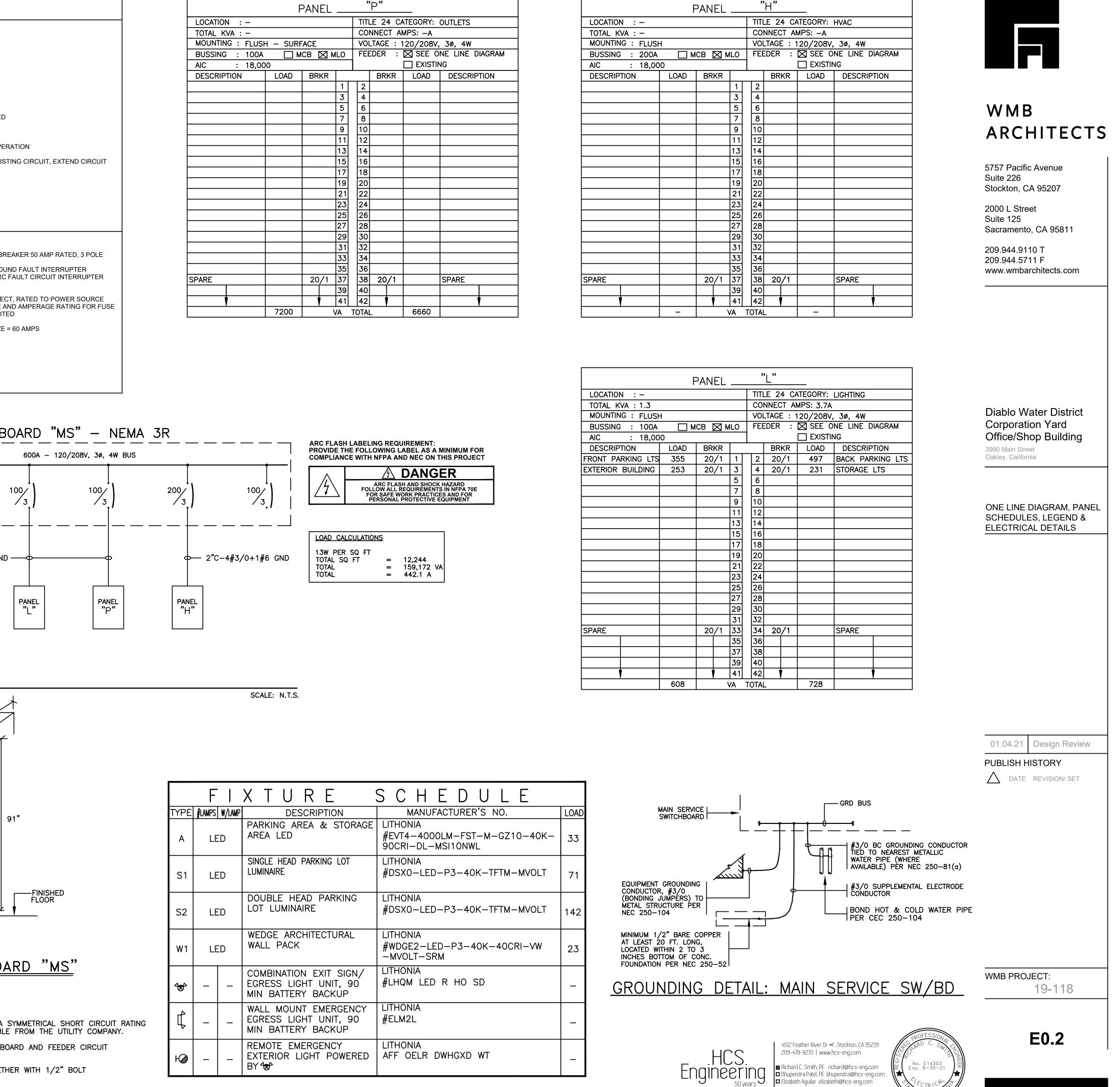
MAIN SERVICE SWITCHBOARD "MS"

NOTES: MAIN SERVICE SWITCHBOARD

- 1. ALL DIMENSIONS ARE NOMINAL.
- 2. THE COMPLETE SWITCHBOARD SHALL HAVE A SYMMETRICAL SHORT CIRCUIT RATING EQUAL TO OR GREATER THAN THAT AVAILABLE FROM THE UTILITY COMPANY.
- 3. MINIMUM INTEGRAL A.I.C. RATING OF SWITCHBOARD AND FEEDER CIRCUIT BREAKERS TO BE 22,000 AMPS.
- AND NUTS AT 4 PLACES PER SECTION.
- 5. BOLT EACH SECTION OF SWITCHBOARD TO FLOOR WITH (4) 1/2"x3" ANCHOR BOLTS.

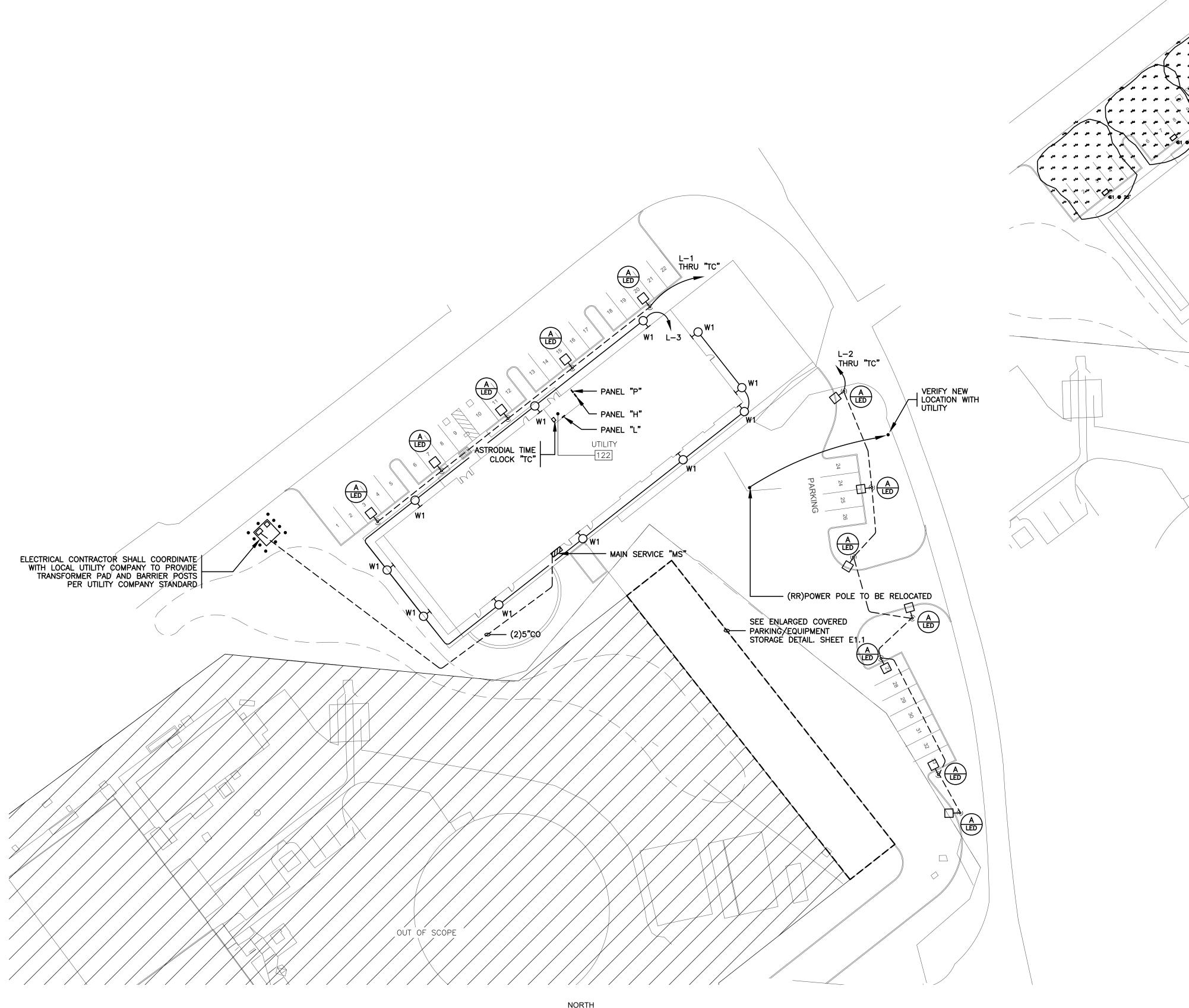






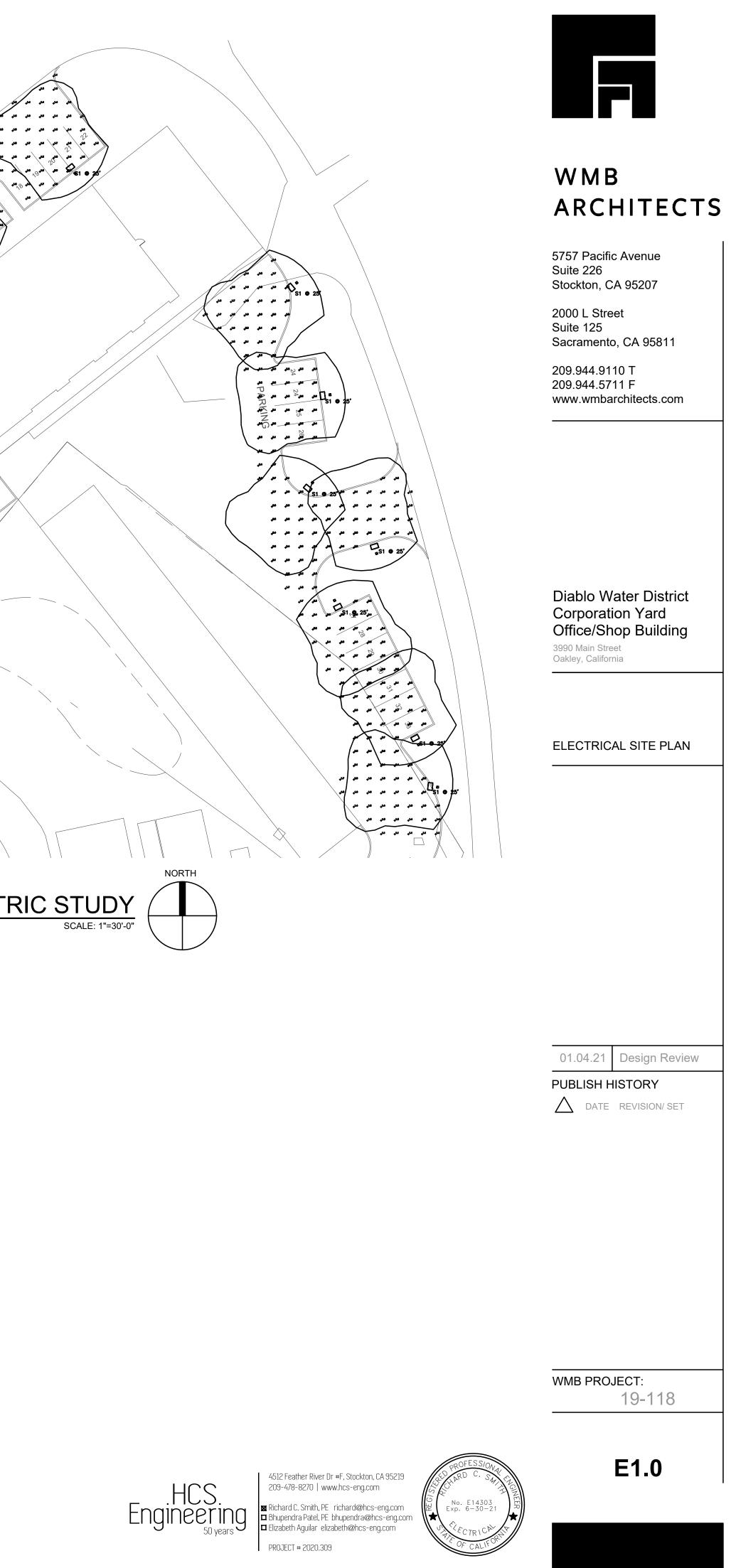
4. BOLT SECTIONS OF THE SWITCHBOARD TOGETHER WITH 1/2" BOLT

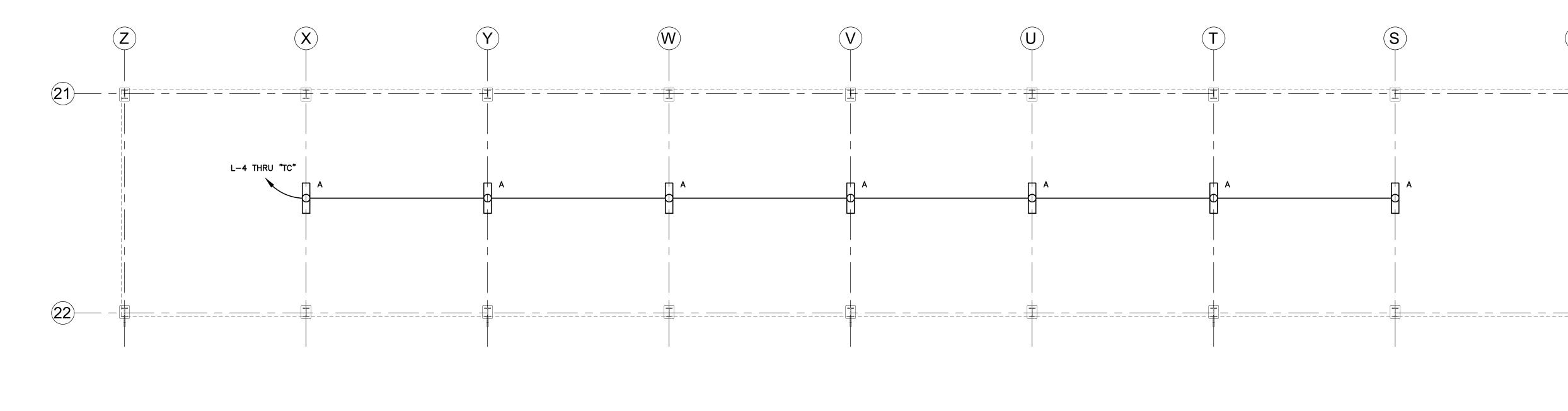
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PHOTOMETRIC STUDY









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Diablo Water District Corporation Yard Office/Shop Building ³⁹⁹⁰ Main Street Oakley, California

COVERED PARKING ELECTRICAL PLAN

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