

PROJECT INTENT

THE INTENT OF THE PROJECT IS TO CONSTRUCT A SUSTAINABLE PLANNED DEVELOPMENT IN ACCORDANCE WITH THE CITY OF OAKLEY.

THE PROJECT AIMS TO REZONE FROM LI TO R6.

THE PROJECT PROPOSES A PLANNED DEVELOPMENT OF 23 SINGLE FAMILY RESIDENTIAL TO COMPLY WITH REQUIRED CODES AND REGULATIONS OF THE CITY OF OAKLEY.

PROJECT SCOPE

1. APPLY FOR A PLANNED DEVELOPMENT PROJECT
2. REZONE FROM LI TO R6
3. PROPOSE NEW LANDSCAPE
4. PROPOSE 23 LOTS, EACH WITH TYPICAL HOUSING UNIT, GARAGE, DRIVEWAY, YARDS
5. PROPOSE ROAD AND SIDEWALK
6. PROPOSE STORM WATER CONTROL MANAGEMENT
7. SUSTAINABLE GREEN AMENITIES

PROJECT SUMMARY

ARCHITECT: GKW ARCHITECTS, INC.
GORDON K WONG, AIA, LEED GA, CSLB
710 E MCGILNLY LANE SUITE 109, CAMPBELL CA 95008
408-315-2125 | GORDONKWONG@GKWARCHITECTS.COM

CLIENT: OAKLEY ROAD PARTNERS, LLC.

ADDRESS: 2480 OAKLEY ROAD, OAKLEY CA 94561

APN: 037-100-043-1

JURISDICTION: CITY OF OAKLEY, CALIFORNIA

LOT SIZE: 4.604 ACRE (200,550.24 SF)

(E) GENERAL LAND USE: LI (LIGHT INDUSTRIAL)

(E) ZONING: LI (LIGHT INDUSTRIAL)

(E) OCCUPANCY: N/A

(E) USE: N/A

PROPOSED ZONE: P-1 (PLANNED DEVELOPMENT) / R-6 (SINGLE FAMILY RESIDENTIAL)

PROPOSED GENERAL LAND USE: SINGLE FAMILY RESIDENTIAL, HIGH DENSITY (SH)

PROPOSED USE: 23 SINGLE FAMILY RESIDENTIAL

AUTO-SPRINKLER SYSTEM: NO

TYPE OF CONSTRUCTION: TYPE V-B

MAXIMUM LOT COVERAGE: N/A

PROPOSED SUBDIVISION: 23 LOTS

DENSITY ALLOWED: 5.5 DWELLING UNITS PER GROSS ACRE; 6,000 SF MIN. LOT SIZE REQUIREMENT

SETBACKS:

FRONT:	20'
SECONDARY FRONT:	15'
REAR:	15'
AGGREGATE WIDTH SIDE YARD:	15'
WIDTH OF ONE SIDE:	5'
CORNER SIDE:	15'
ADJACENT SECOND STORIES:	15'
PORCH:	15'

R-6 MIN LOT REQ.: 6,000 SF
MIN. WIDTH: 60'
MIN. DEPTH: 80'

MAX. HEIGHT: 2 STORIES, 30'

GARAGE DIMENSIONS: 2 CAR: 18' X 19' 3 CAR: 27' X 19'

GARAGE CONFIGURATIONS:

- DE-EMPHASIZE GARAGE
- AT LEAST 20% OF RESIDENCES IN A DEVELOPMENT SHALL HAVE GARAGES WHICH EITHER DO NOT FACE THE STREET OR HAVE A MIN. OF 35' FRONT SETBACK TO GARAGE
- FRONT-FACING GARAGE DOOR WIDTH SHALL BE A MAX. OF 50% OF ELEVATION WIDTH
- DRIVEWAY TO BE MAX. OF 25% OF LOT FRONTAGE WIDTH
- 18' DRIVEWAY WIDTH ALLOWABLE FOR TWO CAR DRIVE ON ANY LOT
- FRONT-FACING GARAGE DOOR SHALL BE RECESSED AT LEAST 3' BEHIND FRONT ELEVATION

DESIGN GUIDELINES

RESIDENTIAL DESIGN GUIDELINES:

NEIGHBORHOOD COMPONENTS:

- DISTINCT ENTRY TO NEIGHBORHOOD
- PROVIDE OPEN SPACE: RECREATIONAL USES
- CONNECT WITH SURROUNDING COMMUNITY: PEDESTRIAN AND BICYCLE
- DEFINE THE NEIGHBORHOOD WITH CLEAR EDGES: NATURAL, LANDSCAPE, AND/OR ATTRACTIVE WALL
- INCORPORATE ENERGY AND RESOURCE EFFICIENT DESIGN

RESIDENTIAL AND LOT DESIGN

- LOT SIZE VARIATION: EXCEED MINIMUM REQUIRED DIMENSIONS
- VARY SETBACKS ALONG STREET FRONTAGE: NOT MORE THAN 2 ADJACENT HOMES OF SAME SETBACK

NEIGHBORHOOD COLLECTOR AND LOCAL STREETS:

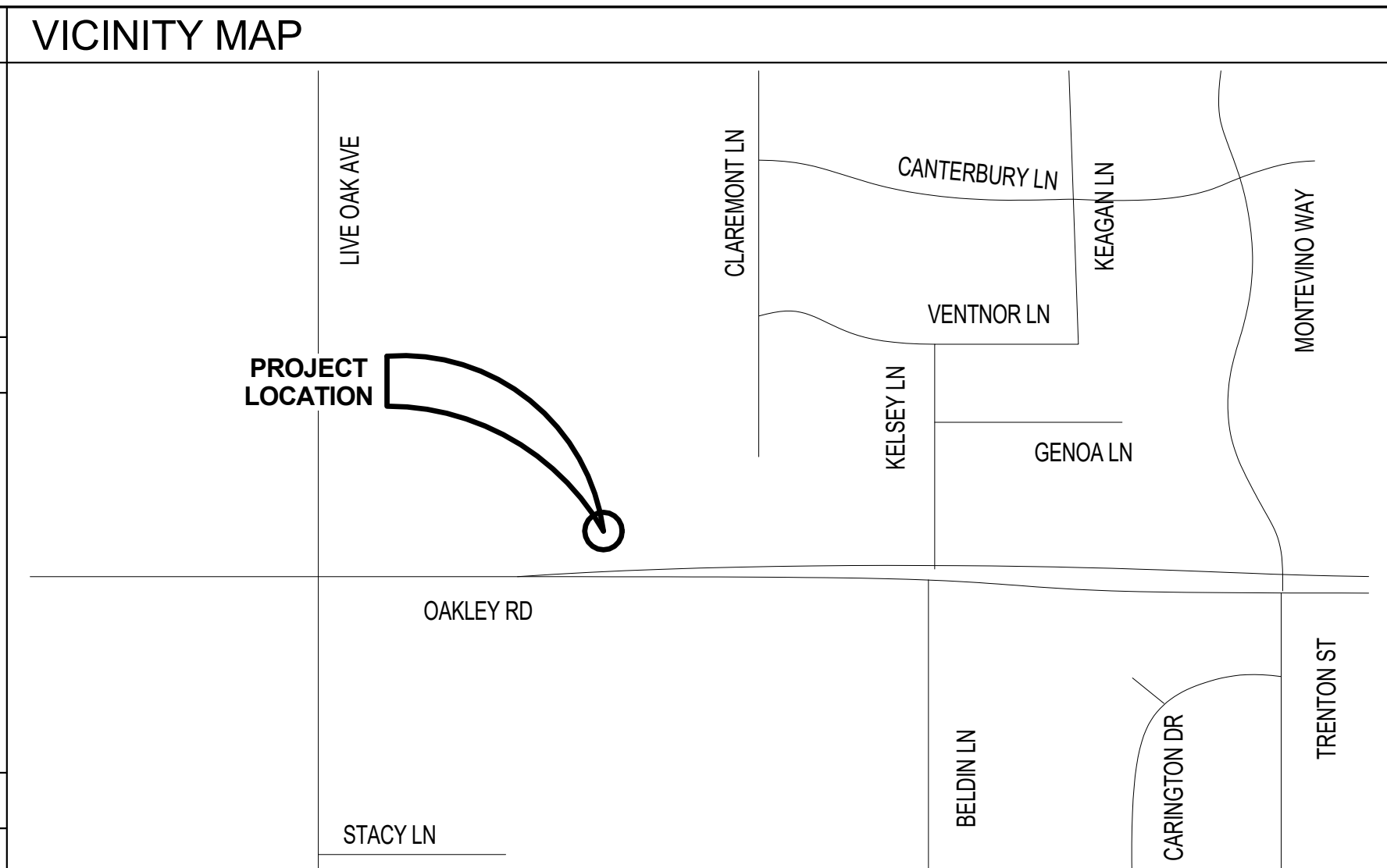
- SIDEWALK: MONOLITHIC 5 FEET WITH CURB
- WHERE HOUSES FRONT ONTO LOCAL STREET, PLANT A MIN. OF ONE STREET TREE PER LOT WITHIN 5 FEET OF SIDEWALK
- WHERE SIDE OR REAR YARD ADJUT LOCAL STREET, THERE SHALL BE A MIN. 5 FEET WIDE LANDSCAPE SETBACK BETWEEN SIDEWALK AND SIDE OR REAR YARD FENCE

TREE PALETTES FOR OAKLEY ROAD

- PRIMARY TREE: PISTACIA CHINENSIS (CHINESE PISTACHE)
- ALTERNATE TREE: QUERCUS AGROFOLIA (COAST LIVE OAK)
- ACCENT TREE: PRUNUS SPECIES (FLOWERING CHERRY)

BUILDING MASS

- DIVERSITY BY VARYING BULK AND MASS OF BUILDINGS
- AT LEAST 20% OF UNITS WITHIN A SUBDIVISION SHALL BE SINGLE STORY
- NOT MORE THAN 25% OF UNITS MAY HAVE SAME TWO-STORY PLAN
- AT LEAST 50% OF CORNER LOTS IN A SUBDIVISION SHALL BE ONE-STORY UNITS.
- LOCATE DRIVEWAYS AWAY FROM THE CORNER TO REDUCE VISUAL PROMINENCE



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PUBLIC WORKS & SITE PLAN NOTES

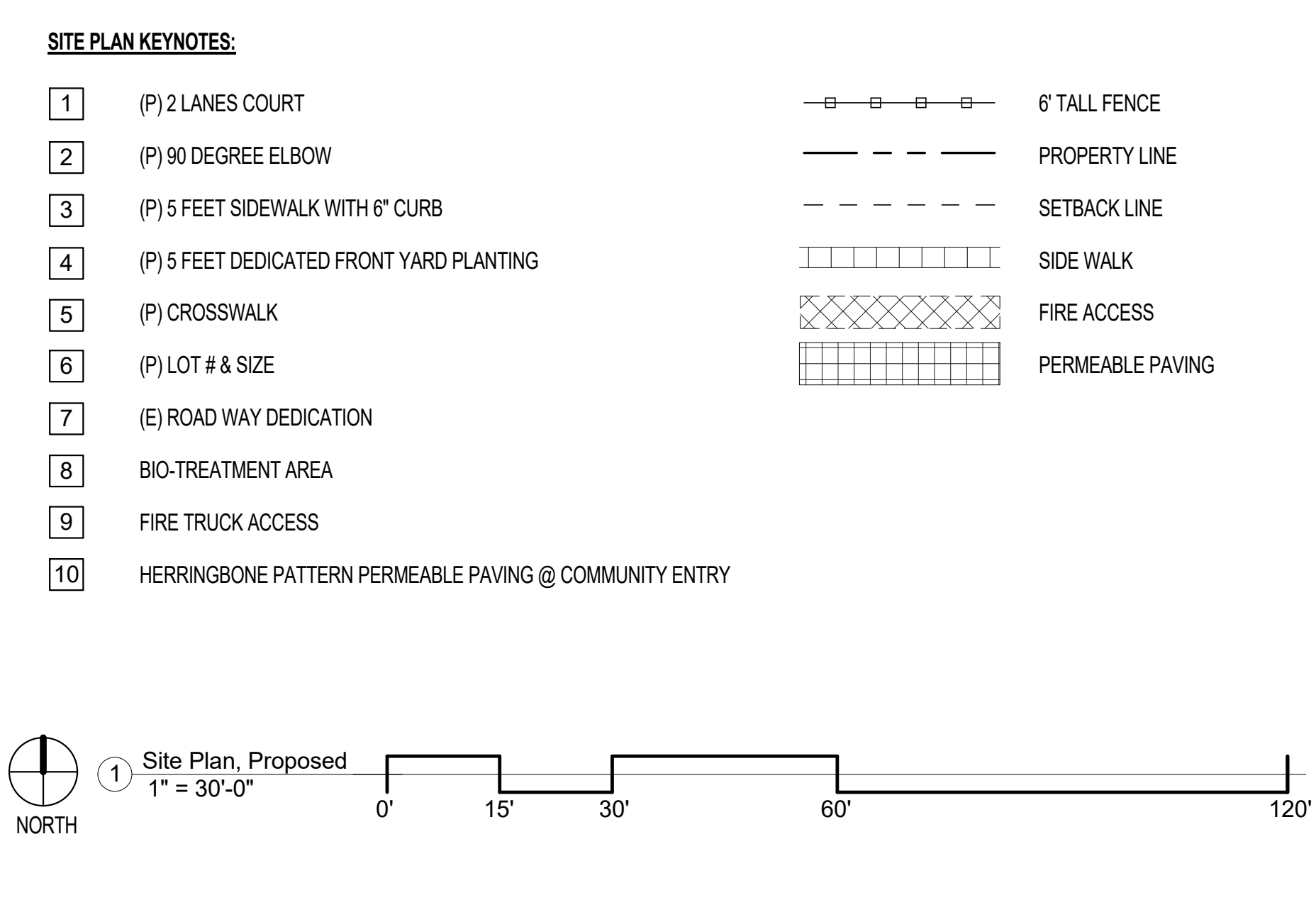
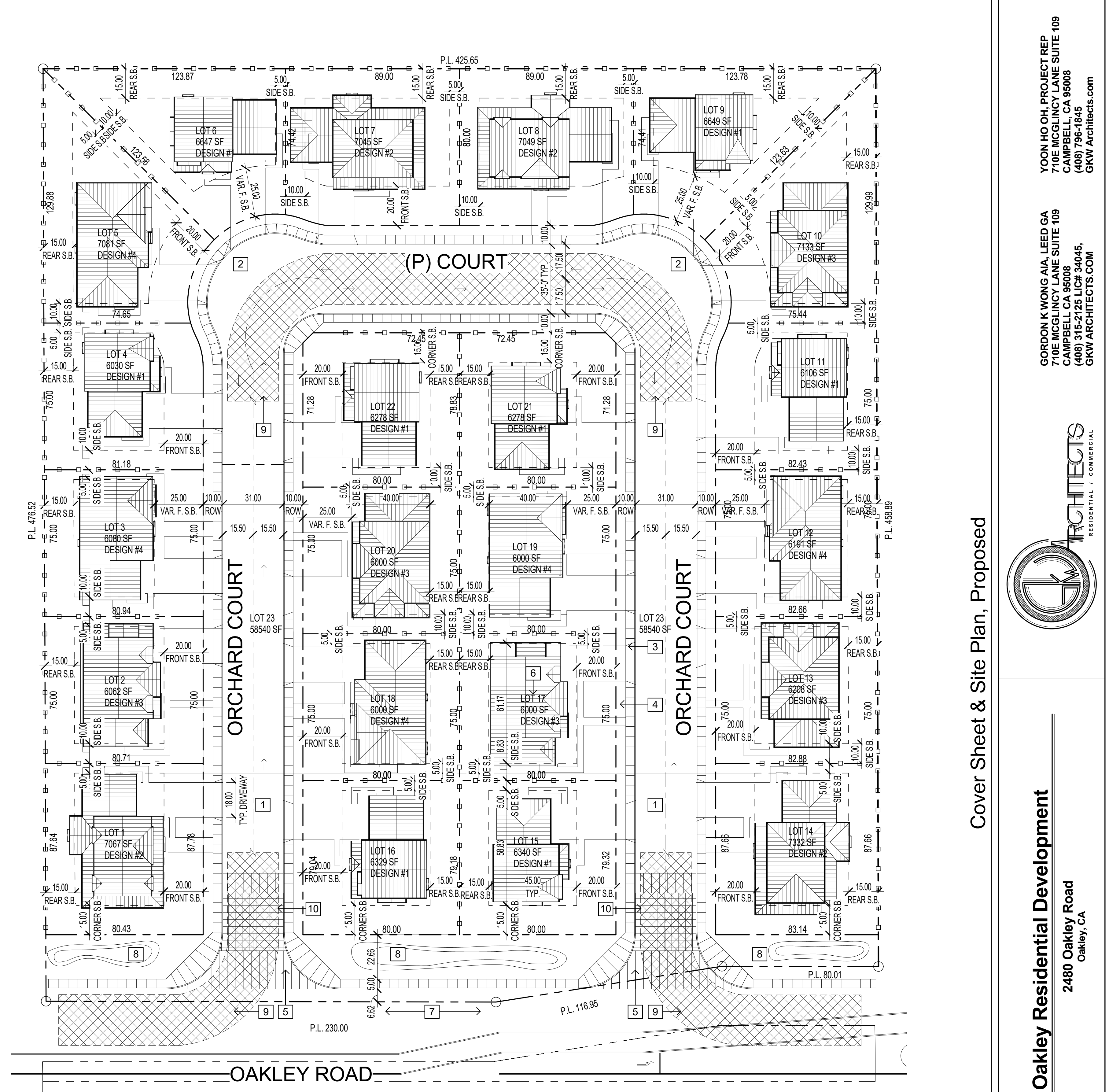
1. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
2. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
3. CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
4. CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF OAKLEY.
5. OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER O.M.C. SECTION 17.20.540
6. PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE
7. ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER UBC SECTION 3403.2
8. CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES
9. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
10. PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
11. PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODES

1. 2016 CALIFORNIA BUILDING CODES PART 1, 6, 10 & 11
2. 2016 CALIFORNIA BUILDING CODES PART 2, 2.5, 3-5.8-9, 12
3. 2016 CALIFORNIA RESIDENTIAL CODE PART 2.5
4. 2016 CALIFORNIA MECHANICAL CODE
5. 2016 CALIFORNIA PLUMBING CODE
6. 2016 CALIFORNIA ENERGY CODE
7. 2016 CALIFORNIA FIRE CODE
8. 2016 CALIFORNIA GREEN BUILDING CODES
9. ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
10. OAKLEY MUNICIPAL CODE

OAKLEY RD. DEVELOPMENT

OAKLEY - CALIFORNIA



SITE PLAN NOTES

1. ALL ELECTRIC LINES, COMMUNICATION LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
2. EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRED A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521
3. A FIXED BENCHMARK THAT BUILDING HEIGHT CAN BE VERIFIED FROM SHOULD BE PROVIDED AT GRADE LEVEL, 38'-0".

LOT SCHEDULE

• LOT 1	7067 SF	• LOT 12	6191 SF
• LOT 2	6062 SF	• LOT 13	6208 SF
• LOT 3	6080 SF	• LOT 14	7332 SF
• LOT 4	6030 SF	• LOT 15	6340 SF
• LOT 5	7081 SF	• LOT 16	6329 SF
• LOT 6	6647 SF	• LOT 17	6000 SF
• LOT 7	7045 SF	• LOT 18	6000 SF
• LOT 8	7049 SF	• LOT 19	6000 SF
• LOT 9	6649 SF	• LOT 20	6000 SF
• LOT 10	7133 SF	• LOT 21	6278 SF
• LOT 11	6106 SF	• LOT 22	6278 SF
		• LOT 23	58540 SF

LICENSED ARCHITECT
GORDON K WONG
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STATE OF CALIFORNIA

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ARCHITECTS
residential / commercial

Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Cover Sheet &
Site Plan,
Proposed

A0.00

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Cover Sheet & Site Plan, Proposed

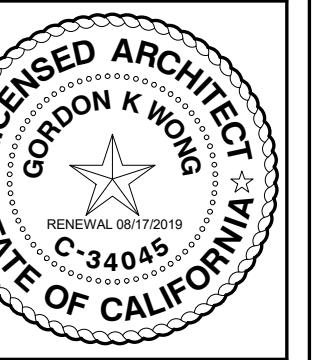
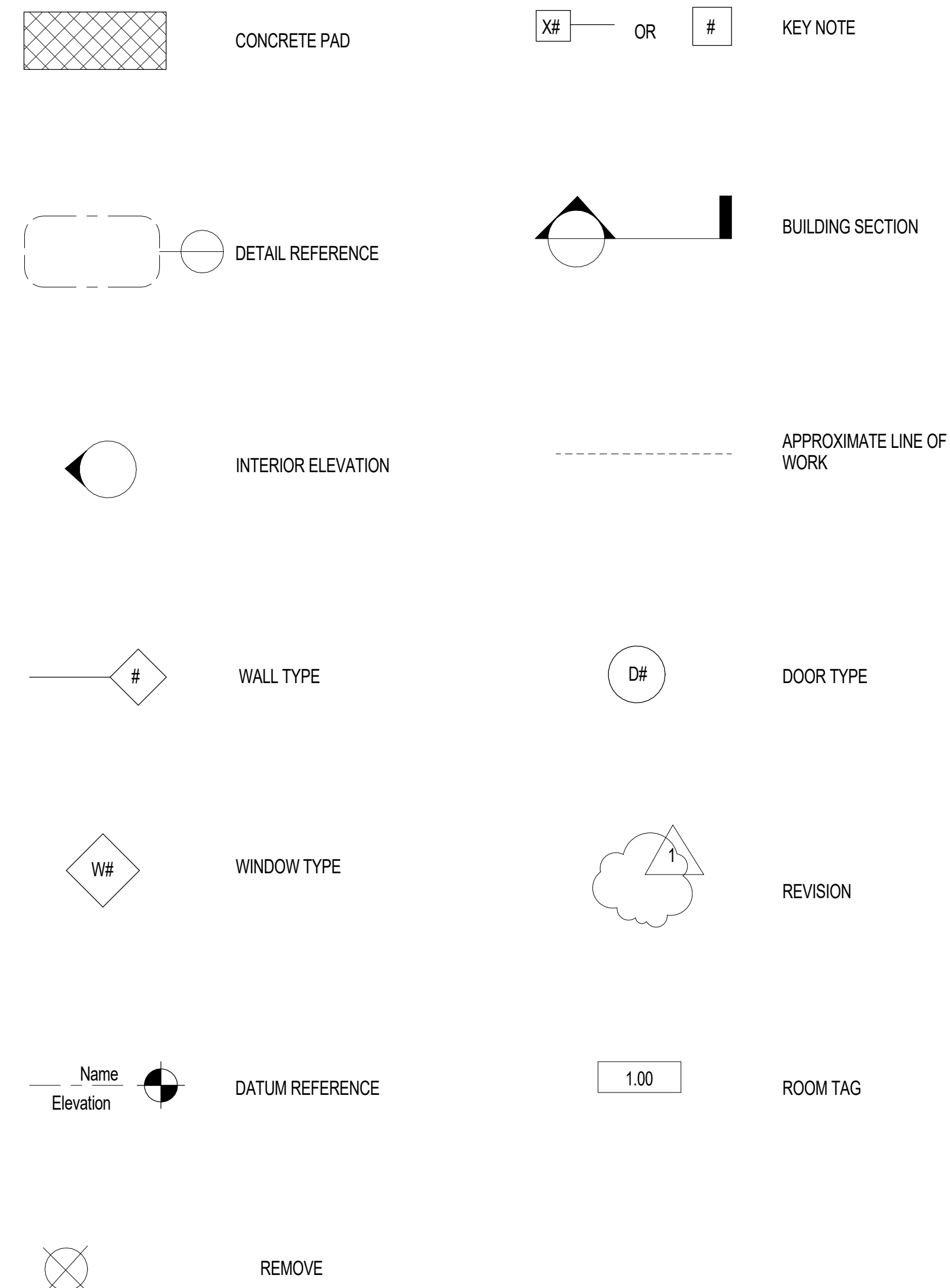
ABBREVIATIONS

A		G		N		S	
ABV	ABOVE	GALV	GALVANIZED	(N)	NEW	SCD	SEE CIVIL DRAWINGS
AC	ASPHALT CONCRETE	GC	GENERAL CONTRACTOR	N	NORTH	SCHD	SCHEDULE
AD	AREA DRAIN	GL	GLASS	N.F.V.	NET FREE VENTILATION	SD	STORM DRAIN
ADDL	ADDITIONAL	GND	GROUND	NIC	NOT IN CONTRACT	SECT	SECTION
AFF	ABOVE FINISH FLOOR	GWB	GYP SUM WALL BOARD	NOM	NOMINAL	SED	SEE ELECTRICAL DRAWINGS
ASPH	ASPHALT	GYP	GYSUM	NP	NO PARKING	SF	SQUARE FOOT OR FEET
				NR	NON-RATED	SHR	SHOWER
				NTS	NOT TO SCALE	SHT	SHEET
						SHTG	SHEATHING
B		H		O		SM	SIMILAR
BITUM	BITUMINOUS	HDBD	HARDBOARD	OA	OVERALL	SJ	SEISMIC JOINT
BKG	BACKING	HDR	HEADER	OC	ON CENTER	SL	SEALANT
BLDG	BUILDING	HDWR	HARDWARE	OD	OUTSIDE DIAMETER/ DIMENSION	SLD	SEE LANDSCAPE DRAWINGS
BM	BEAM	HDWD	HARDWOOD	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	SM	SHEET METAL
BR	BACKER ROD	HTR	HEATER	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	SMD	SEE MECHANICAL DRAWINGS
BR	BUILT-UP-ROOF	HVAC	HEATING, VENT. & A.C.	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	SOF	SOFFIT
BDR	BEDROOM	I				SOG	SLAB ON GRADE
BW	BOTTOM OF WALL	IN	INCH			SPD	SEE PLUMBING DRAWINGS
		INCAND	INCANDESCENT			SPECIS	SPECIFICATION
C		INSUL	INSULATION	P		SQ	SQUARE
CAB	CABINET	INT	INTERIOR	PENN	PENETRATION	SS	SANITARY SEWER
CB	CATCH BASIN	INV	INVERT	PERF	PERFORATED	SSD	SEE STRUCTURAL DRAWINGS
CEM	CEMENT			PERP	PERPENDICULAR	STC	SOUND TRANSMISSION COEFFICIENT
CF	CUBIC FEET	J		PL	PLATE	STD	STANDARD
CJ	CONTROL JOINT	JST	JOIST	PL	PROPERTY LINE	STL	STEEL
CL	CLOSET	JT	JOINT	PLAS	PLASTER	STOR	STORAGE
CTL	CENTERLINE			PLBG	PLUMBING	STRL	STRUCTURAL
CLG	CEILING			PLWD	PLYWOOD	SY	SQUARE YARD
CONC	CONCRETE			PNL	PANEL		
CPT	CARPET	K		POC	POINT OF CONNECTION	T	
		K	KIPS	PP	PERMEABLE PAVERS	T&B	TOP AND BOTTOM
D		KIT	KITCHEN	PREFAB	PREFABRICATED	T&G	TONGUE AND GROOVE
DR	DECK	KP	KICK PLATE	PSF	POUNDS PER SQUARE FOOT	TC	TOP OF CURB
D.S.	DOWNSPOUT			PSI	POUNDS PER SQUARE INCH	TOC	TOP OF CONCRETE
				PTD	PAINTED	TOP	TOP OF PAVING
				PTR	PRESSURE TREATED	TOS	TOP OF STEEL
E		L		PTRWDO	PRESSURE TREATED WOOD	TRD	TREAD
(E)	EXISTING	LOC	LOCATION	(P)	PROPOSED	TW	TOP OF WALL
E	EAST	LT	LIGHT	QTY	QUANTITY		
ELEC	ELECTRICAL					U	
EP	ELECTRICAL PANEL	M		R		UL	UNDERWRITERS LABORATORIES
EXT	EXTERIOR			R	REVEAL OR RISER	UTIL	UTILITIES
		MB	MACHINE BOLT	RAD	RADIUS	V	
F		MDF	MEDIUM DENSITY FIBERBOARD	RCP	REINFORCED CONCRETE PIPE	V	
FDN	FOUNDATION	MECH	MECHANICAL	RD	ROOF DRAIN	VCP	VITREOUS CLAY PIPE
FH	FIRE HYDRANT	MEMB	MEMBRANE	REF	REFERENCE	VERT	VERTICAL
FIN	FINISH	MET	METAL	REFL	REFLECTED	V	ATTIC VENT
FF	FINISH FLOOR	MFR	MANUFACTURER	REFR	REFRIGERATOR		
FL	FLOW LINE	MH	MANHOLE	RET	RETAINING OR RETARDANT		
FLUOR	FLUORESCENT	MSC	MISCELLANEOUS	REG	REGISTER		
FOC	FACE OF CONCRETE	MTD	MOUNTED	RO	ROUGH OPENING	W	
FOF	FACE OF FINISH	MTL	METAL	(R)	REPLACE	W	WEST OR WIDTH
FOS	FACE OF STUD					WC	WATER CLOSET
FR	FIRE RATED					WD	WOOD

GENERAL NOTES

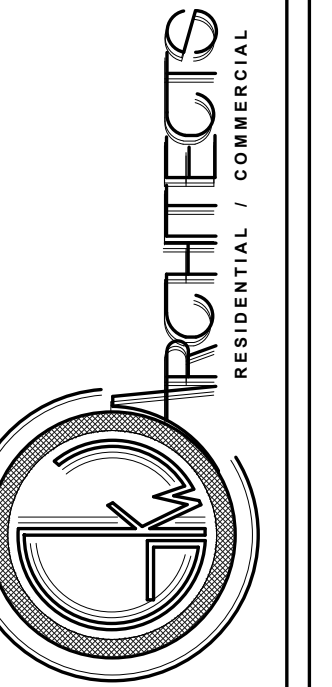
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSE DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GWK ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- PIOR TO ISSUANCE OF THE BUILDING PERMIT A SANITARY SEWER HOOKUP PERMIT (OR CLEARANCE LETTER) MUST BE OBTAINED AND A COPY OF THE PERMIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

GRAPHIC SYMBOLS



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Architectural Notes

Oakley Residential Development

2480 Oakley Road
Oakley, CA

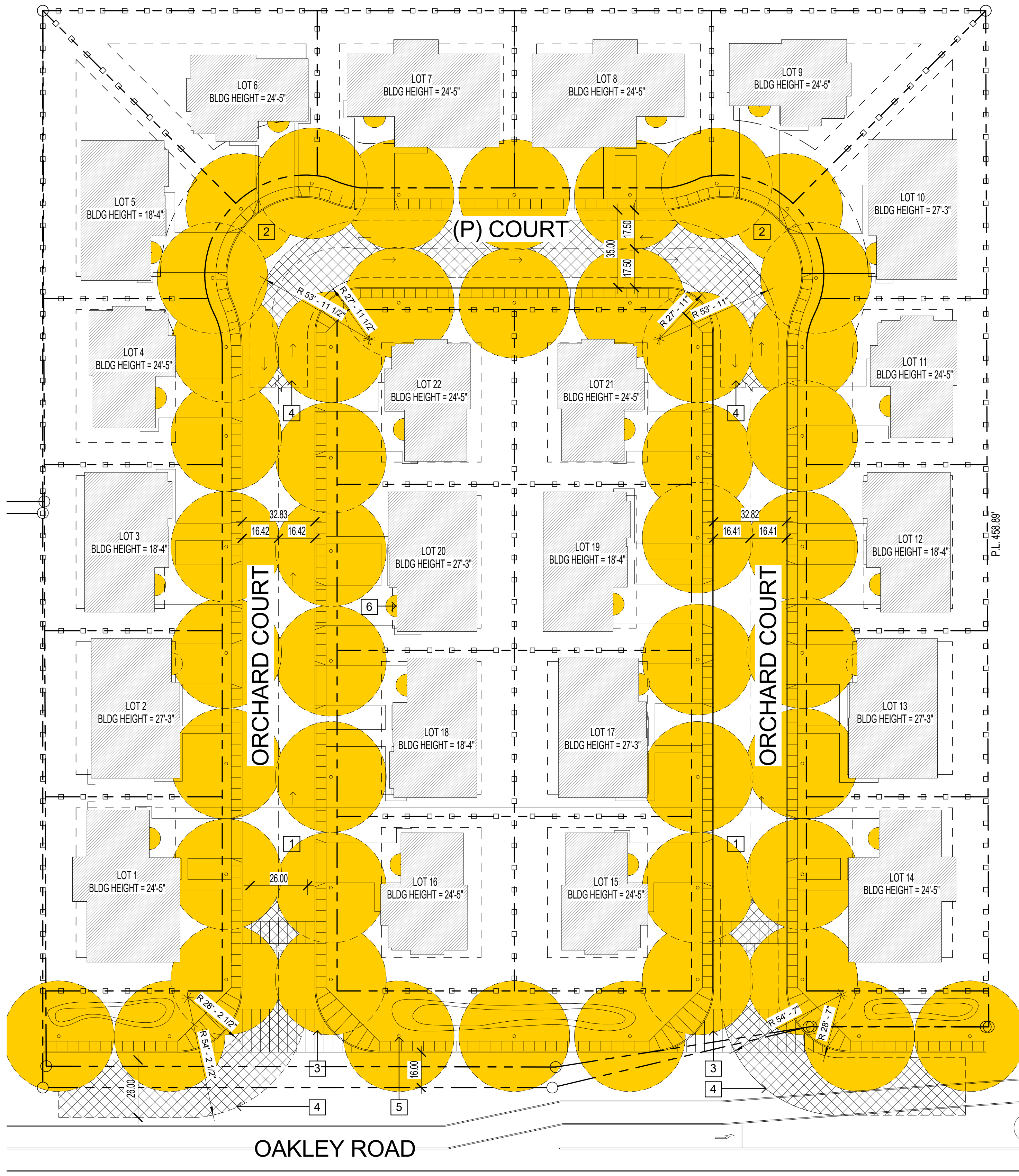
Project Schedule
Revision

Architectural Notes

A0.01

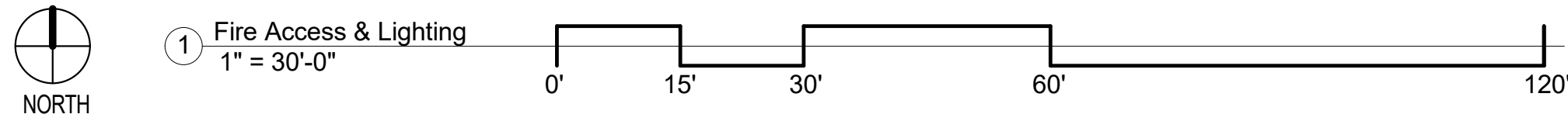
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FIRE ACCESS PLAN KEYNOTES:

- 1 (P) 2 LANES COURT
 - 2 (P) 90 DEGREE ELBOW
 - 3 (P) CROSSWALK
 - 4 FIRE TRUCK ACCESS
 - 5 STREET LIGHT
 - 6 DOWNLIGHT
- 6" TALL FENCE
 - PROPERTY LINE
 - SETBACK LINE
 - SIDE WALK
 - FIRE ACCESS
 - DECORATIVE PERMEABLE PAVING
 - BUILDING FOOTPRINT & HEIGHT
 - STREET LIGHT



FIRE SAFETY NOTES

- ALL BUILDINGS SHALL BE INSTALLED WITH AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDING TO THE 2019 NFPA 13D. FIRE PERMITS ARE REQUIRED FOR FIRE SPRINKLER INSTALLATION AND UNDERGROUND FIRE SERVICE LINES.
- FIRE ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS 75,000 LBS AND SHALL BE DESIGNED AND SURFACED AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITY AND HAVE, A FRICTION COEFFICIENT TO ACCOMMODATE EMERGENCY VEHICLES. SUCH STANDARD IS ALSO APPLICABLE TO PAVERS OR DECORATIVE CONCRETE.
- FIRE ACCESS ROADS SHALL USE PORTLAND CEMENT CONCRETE 6" MINIMUM THICKNESS TO ADDRESS LOADING, TIRE GRIP, STORM WATER SHEETING AT CRITICAL AREAS OF TRAFFIC AND FIRE ACCESS.
- A DEDICATED (PRIVATE) FIRE LINE SHALL BE INSTALLED PER CITY STANDARD DETAILS. THIS FIRE LINE CAN BE USED FOR PRIVATE FIRE HYDRANTS AND TO SUPPLY THE BUILDING SPRINKLER SYSTEMS.
- ADDRESSING OF THE BUILDINGS SHALL BE IN COMPLIANCE WITH EAST CONTRA COSTA FIRE PROTECTION REQUIREMENTS: MINIMUM 4 INCH SELF-ILLUMINATED ADDRESS INSTALLED ON THE FRONT OF THE BUILDING SO AS TO BE VISIBLE FROM THE STREET. A DECORATIVE ADDRESS MONUMENT SIGN SHALL BE INSTALLED AT EACH COURT ENTRANCE, INDICATING THE BUILDING ADDRESSES FOR THE UNITS SERVED BY SUCH COURT. MINIMUM SIZE NUMBERS SHALL BE 6 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
- FIRE HYDRANTS SHALL BE A DOUBLE STEAMER WITH ONE (1) 2-1/2" OUTLET AND TWO (2) 4-1/2" OUTLETS, CAPABLE OF FLOWING 1,500 GALLONS PER MINUTE. HYDRANTS SHALL HAVE BLUE REFLECTIVE MARKERS AT THEIR LOCATION. IF HYDRANTS ARE SUBJECT TO VEHICLE IMPACTS, CRASH POSTS SHALL BE INSTALLED AROUND THE FIRE HYDRANT (SEE SHEET C3.01).
- PRIOR TO CERTIFICATE OF OCCUPANCY, CONTACT THE FIRE MARSHAL'S OFFICE (925) 634-3400 AT LEAST 24 HOURS BEFORE THE DESIRED REQUIRED FINAL INSPECTION APPOINTMENT TO VERIFY THAT REQUIREMENTS FOR FIRE PROTECTION FACILITIES HAVE BEEN MET & ACTUAL CONSTRUCTION OF ALL FIRE PROTECTION EQUIPMENT HAVE BEEN COMPLETED IN ACCORDANCE WITH APPROVED PLAN.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED AT FIRE HYDRANT LOCATIONS.
- IF FIRE HYDRANTS ARE LOCATED SO AS TO BE SUBJECT TO VEHICLE IMPACTS AS DETERMINED BY THE HAYWARD FIRE DEPARTMENT, CRASH POSTS SHALL BE INSTALLED AROUND THE FIRE HYDRANT(S).
- FIRE HYDRANTS FOR THE DEVELOPMENT SHALL BE OPERATIONAL AND IN SERVICE PRIOR TO THE START OF ANY COMBUSTIBLE CONSTRUCTION AND/OR STORAGE OF COMBUSTIBLE CONSTRUCTION MATERIALS.
- EXCEPT FOR DESIGNATED OPEN PARKING SPACES, NO CURBSIDE PARKING SHALL BE ALLOWED. "NO PARKING FIRE LANE" (T29) SIGNS SHALL BE INSTALLED AND CURBS SHALL BE PAINTED IN LOCATIONS APPROVED BY THE FIRE CHIEF AND CITY ENGINEER.
- THE SUBDIVIDER SHALL REMOVE AND REPLACE ANY DAMAGED AND/OR BROKEN SIDEWALK ASSOCIATED WITH THE CONSTRUCTION, AS DETERMINED BY THE CITY INSPECTOR.
- PROPOSED PRIVATE STREET IMPROVEMENTS SHALL BE DESIGNED TO PUBLIC STREET STANDARDS. THE PRIVATE STREET SHALL BE DESIGNED WITH A 11 OF SIX AND MINIMUM AC THICKNESS OF FOUR INCHES. THE PRIVATE STREET APPROACHES SHALL CONFORM TO THE CITY STANDARD X-03 AND BE ENHANCED WITH AT LEAST TEN FEET OF RAISED DECORATIVE PAVING (E.G., INTERLOCKING PAVERS OR STAMPED COLORED CONCRETE, OR BANDS OF DECORATIVE PAVING, ETC.). THE PLANNING DIRECTOR SHALL APPROVE THE MATERIAL, COLOR AND DESIGN, AND THE CITY ENGINEER SHALL APPROVE THE PAVEMENT SECTION FOR THE DECORATIVE PAVING. DECORATIVE PAVEMENTS SHALL BE CAPABLE OF SUPPORTING A 75,000 LB. GWL LOAD PER FIRE DEPARTMENT'S REQUIREMENT. MODIFICATIONS TO THESE REQUIREMENTS, HOWEVER, MAY BE MADE WHEN DOCUMENTED BY A GEOTECHNICAL STUDY PROVIDING ALTERNATIVE SPECIFICATIONS WHICH ARE NECESSARY TO CONSTRUCT AND MAINTAIN THE SITE IN A SAFE AND STABLE CONDITIONS.

LIGHTING SAFETY NOTES



SafetySign.com Item #: X2485 Sign Material: 100 Parking Fire Lane

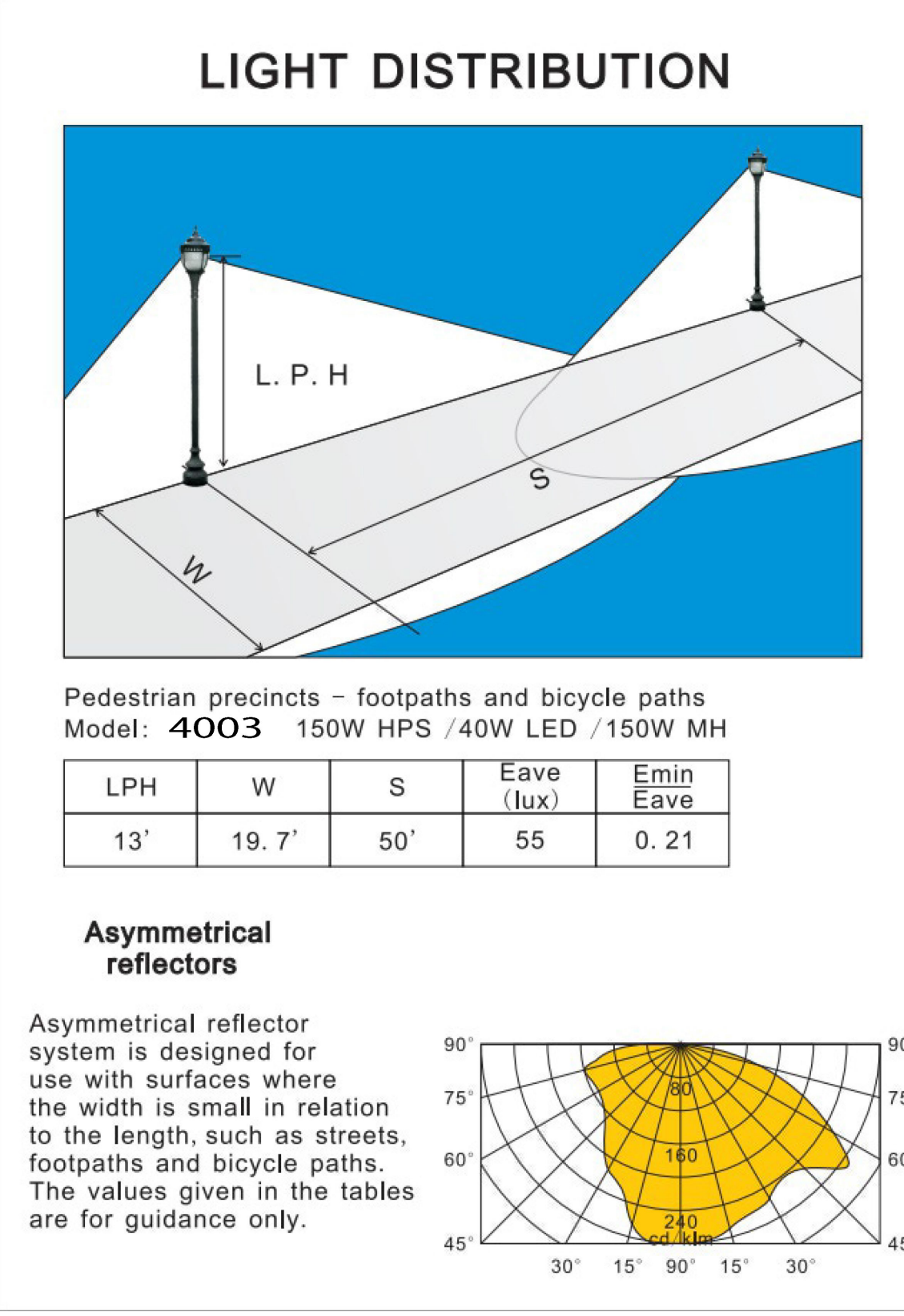
No Parking Fire Lane (Double Arrow) Sign
A No Parking Fire Lane (Double Arrow) Sign has completely message to address parking policy and traffic concerns. A No Parking Fire Lane (Double Arrow) Sign is a highly visible sign to help protect the health and safety of personnel, and is not intended for use in residential areas.

Size	Width	Height	Weight	Material	Mounting	Color	Design
12" x 18"	12"	18"	2"	3003 Road-Free Aluminum	Two "N" Posts	White	Double Arrow

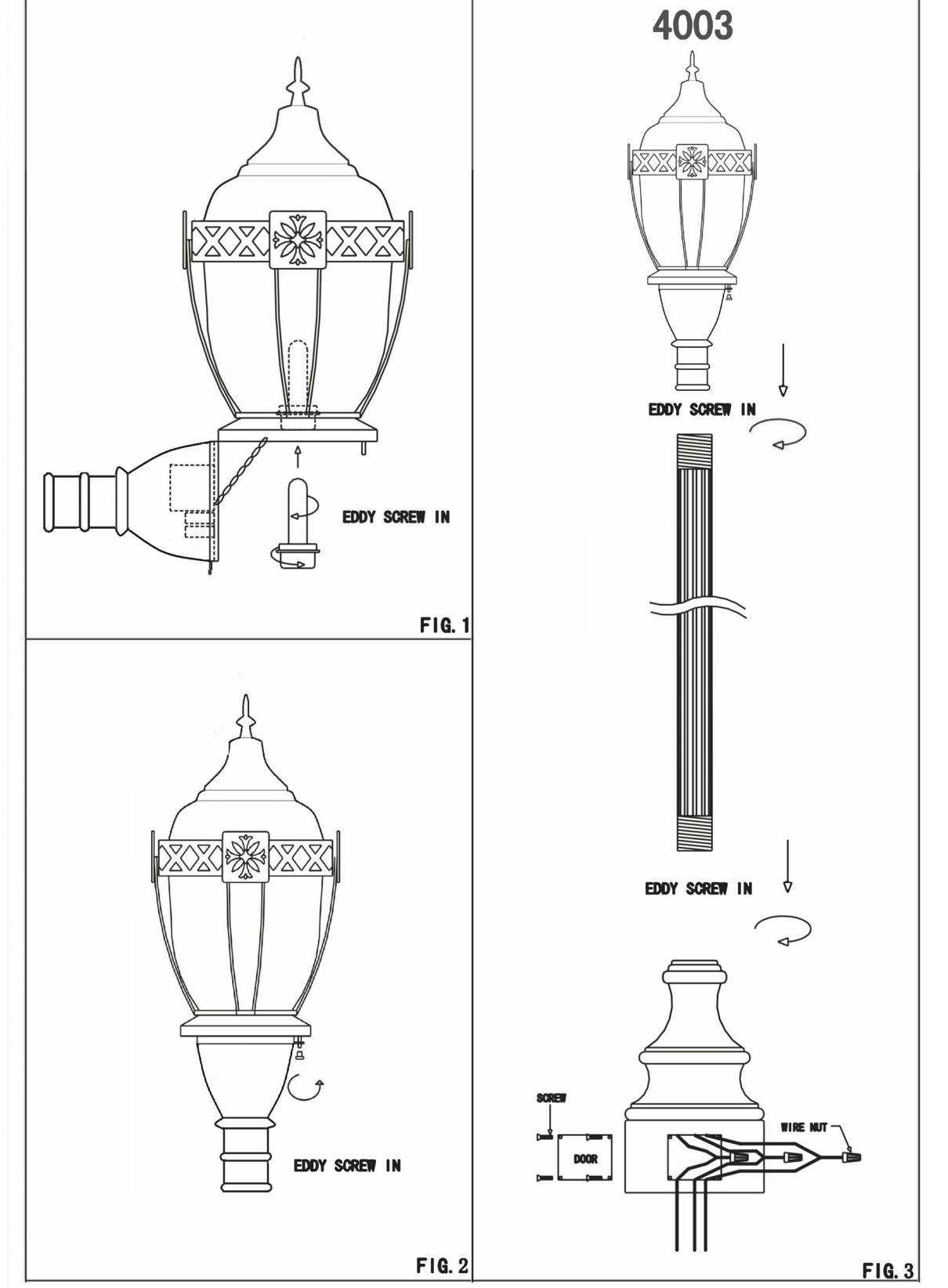
Material	Thickness	Outdoor	Service Temp. Range	Surface	Performance
Road-Free Aluminum	0.003"	5 to 120°F	-40° to 212° F	12 x 18"	None
Engineering Grade Reflective Aluminum	0.008"	Up to 2 Years	-10°F - 130°F	12 x 18"	None

The diagram above is a representation of a typical sign.
*Double Arrow (No Occasional Stop) may be moved closer to the edges in order to improve sign legibility.

2 No Parking Fire Lane Sign
1 1/2" = 1'-0"



3 Standard Street Lights
3/4" = 1'-0"

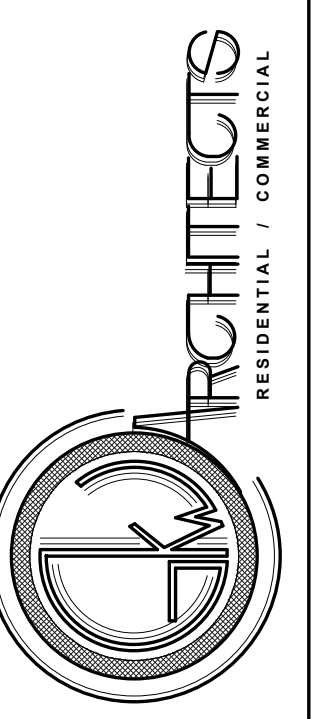


Fire Access Analysis & Site Lighting



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Oakley Residential Development

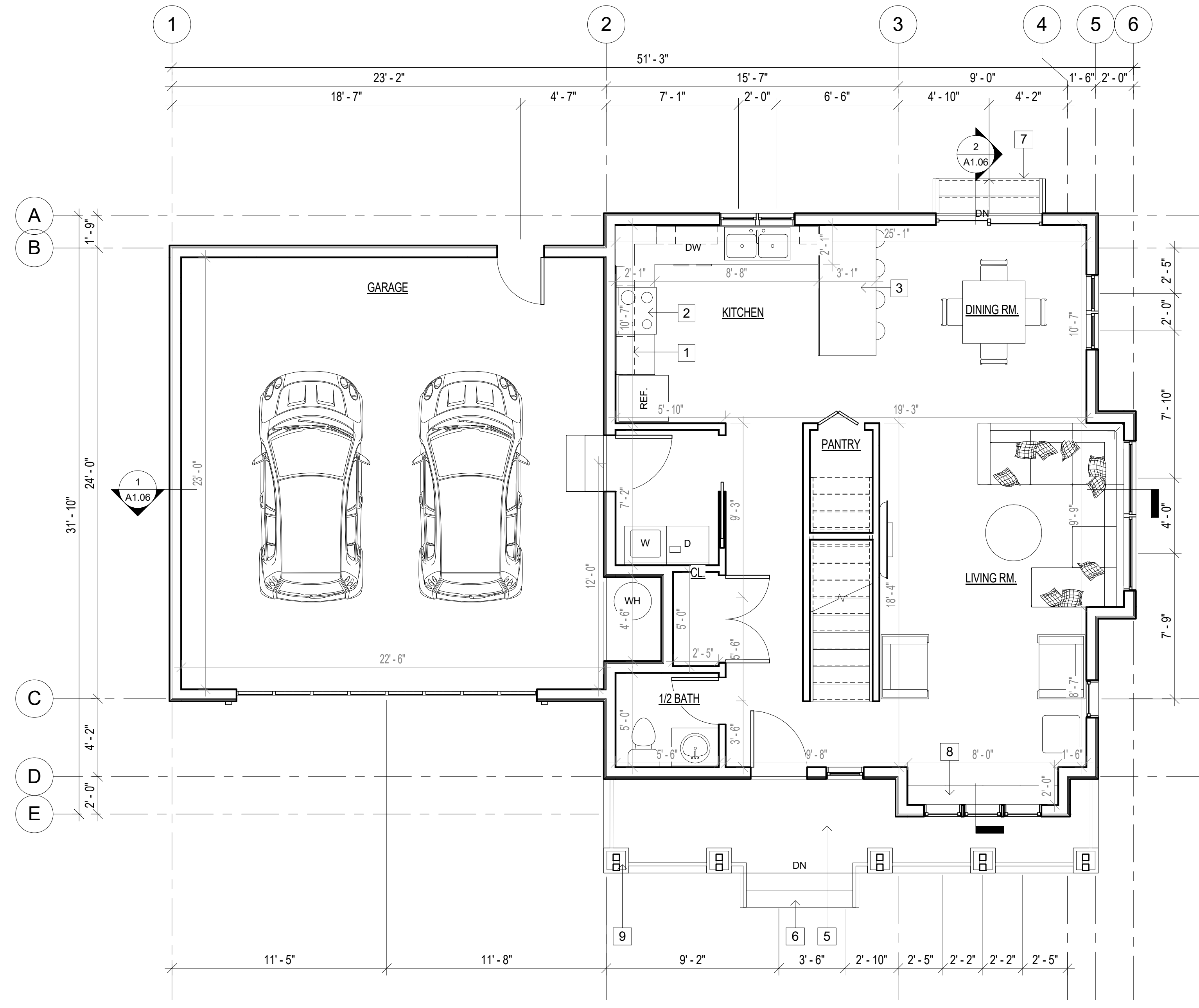
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

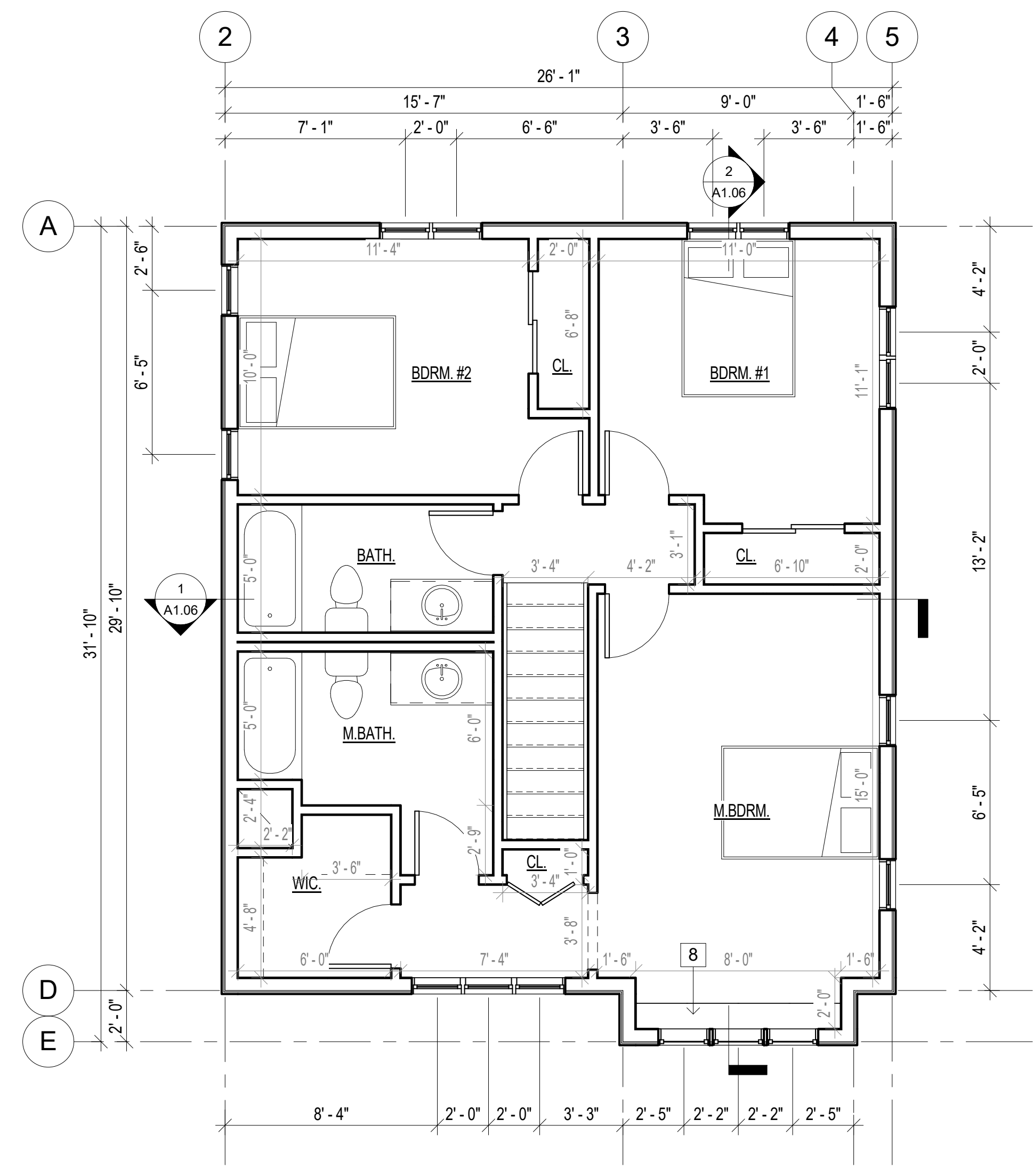
Fire Access
Analysis & Site
Lighting

A0.02

SCALE As indicated
8/5/2019 11:20:36 AM



① Design 1, Level 1 F.F. TYP.
1/4" = 1'-0"



② Design 1, Level 2 F.F. TYP.
1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS
- REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT

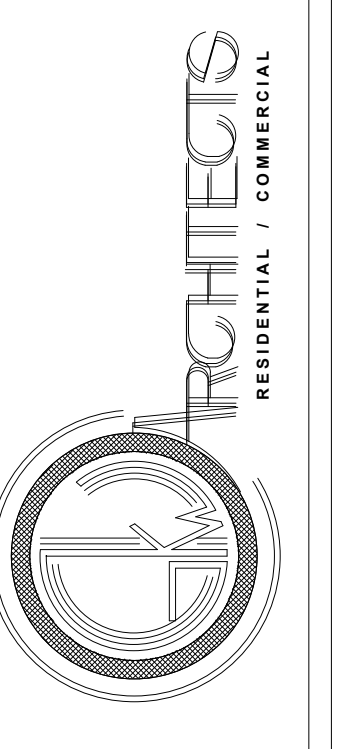
FLOOR PLAN KEYNOTES:

- ① CABINETS
- ② RANGE
- ③ KITCHEN ISLAND
- ④ UNDER STAIRS CLOSET
- ⑤ PORCH
- ⑥ FRONT STEPS
- ⑦ REAR STEPS
- ⑧ BENCH / STORAGE
- ⑨ COLUMN
- ⑩ DRY BAR



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Plan 1, Floor Plan, Level 1 & 2

Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 1, Floor Plan,
Level 1 & 2

A1.01

SCALE 1/4" = 1'-0"
8/5/2019 10:36:59 AM



① Front Elevation
1/4" = 1'-0"



④ Front Elevation
1/4" = 1'-0"

ELEVATION A

ELEVATION B

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

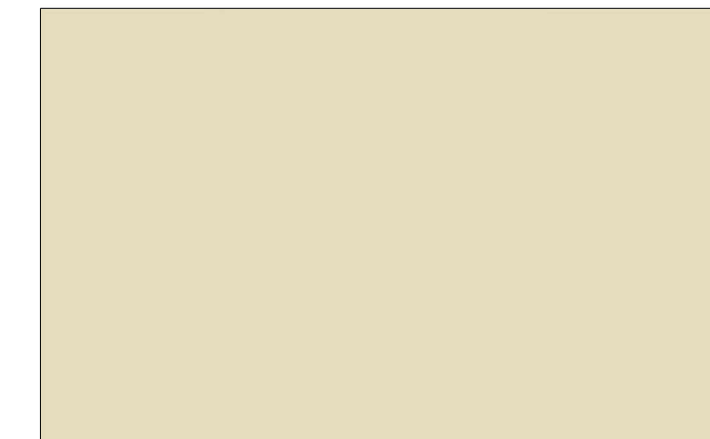
STANDING SEAM METAL- ROOF | AEP SPAN COOL DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6364 EGGWHITE



TRIM- EGGSHELL



OPTION 2

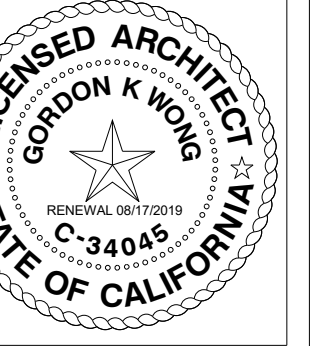
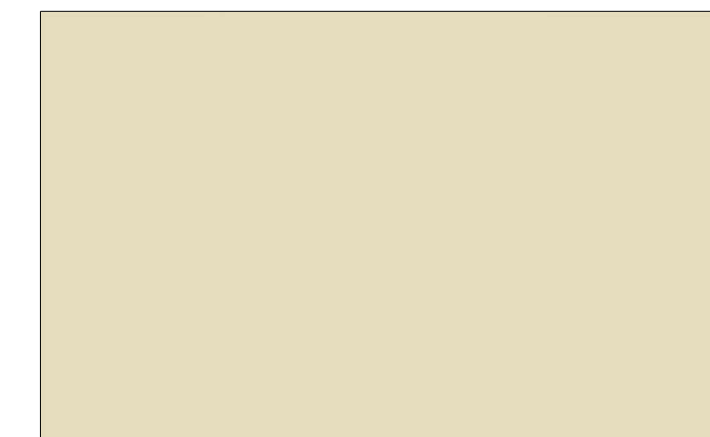
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7006 EXTRA WHITE

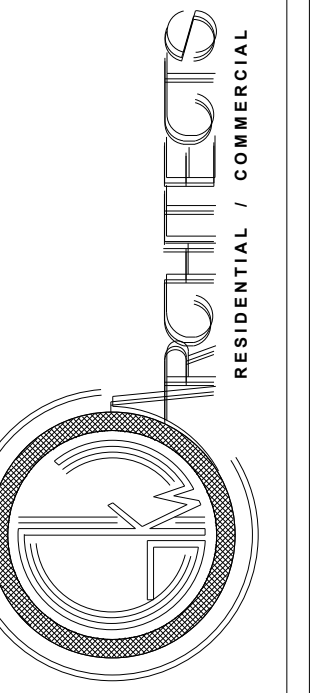


TRIM- EGGSHELL



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Plan 1, Front Elevation Variations

Oakley Residential Development

2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 1, Front
Elevation
Variations

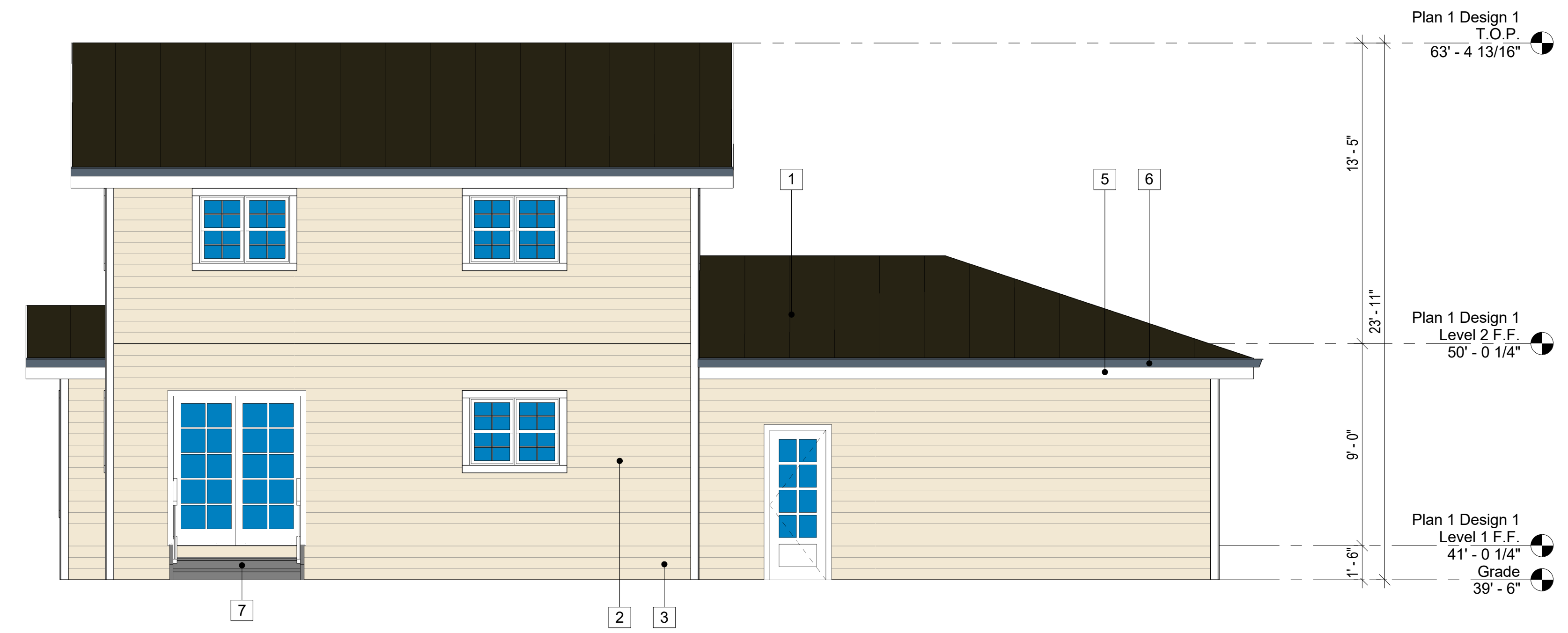
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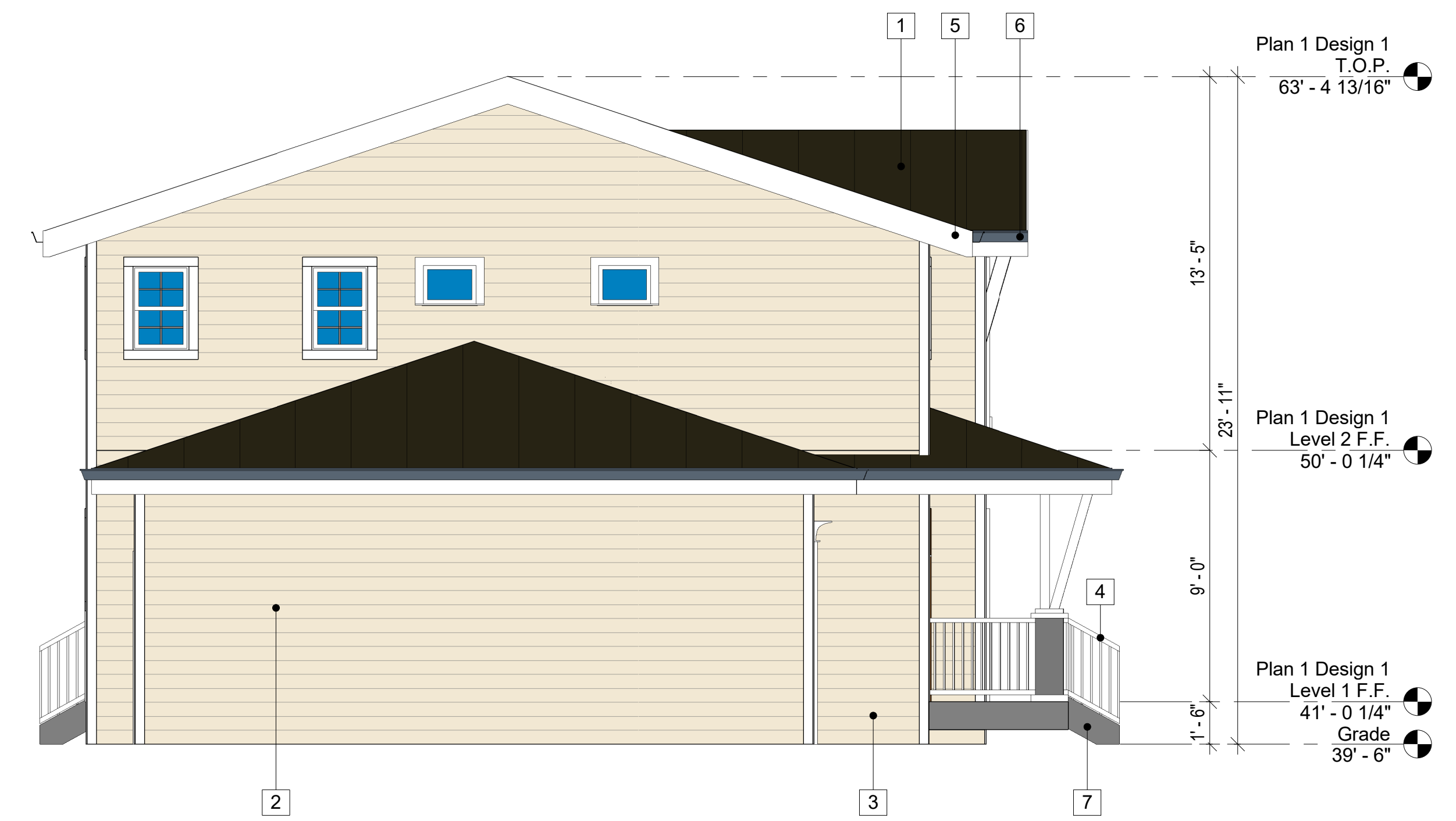
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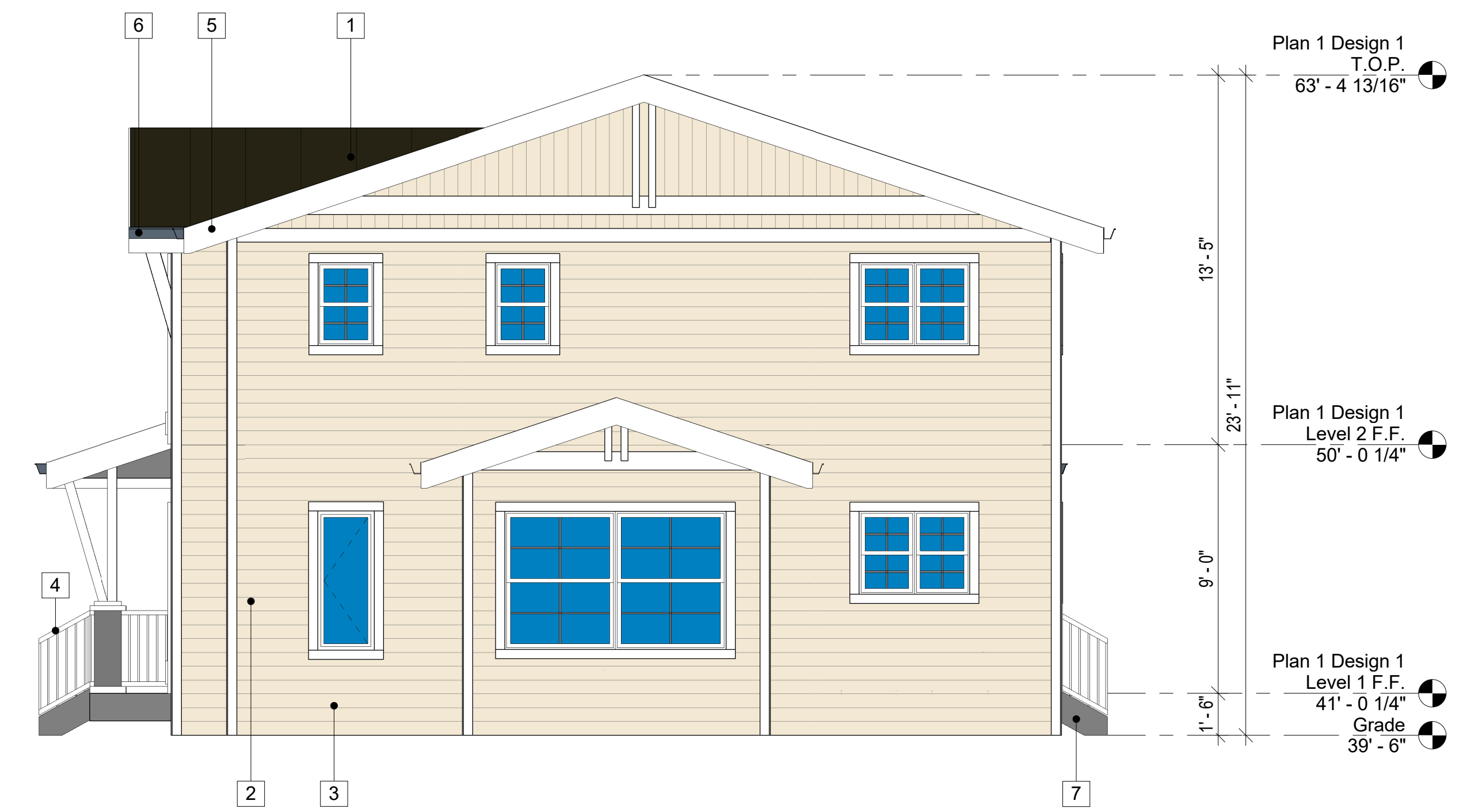
④ Front Elevation
1/4" = 1'-0"



① Rear Elevation
1/4" = 1'-0"



③ Side Elevation
1/4" = 1'-0"



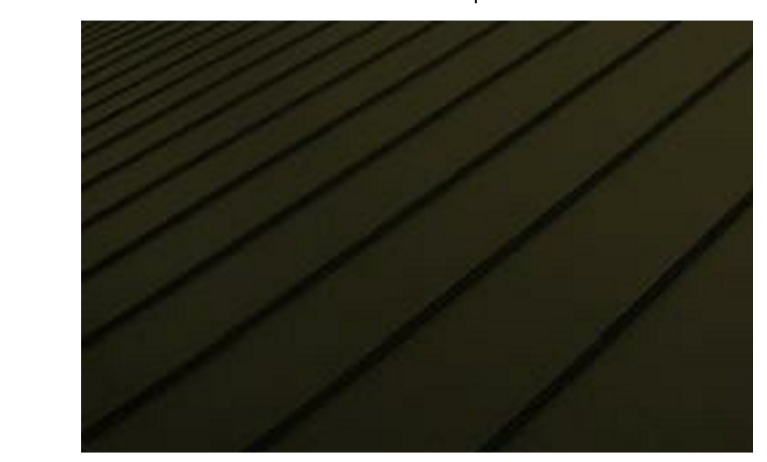
② Side Elevation
1/4" = 1'-0"

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

STANDING SEAM METAL- ROOF | AEP SPAN COOL DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6364 EGGWHITE



TRIM- EGGSHELL



OPTION 2

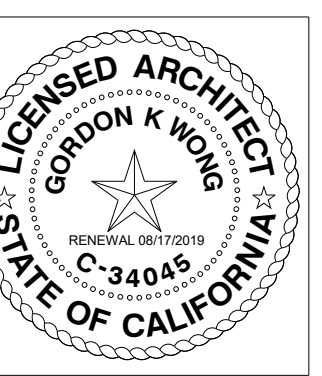
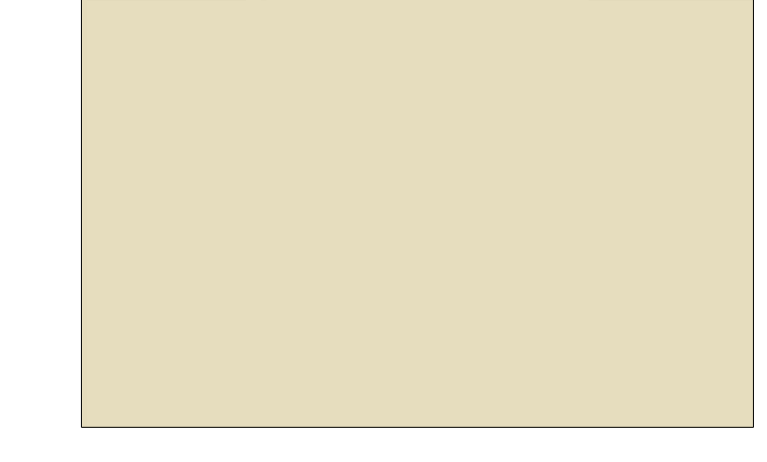
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7006 EXTRA WHITE

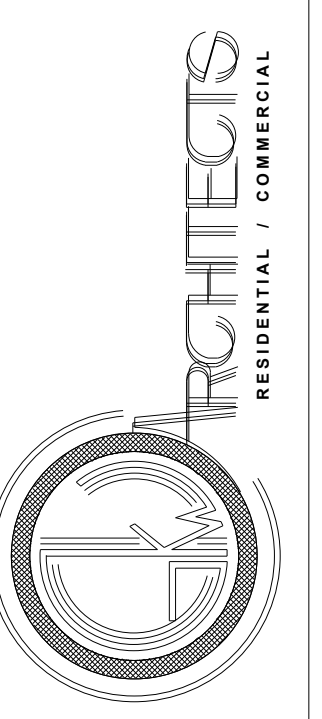


TRIM- EGGSHELL



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Plan 1, Elevations A

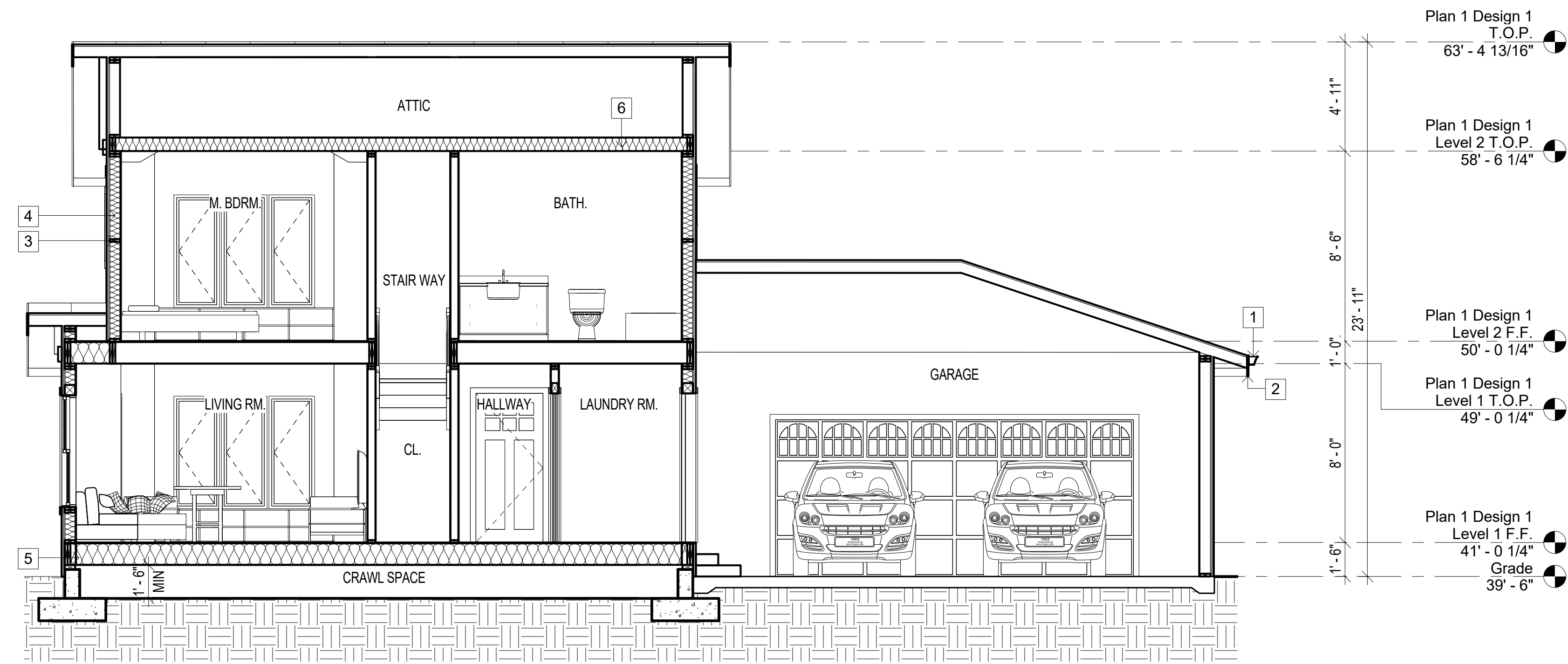
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 1, Elevations
A

A1.03

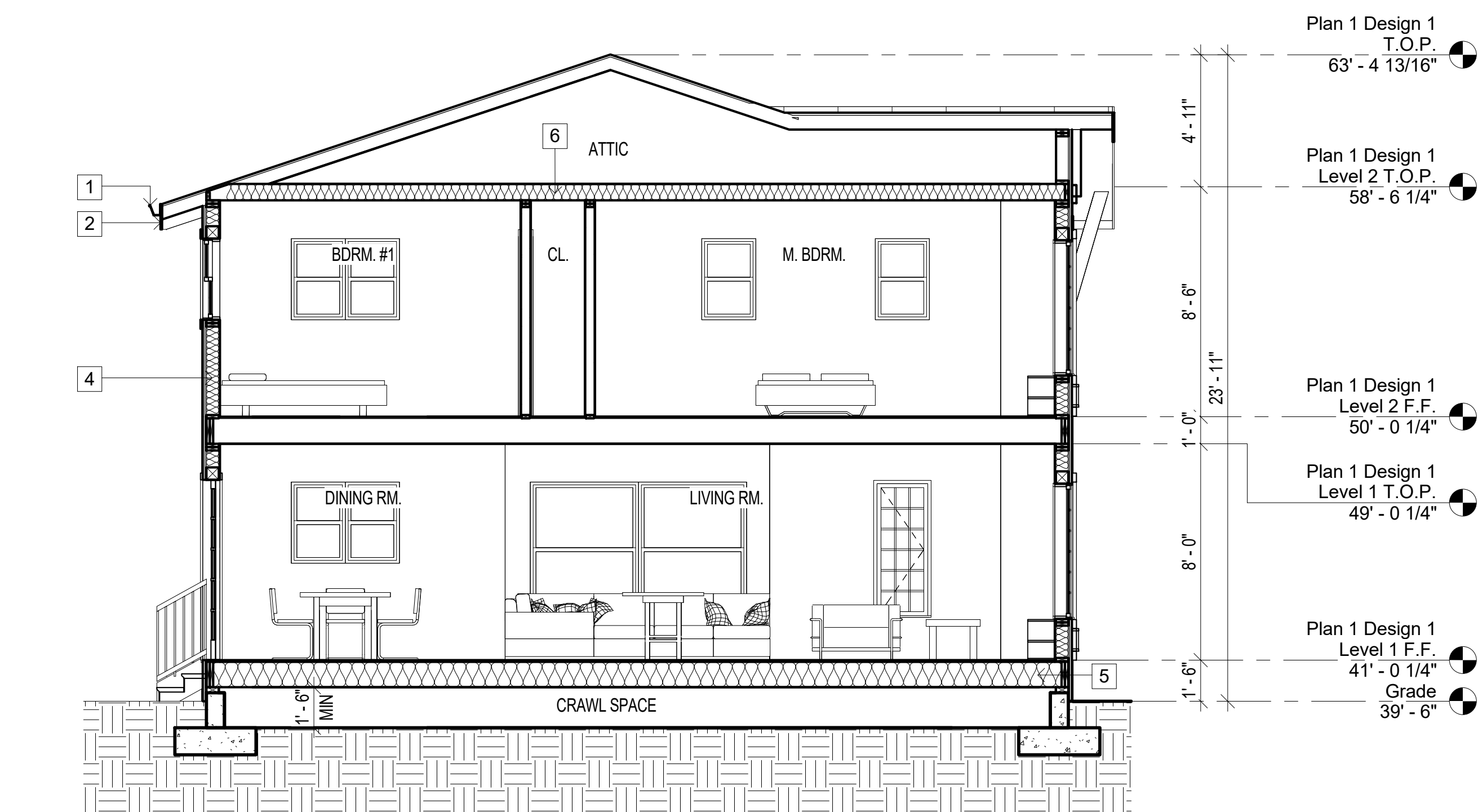
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1 Section 1
1/4" = 1'-0"

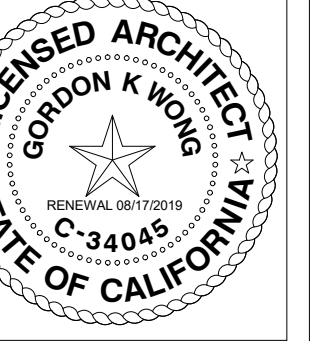
SECTION KEYNOTES

- 1 GUTTER
- 2 FASCIA
- 3 FIRE BLOCK TYP.
- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING



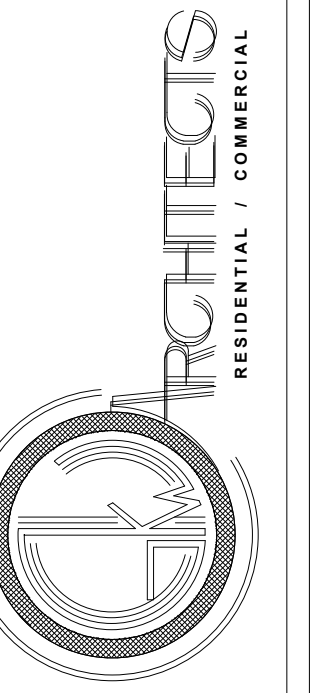
2 Section 2
1/4" = 1'-0"

Plan 1, Sections A



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Oakley, CA

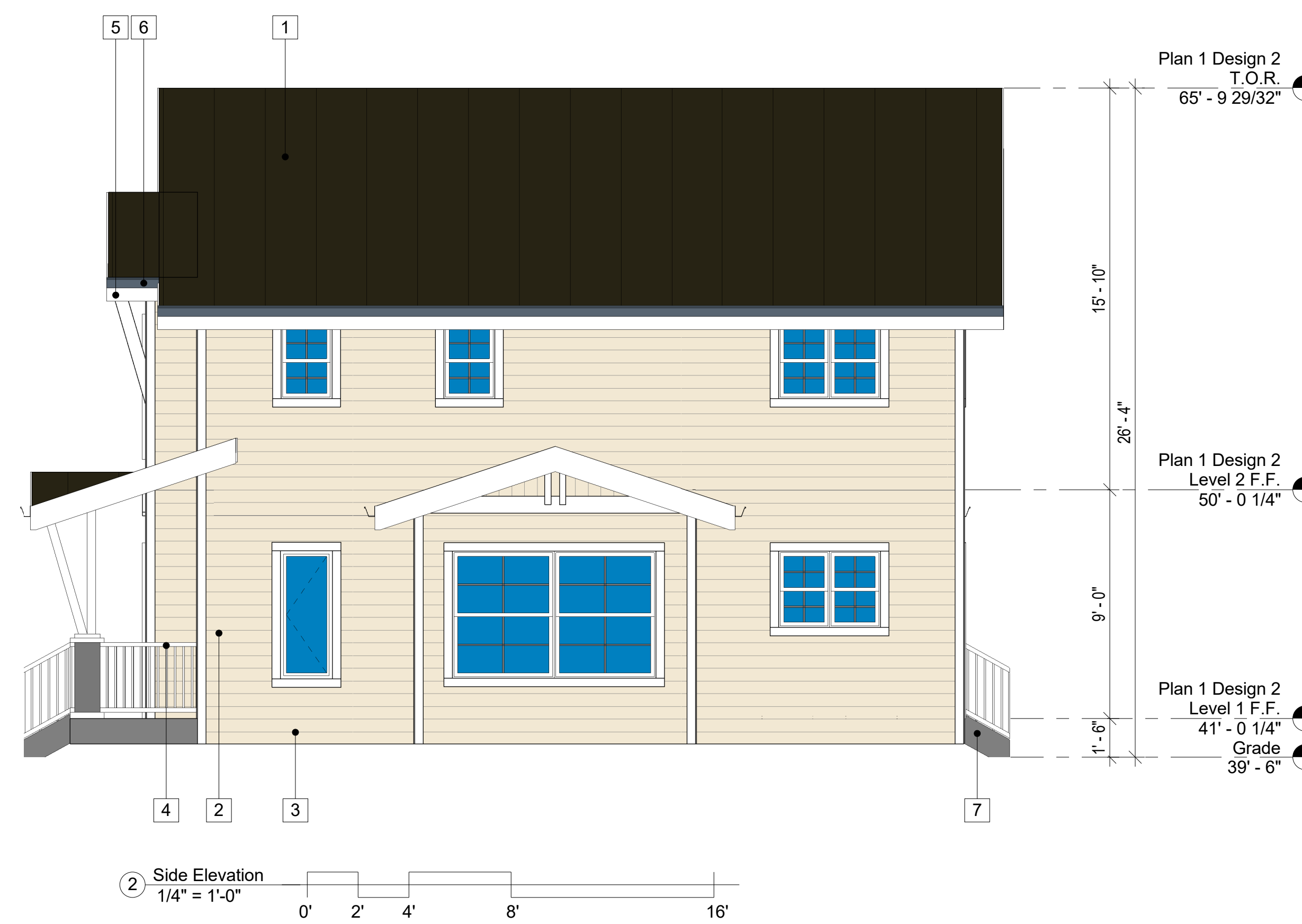
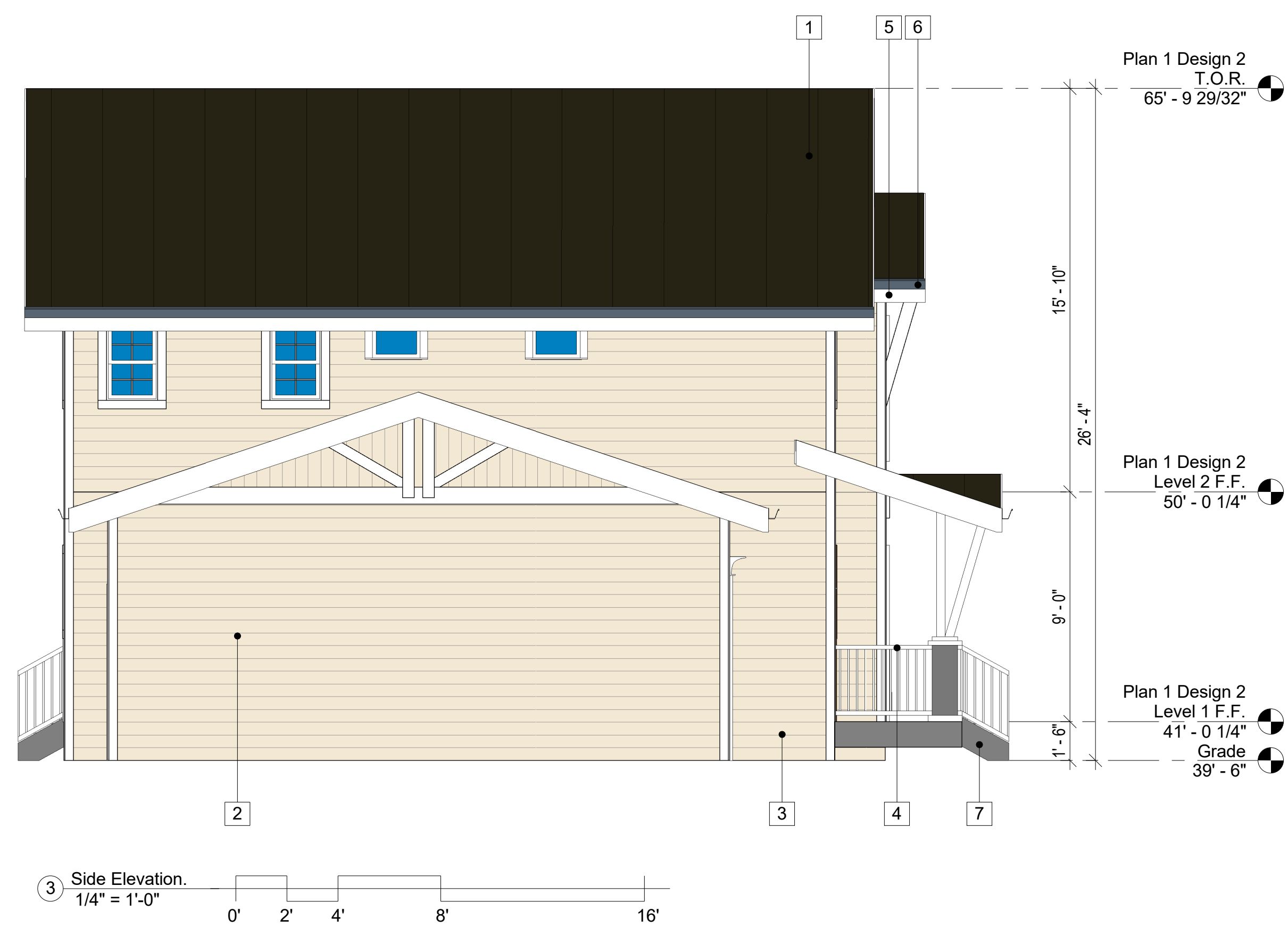
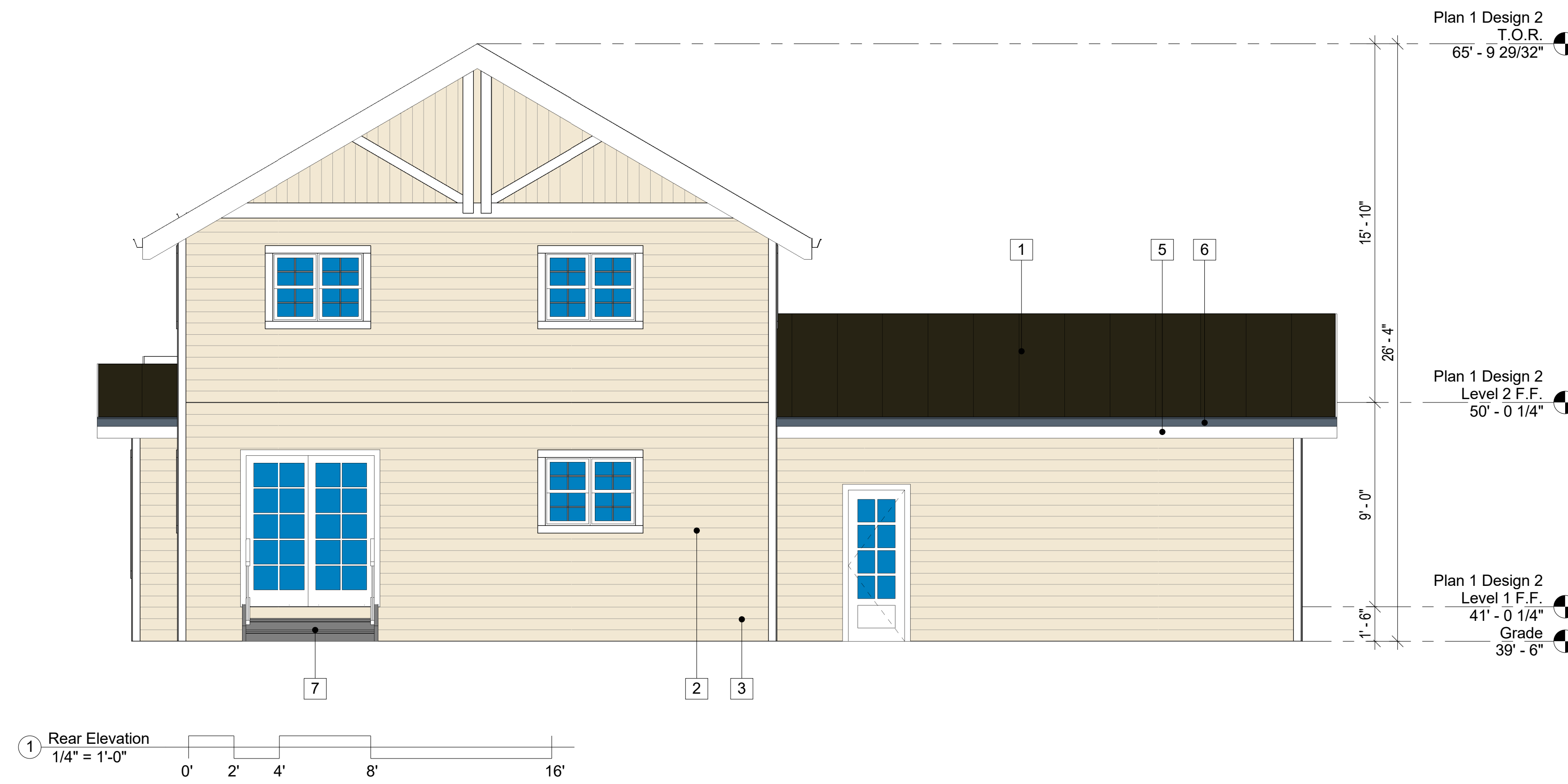
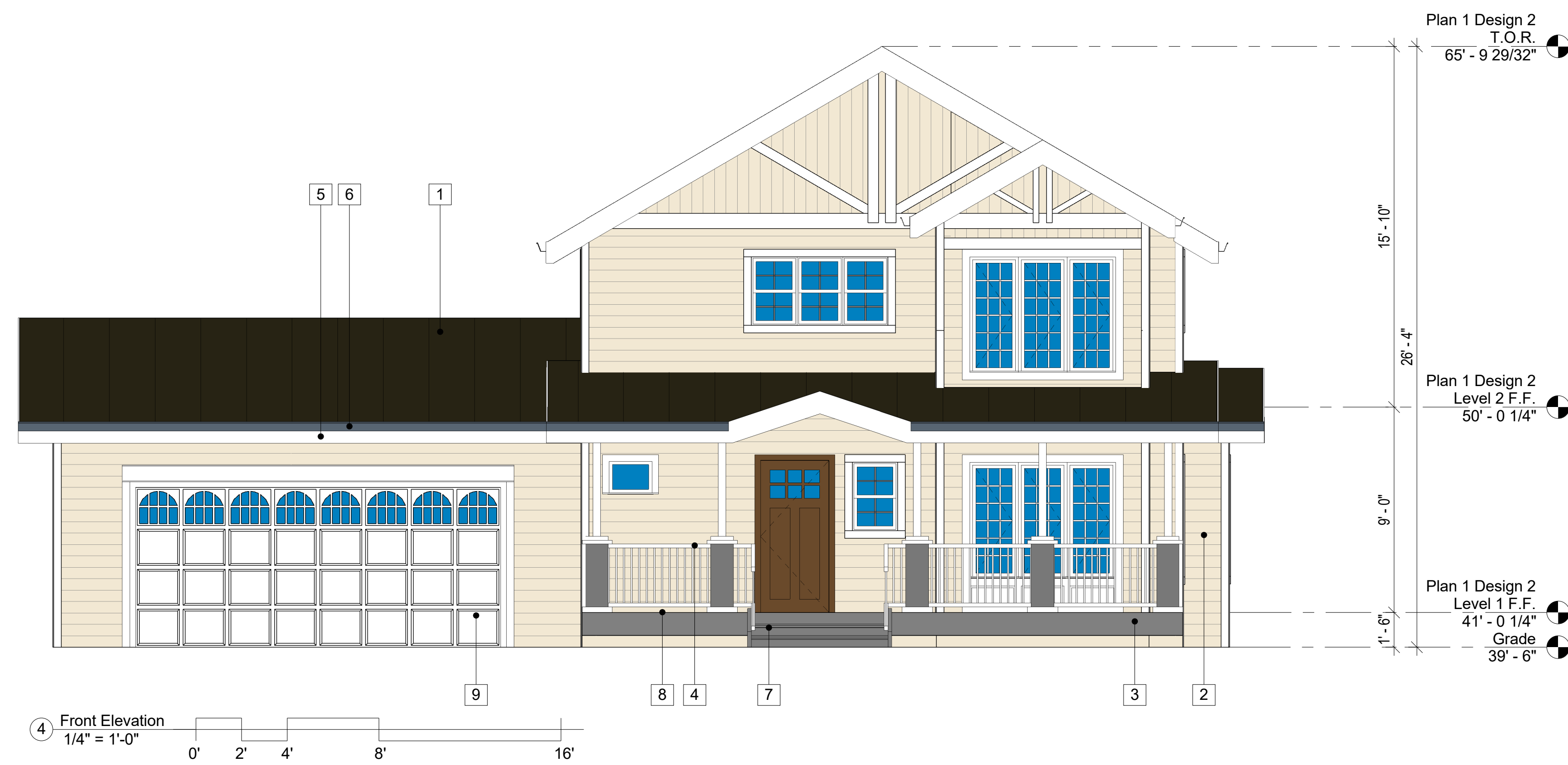
Project Schedule
Revision

Plan 1, Sections A

A1.04

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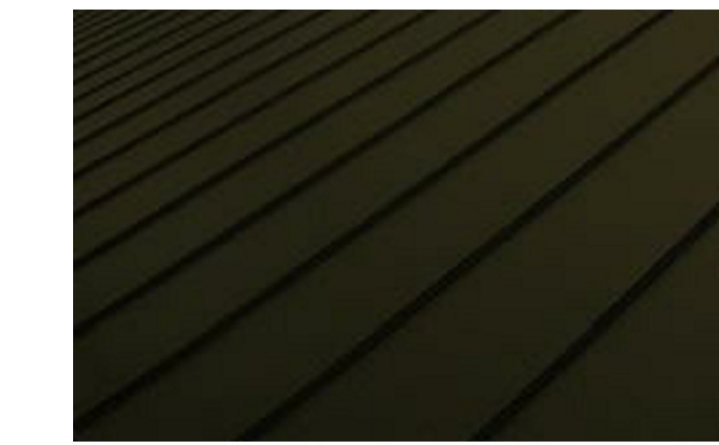


ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

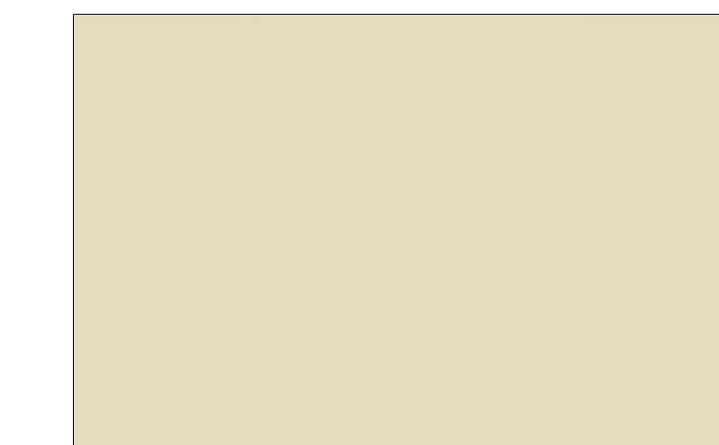
STANDING SEAM METAL- ROOF | AEP SPAN COOL DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6364 EGGWHITE



TRIM- EGGSHELL



OPTION 2

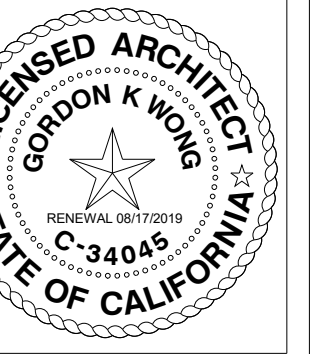
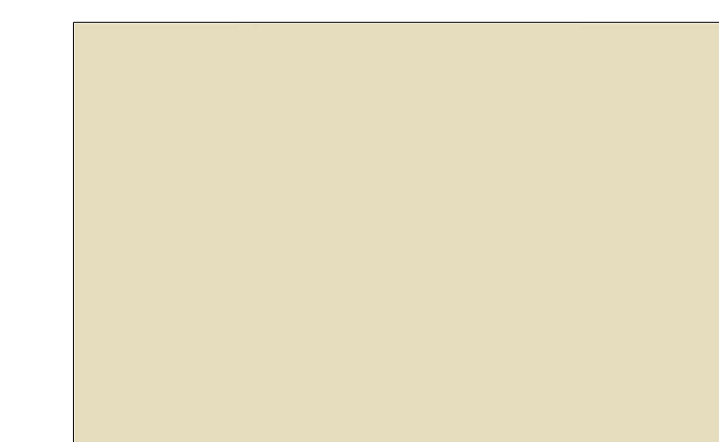
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7006 EXTRA WHITE

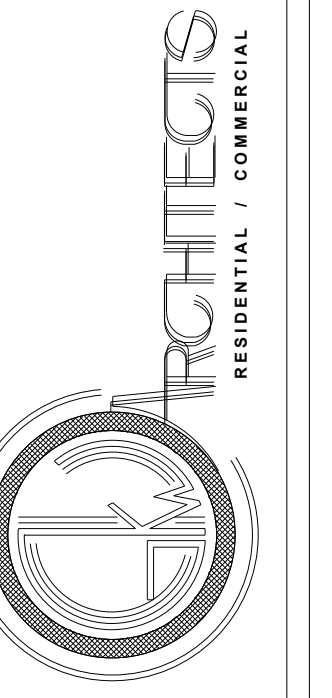


TRIM- EGGSHELL



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Plan 1, Elevations B

Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 1, Elevations
B

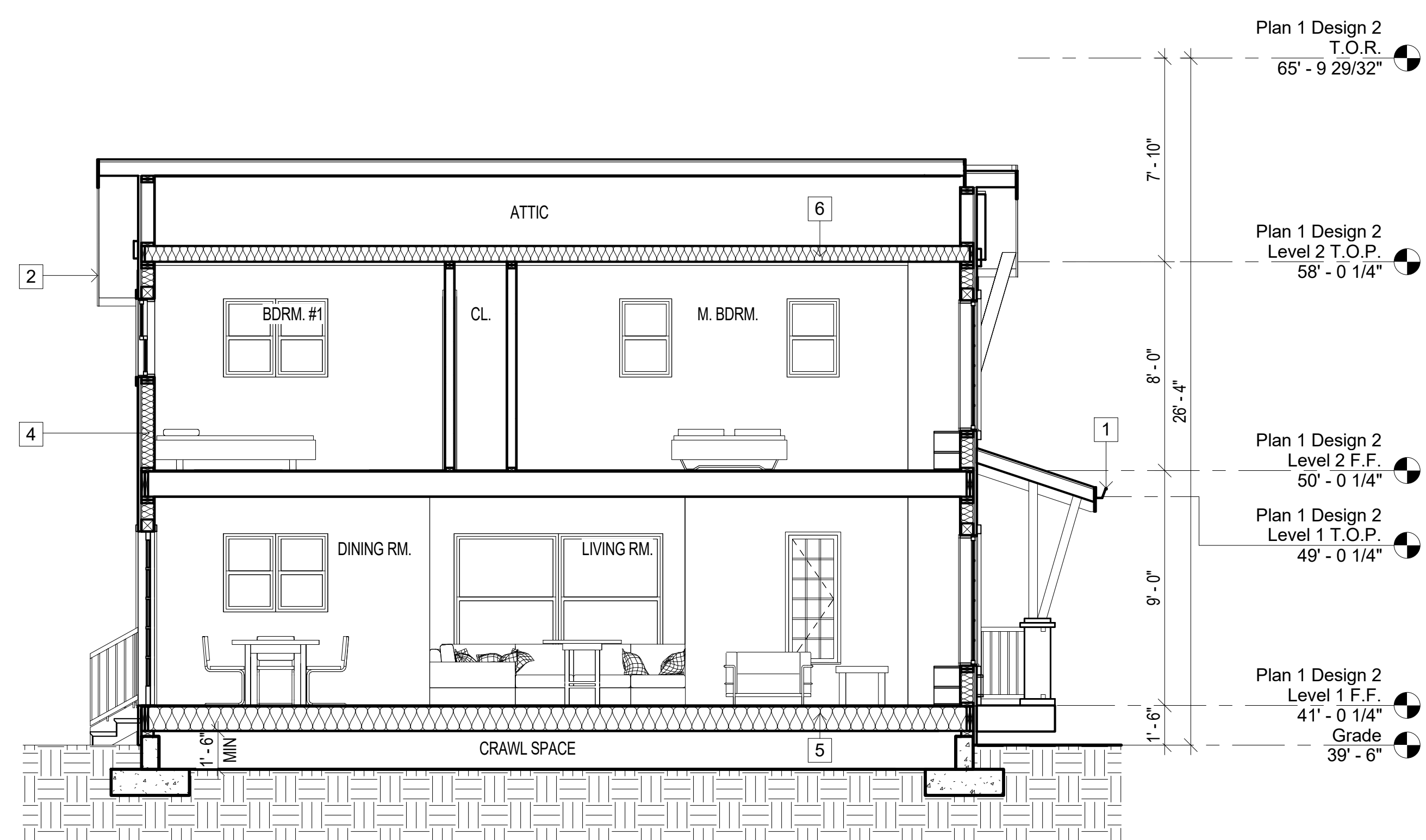
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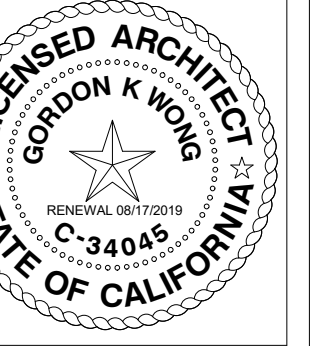
1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

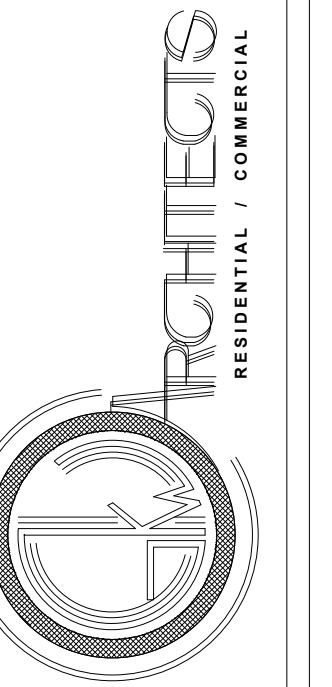
SECTION KEYNOTES

- 1 GUTTER
- 2 FASCIA
- 3 FIRE BLOCK TYP.
- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING



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Plan 1, Sections B

Oakley Residential Development

2480 Oakley Road
Oakley, CA

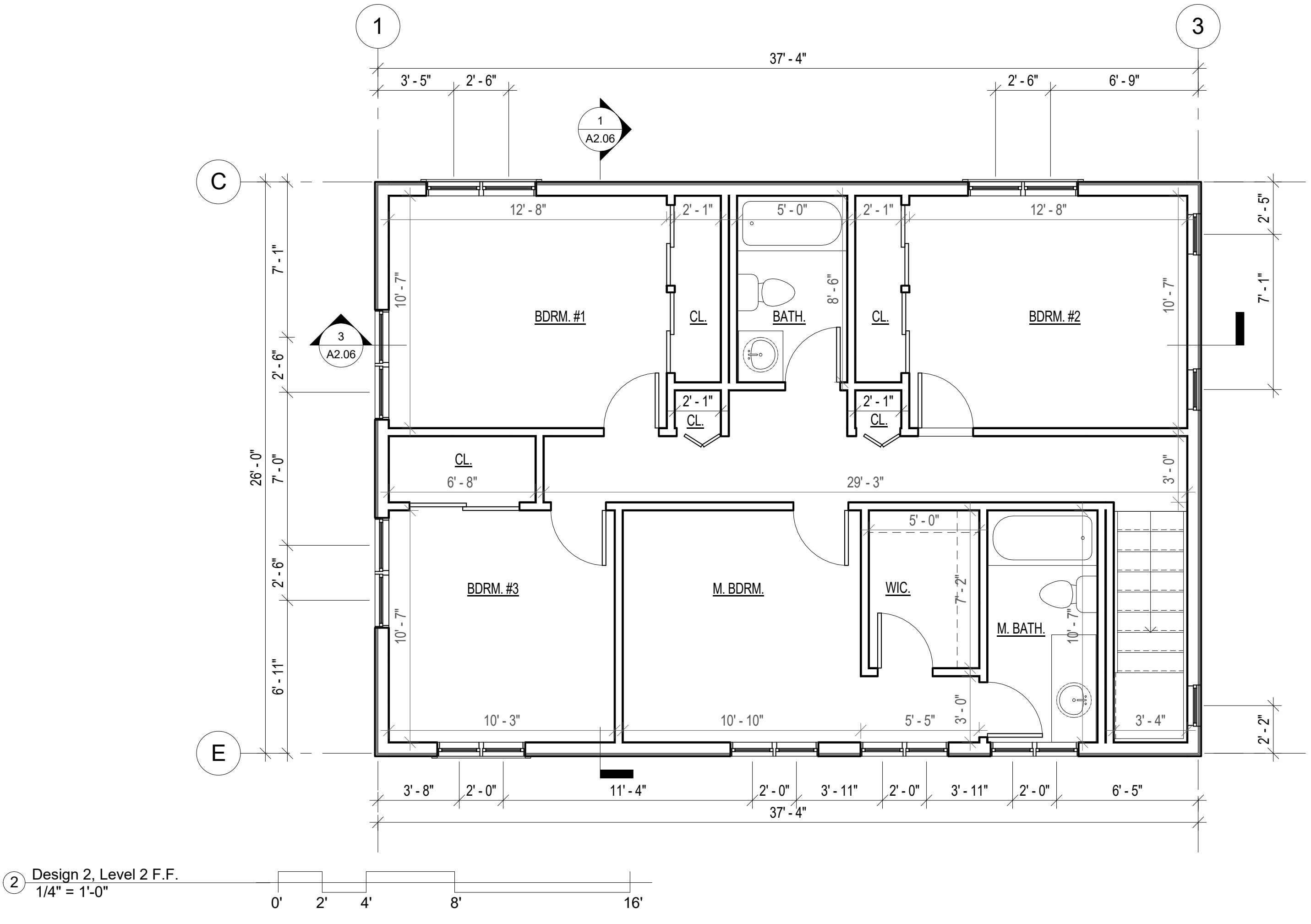
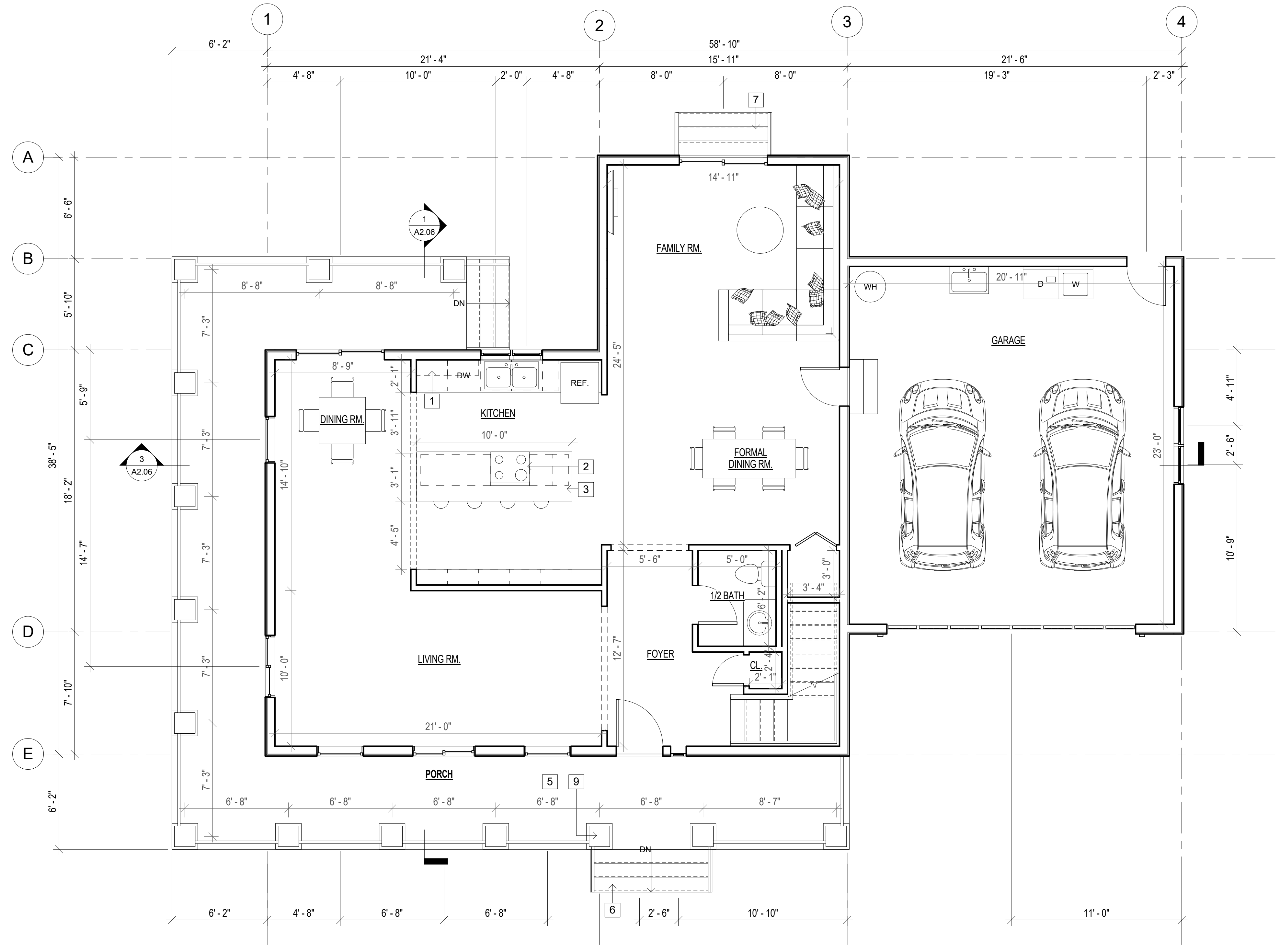
Project Schedule
Revision

Plan 1, Sections B

A1.06

SCALE 1/4" = 1'-0"

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FLOOR PLAN NOTES

- CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS
- REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT

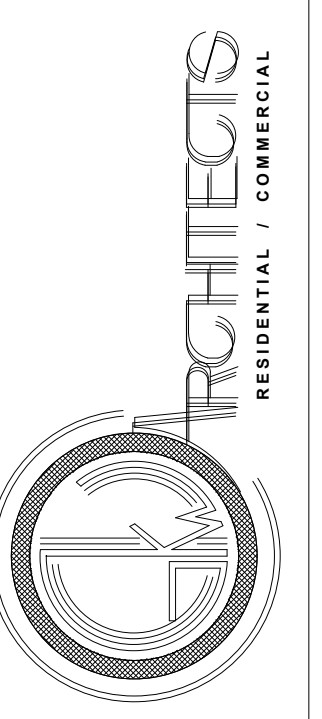
FLOOR PLAN KEYNOTES:

- 1 CABINETS
- 2 RANGE
- 3 KITCHEN ISLAND
- 4 UNDER STAIRS CLOSET
- 5 PORCH
- 6 FRONT STEPS
- 7 REAR STEPS
- 8 BENCH / STORAGE
- 9 COLUMN
- 10 DRY BAR



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Plan 2, Floor Plan, Level 1 & 2

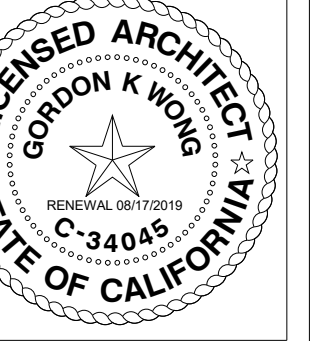
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 2, Floor Plan,
Level 1 & 2

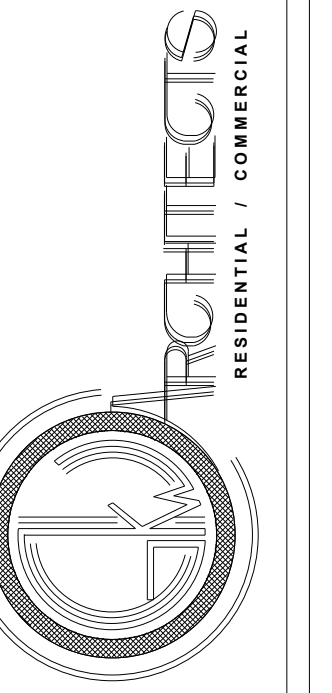
A2.01

SCALE 1/4" = 1'-0"
8/2/2019 4:43:13 PM



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Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 2, Front
Elevation
Variations

A2.02

SCALE 1/4" = 1'-0"
8/2/2019 4:58:01 PM

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR
- 10 SIDELIGHT

OPTION 1

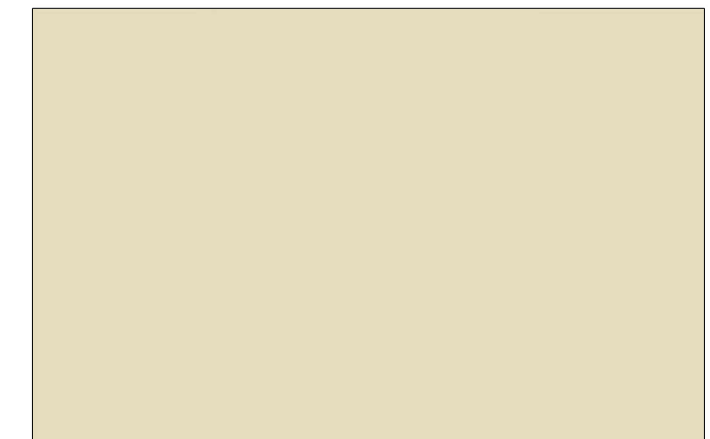
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 6235 FOGGY DAY



TRIM- EGGSHELL



OPTION 2

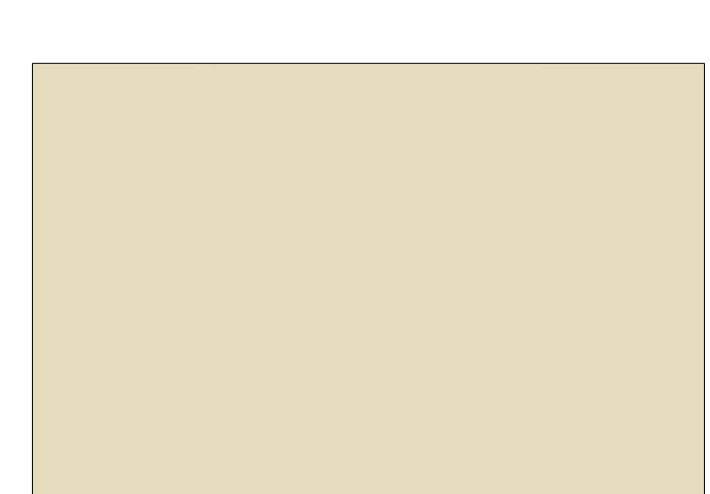
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



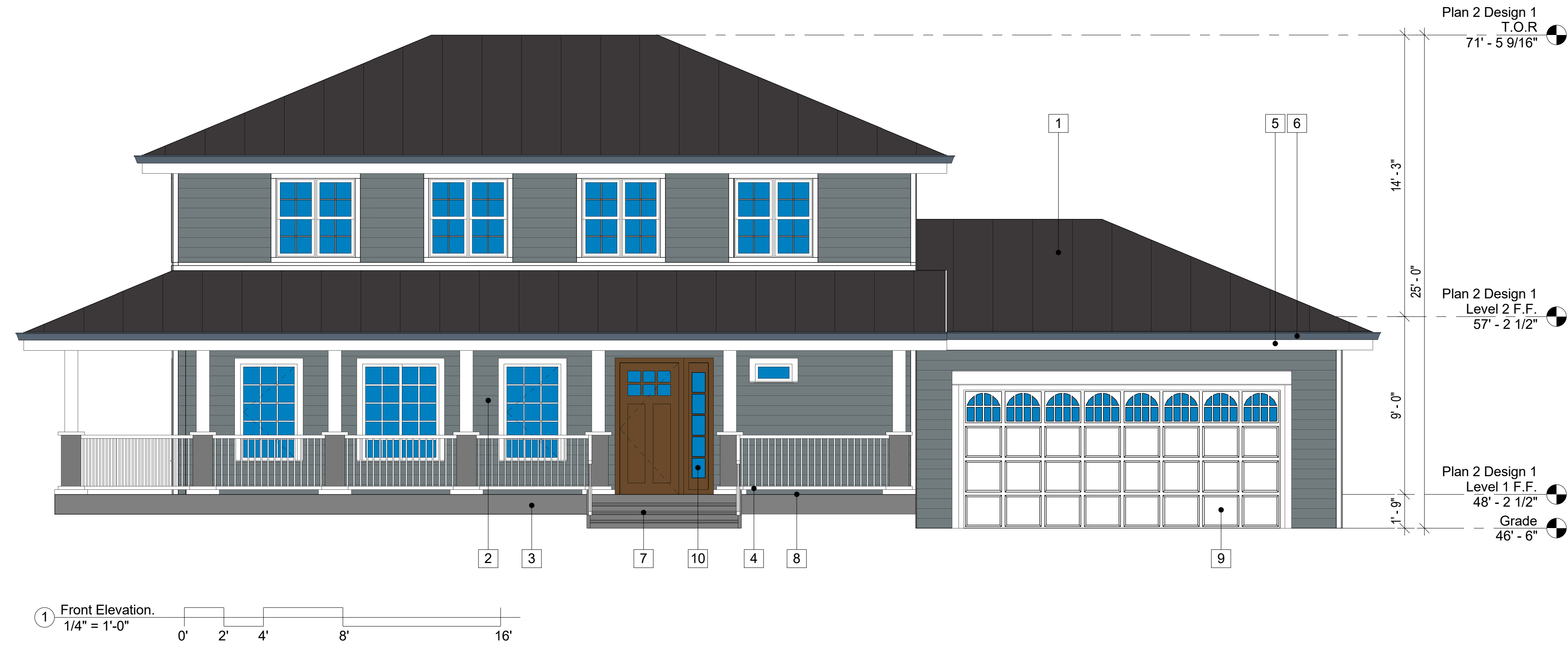
EXTERIOR WOOD LAP SIDING | SW 6450 EASY GREEN



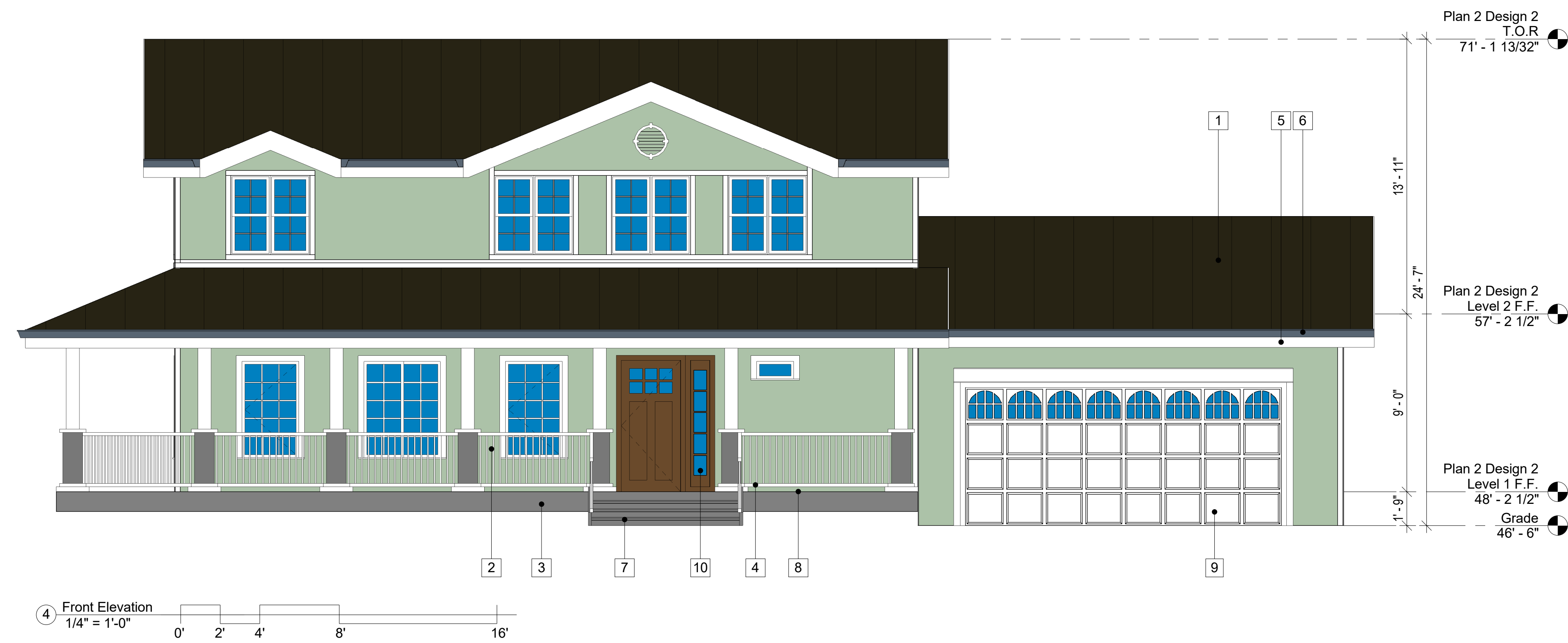
TRIM- EGGSHELL



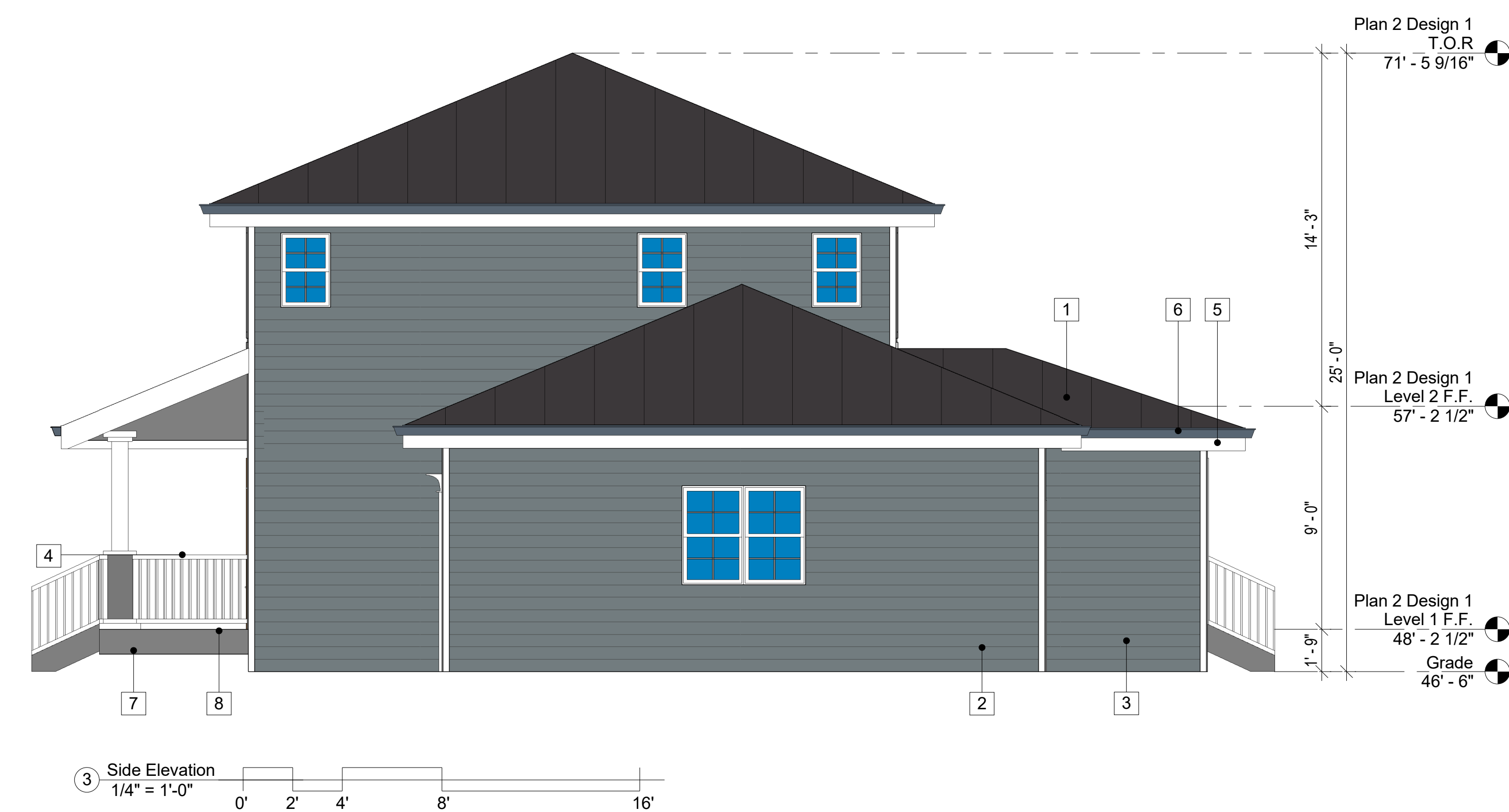
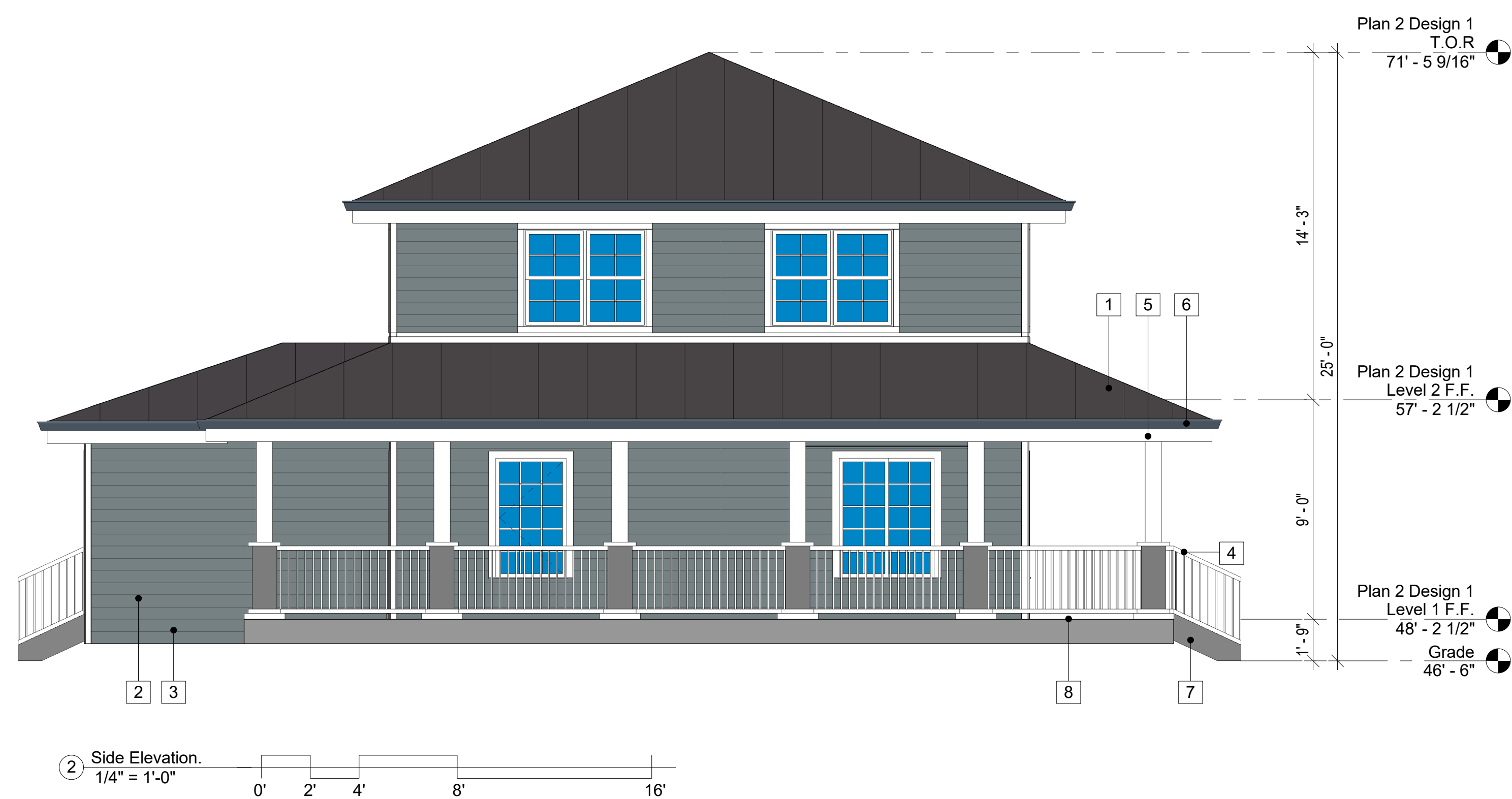
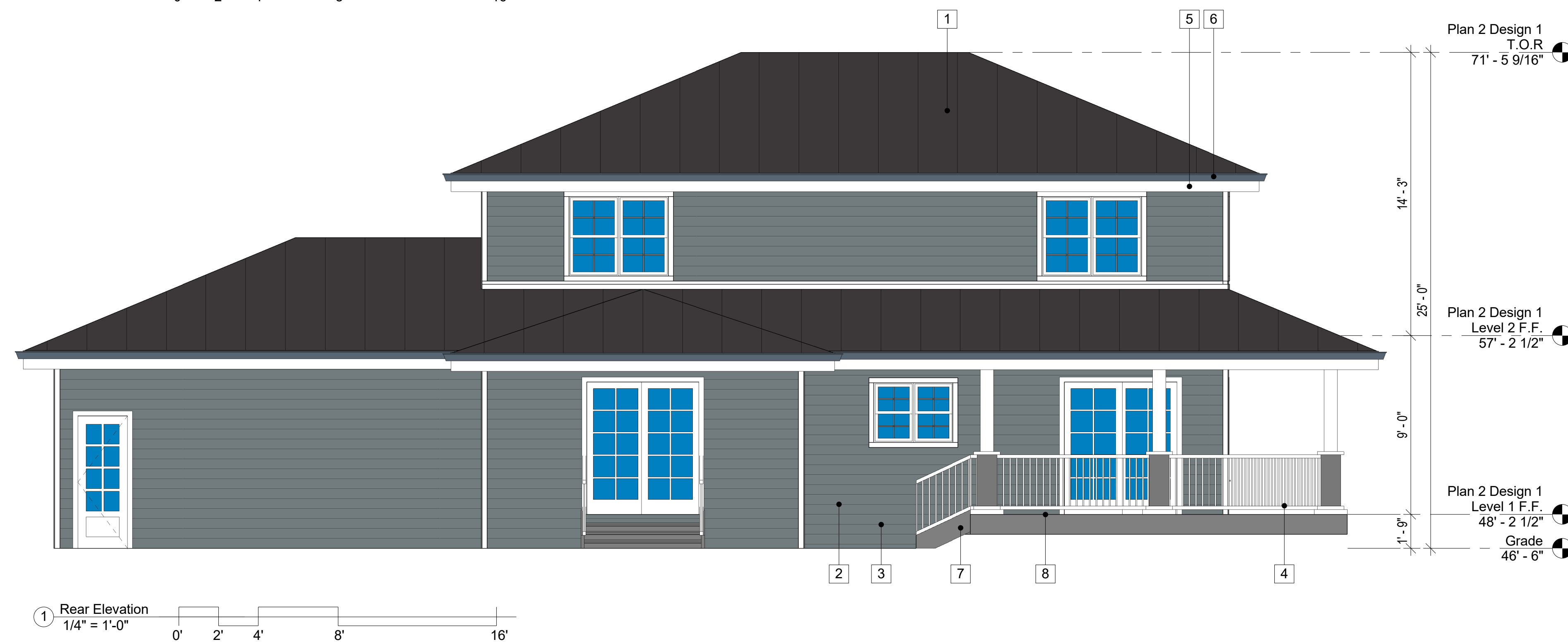
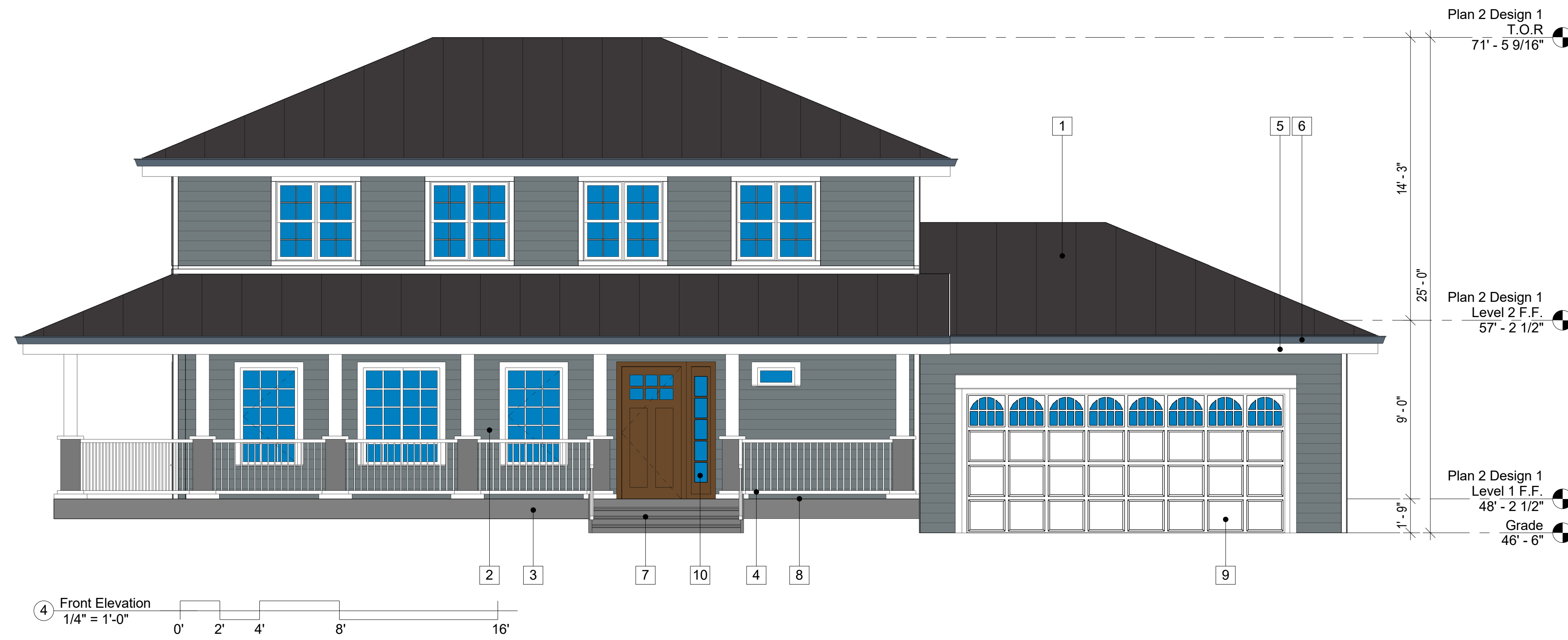
ELEVATION A



ELEVATION A



Plan 2, Front Elevation Variations



ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR
- 10 SIDELIGHT

OPTION 1

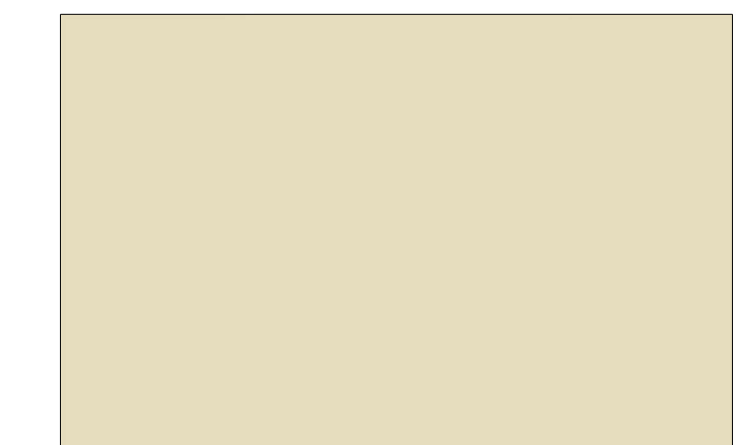
STANDING SEAM METAL-ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 6235 FOGGY DAY



TRIM- EGGSHELL



OPTION 2

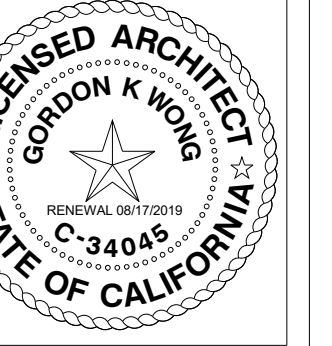
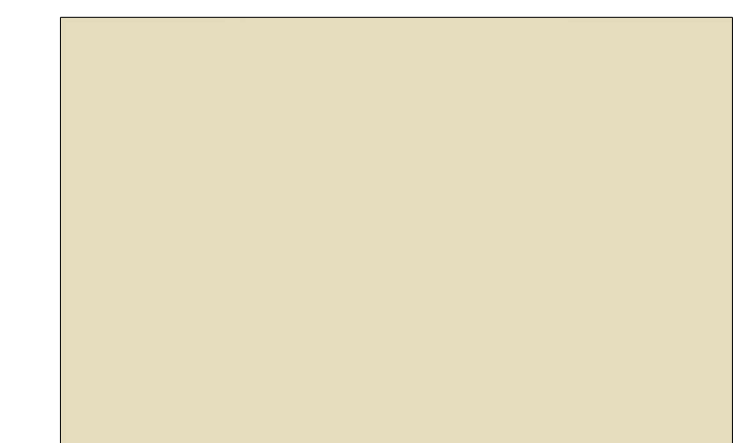
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EXTERIOR WOOD LAP SIDING | SW 6450 EASY GREEN

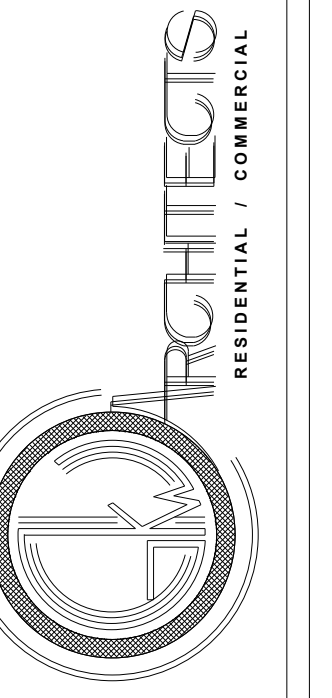


TRIM- EGGSHELL



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Plan 2, Elevations A

Oakley Residential Development

2480 Oakley Road
Oakley, CA

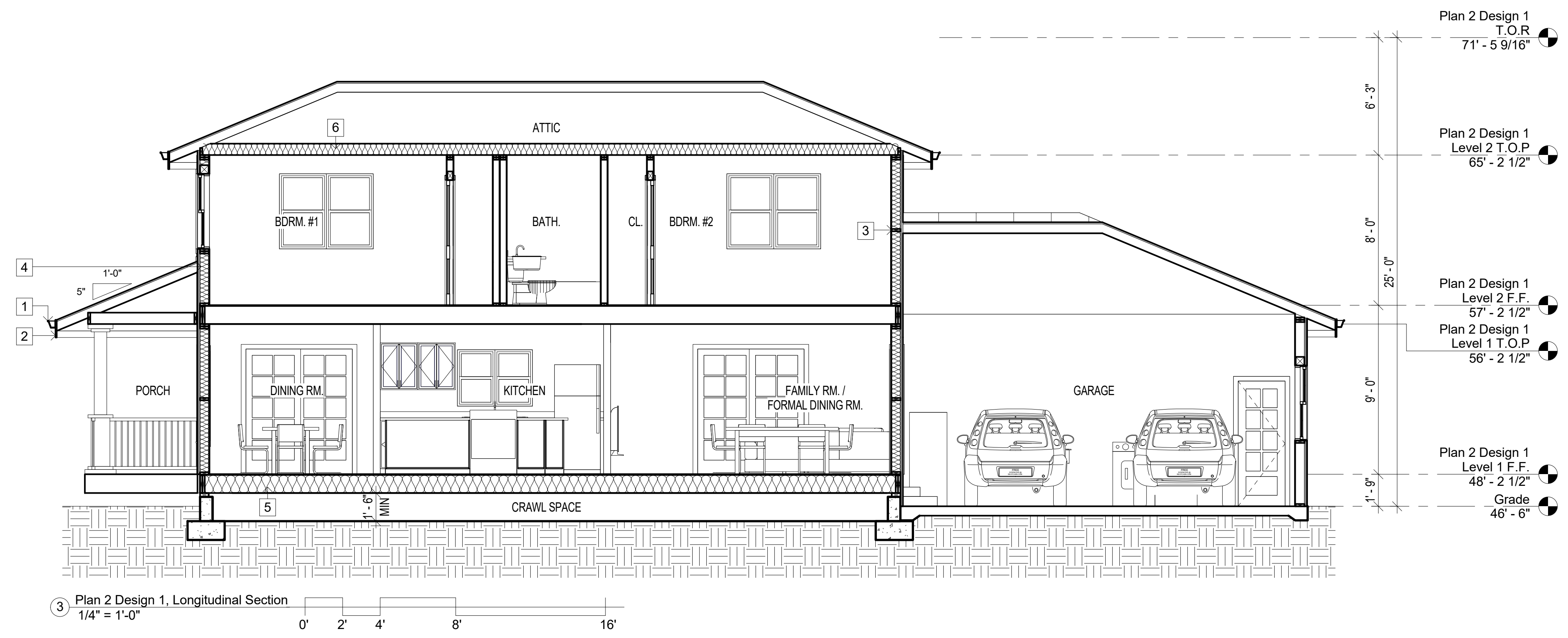
Project Schedule
Revision

Plan 2, Elevations
A

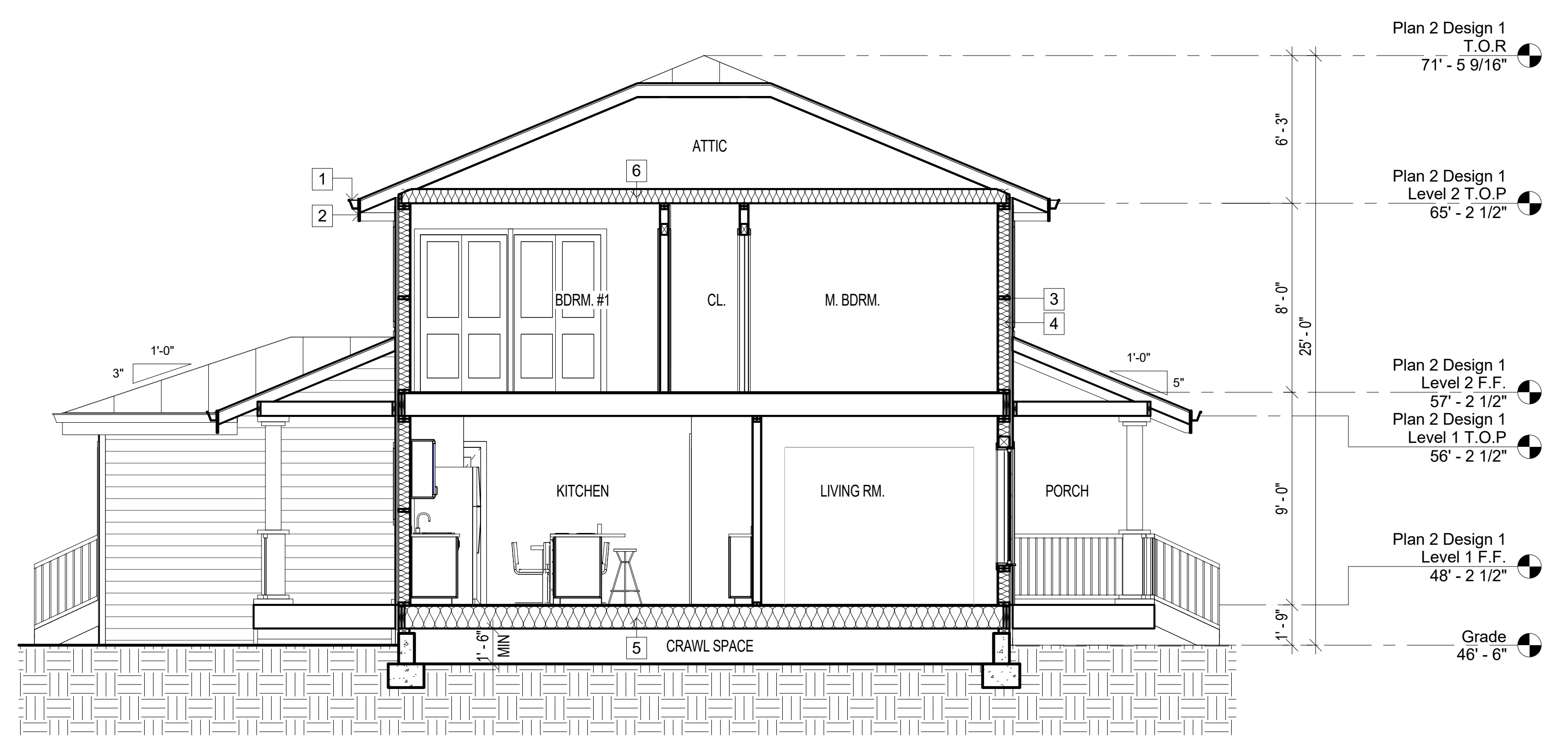
A2.03

SCALE 1/4" = 1'-0"

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③ Plan 2 Design 1, Longitudinal Section
1/4" = 1'-0"



① Plan 2 Design 1, Cross Section
1/4" = 1'-0"

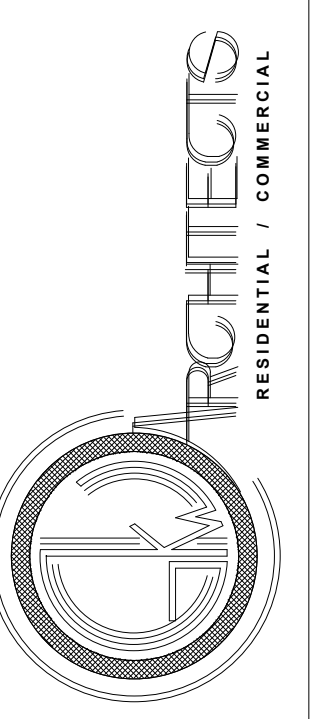
SECTION KEYNOTES

- 1 GUTTER
- 2 FASCIA
- 3 FIRE BLOCK TYP.
- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING



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Plan 2, Sections A

Oakley Residential Development
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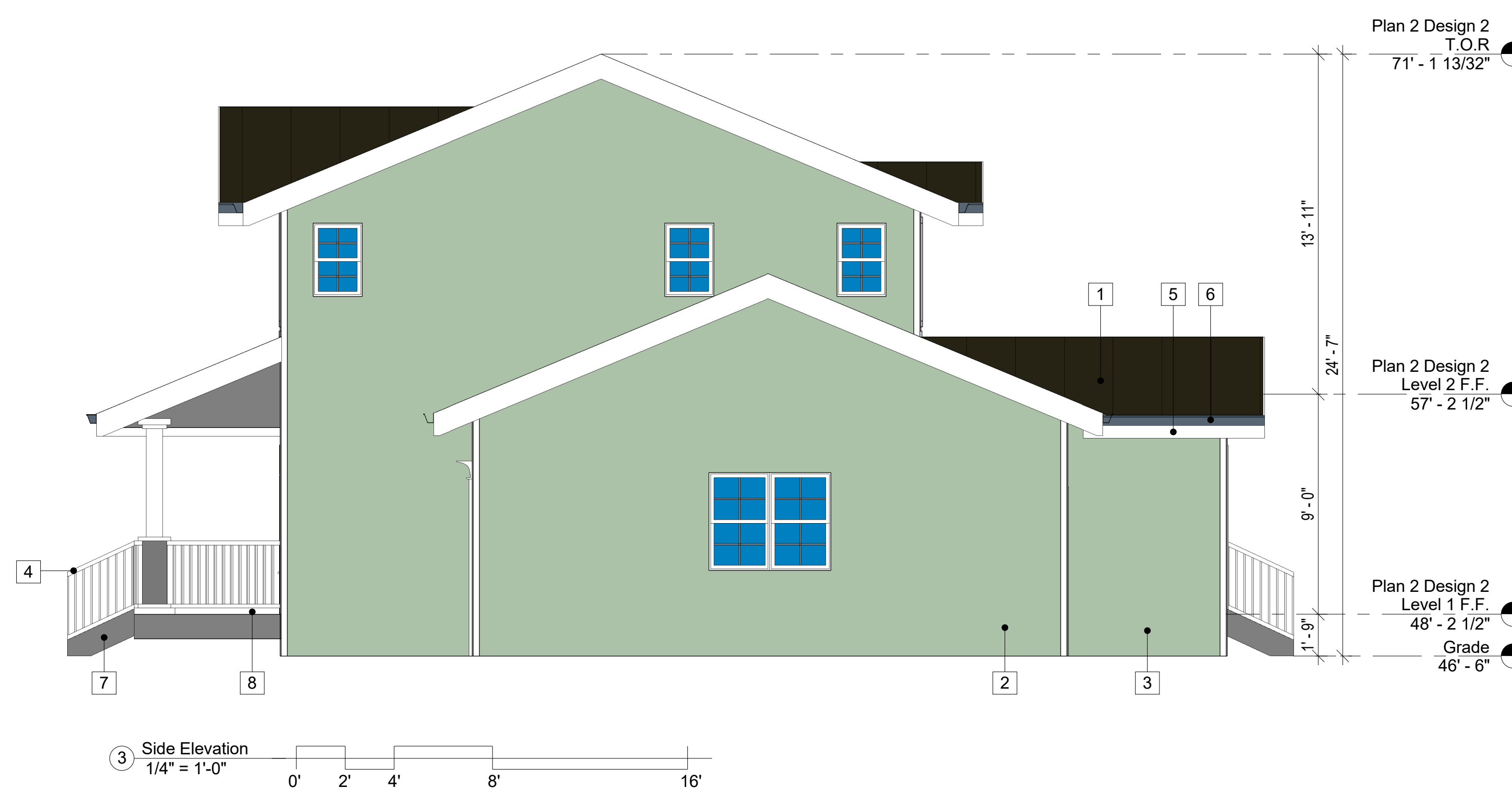
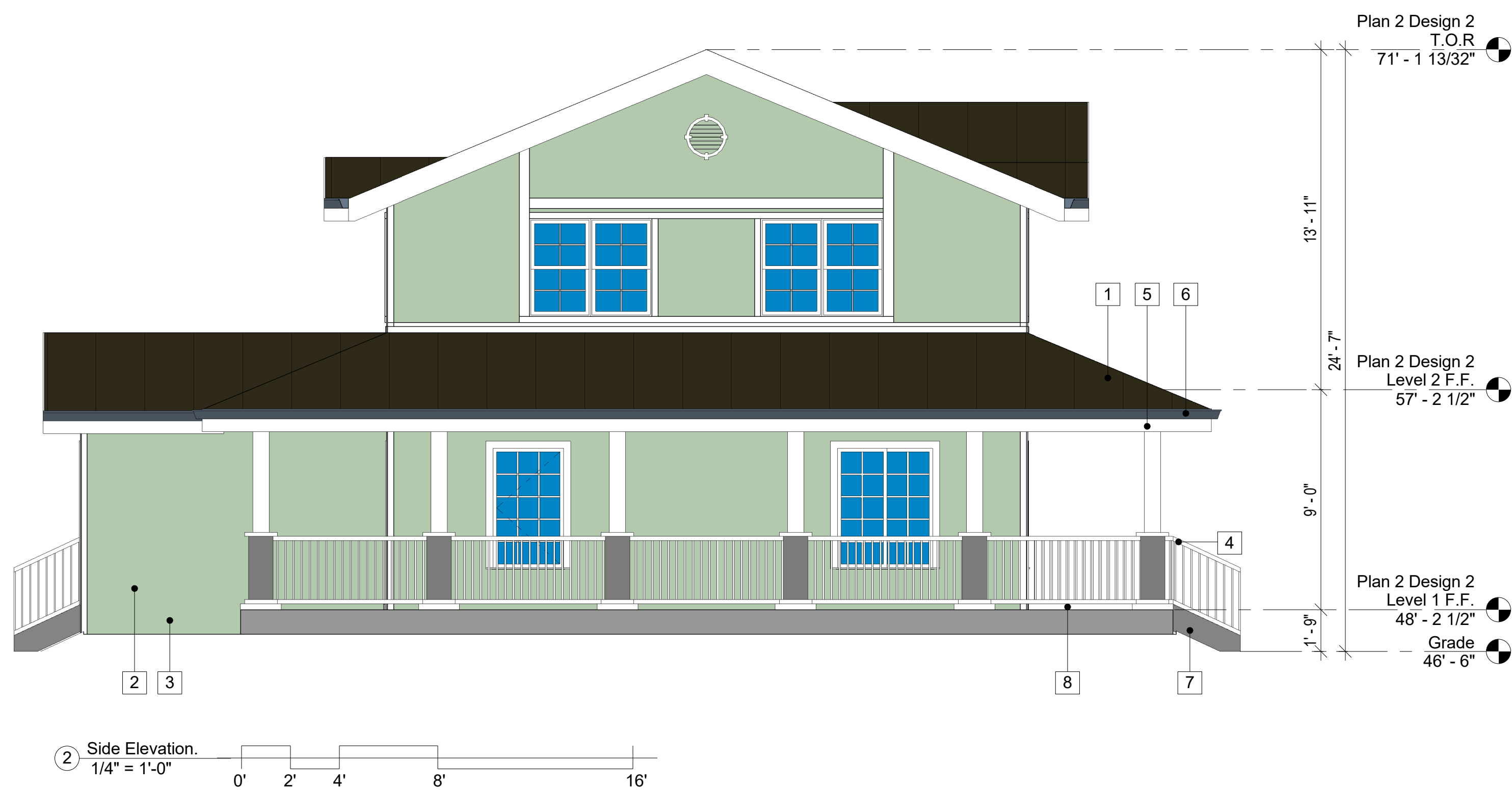
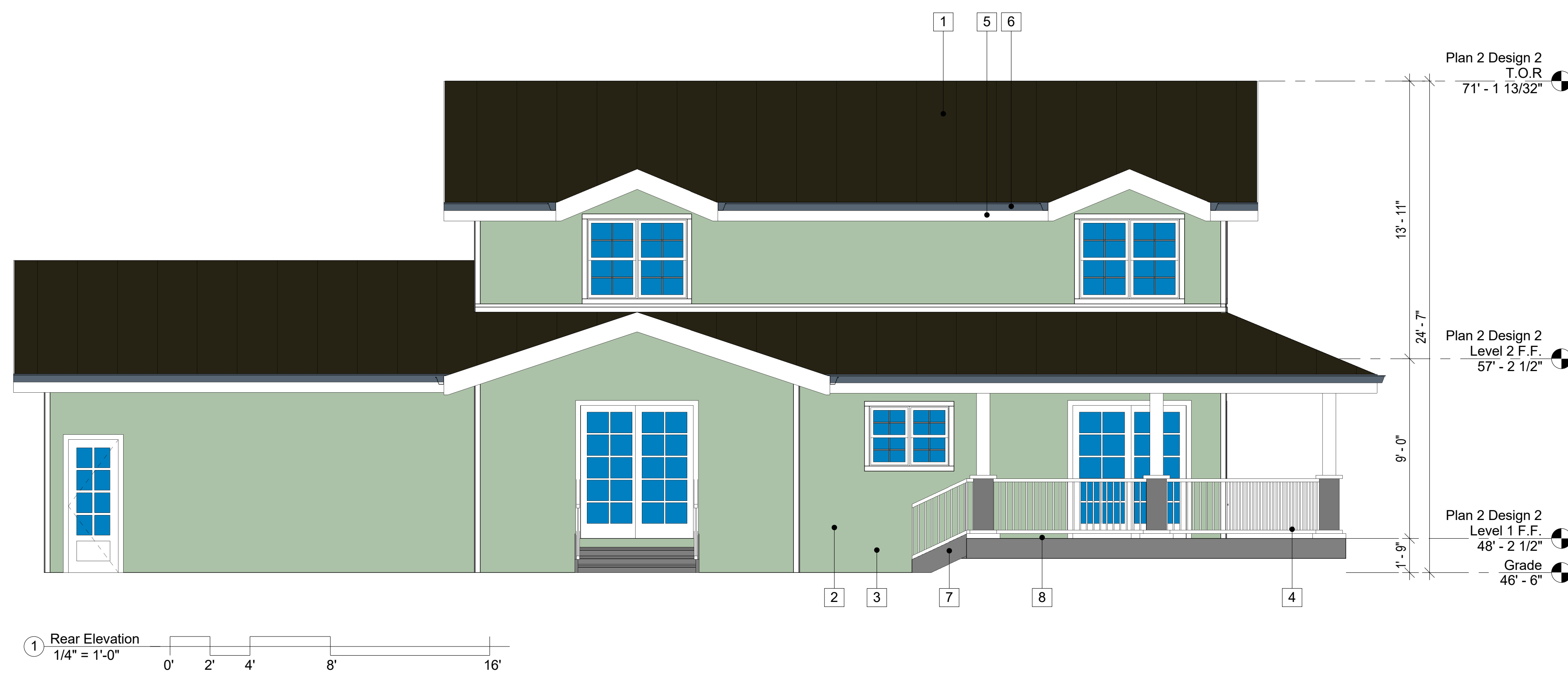
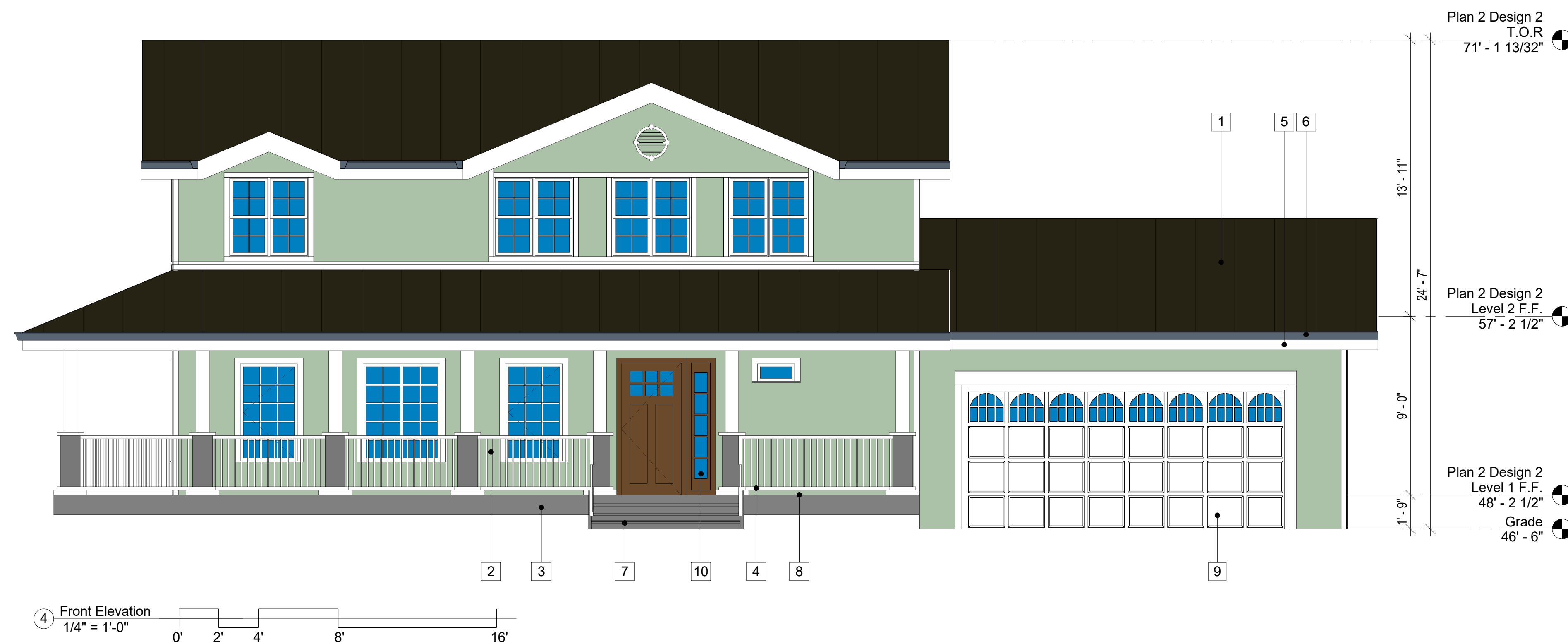
Project Schedule
Revision

Plan 2, Sections A

A2.04

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ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR
- 10 SIDELIGHT

OPTION 1

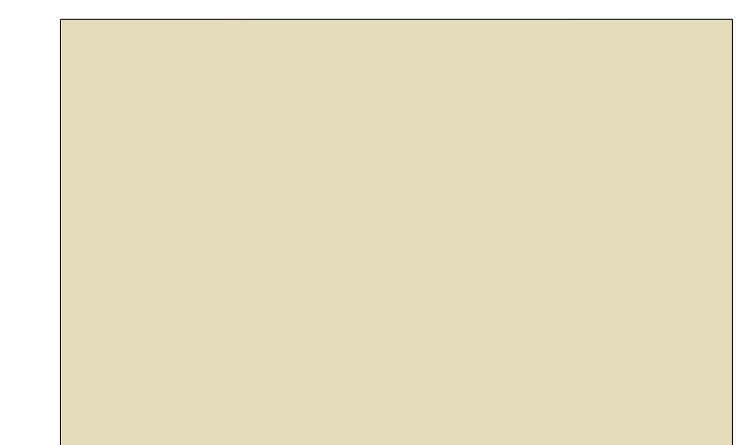
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 6235 FOGGY DAY

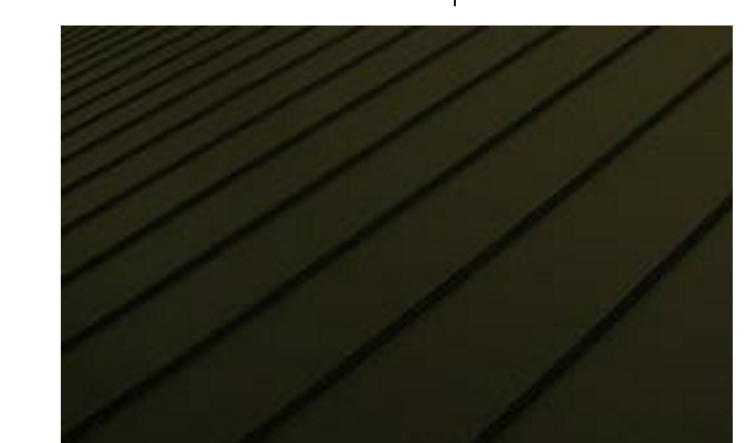


TRIM- EGGSHELL



OPTION 2

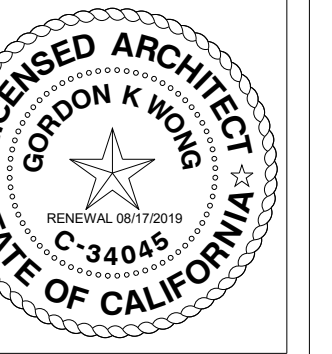
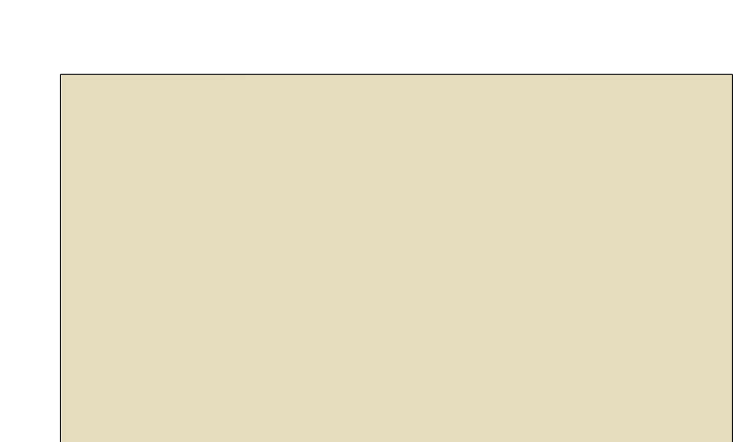
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6450 EASY GREEN

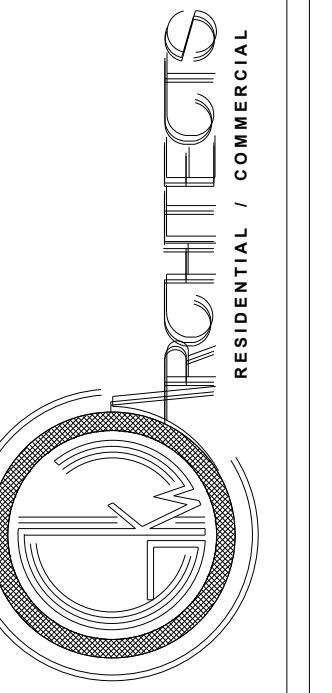


TRIM- EGGSHELL



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Plan 2, Elevations B

Oakley Residential Development

2480 Oakley Road
Oakley, CA

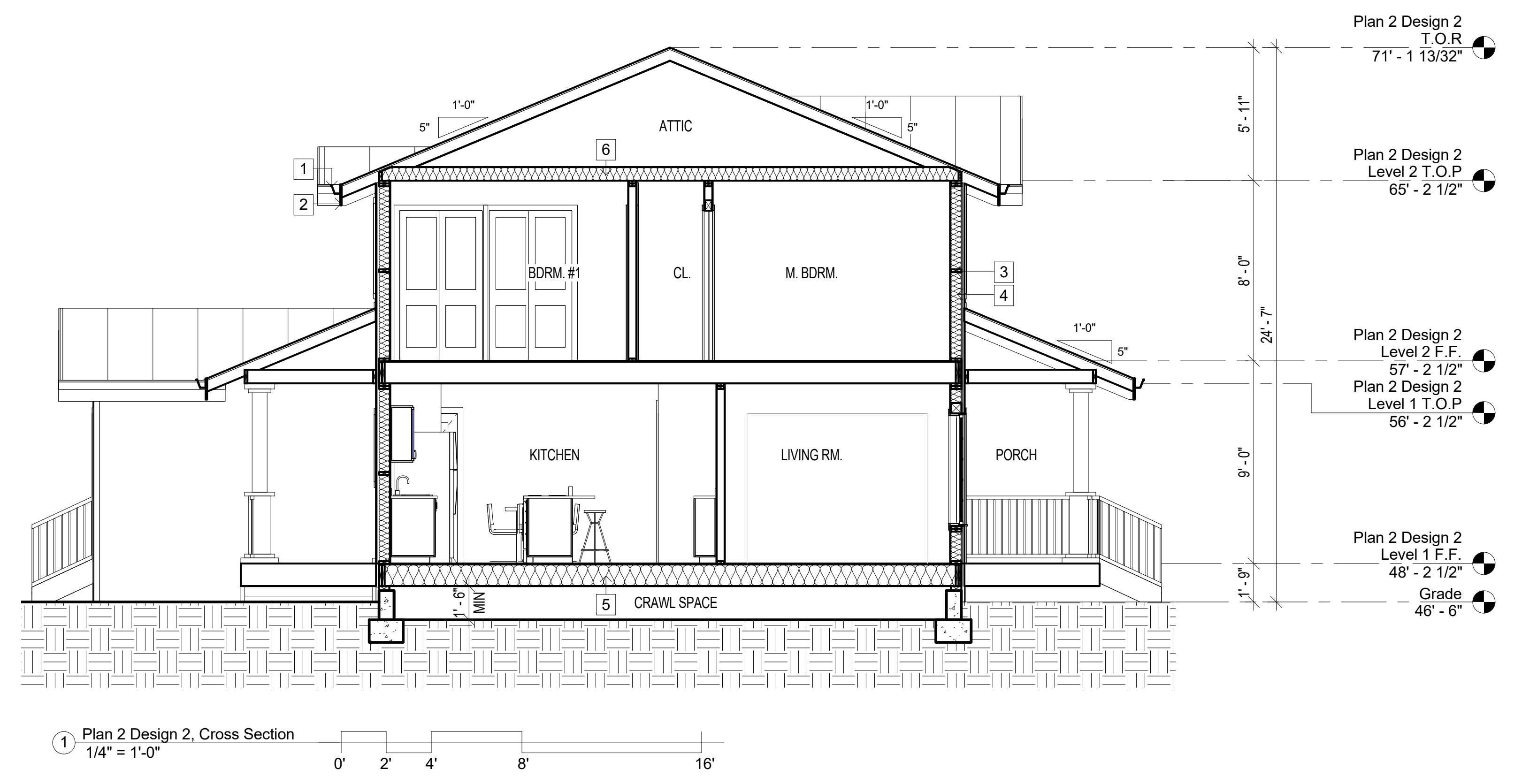
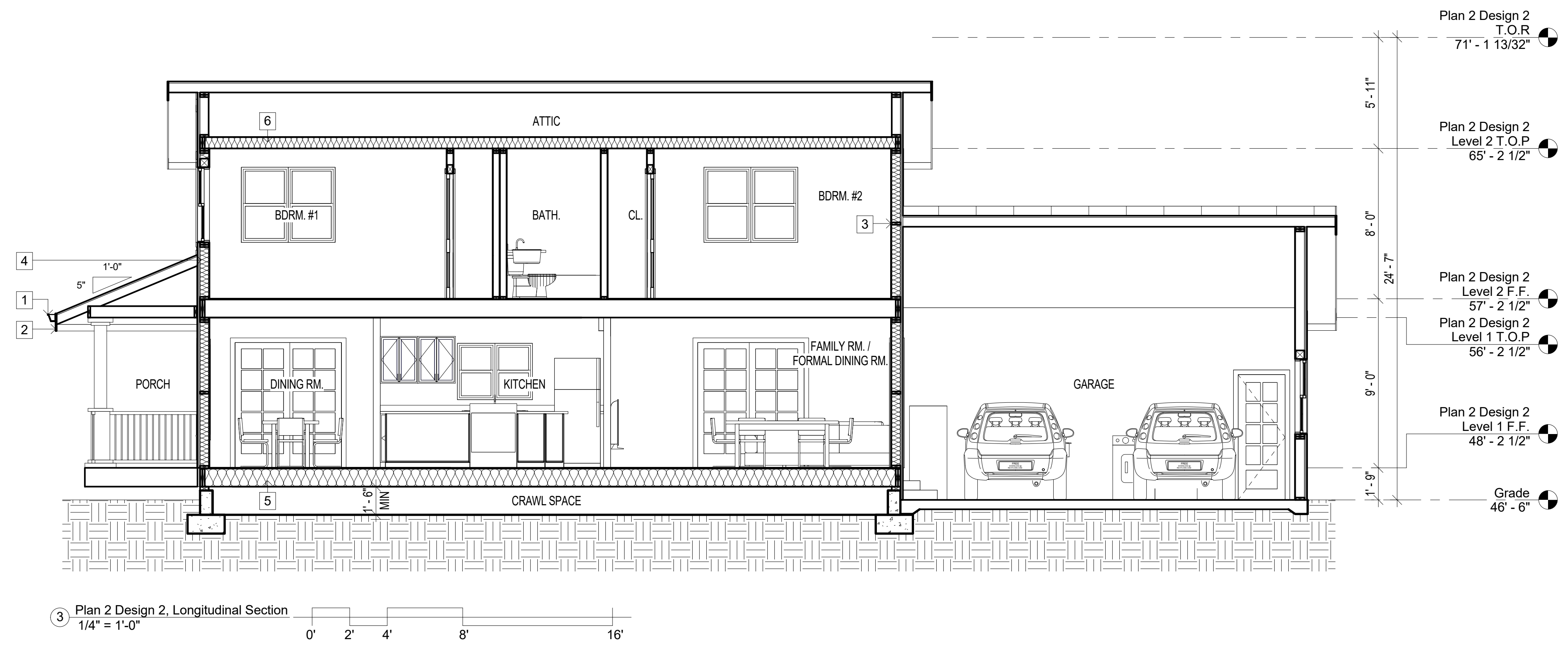
Project Schedule
Revision

Plan 2, Elevations
B

A2.05

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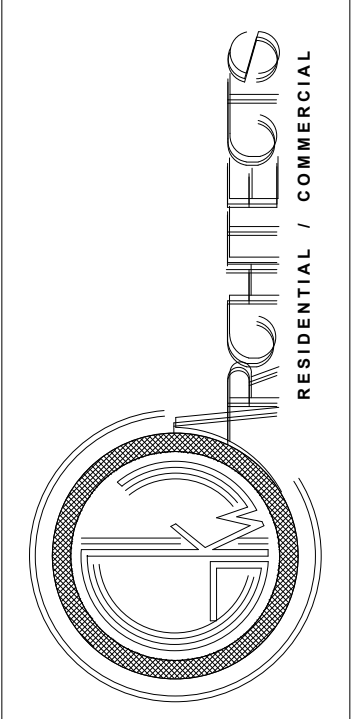


- SECTION KEYNOTES**
- 1 GUTTER
 - 2 FASCIA
 - 3 FIRE BLOCK TYP.
 - 4 INSULATION @ WALLS
 - 5 INSULATION @ ALL RAISED FLOOR AREAS
 - 6 INSULATION @ CEILING



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Plan 2, Sections B

Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule	Revision

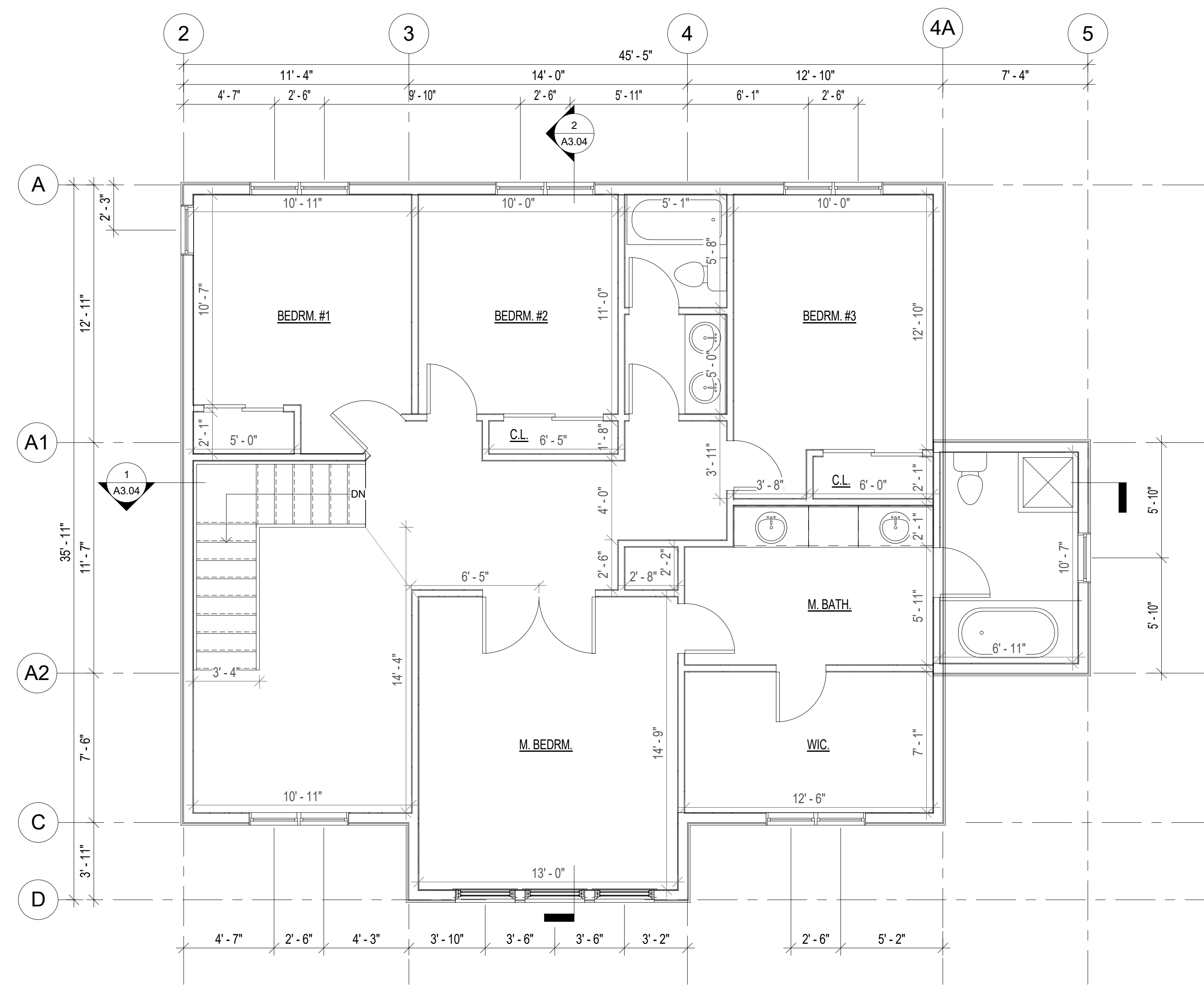
Plan 2, Sections B

A2.06

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① Design 3, Level 1 F.F. TYP.
1/4" = 1'-0"



② Design 3, Level 2 F.F. TYP.
1/4" = 1'-0"

FLOOR PLAN NOTES

- CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS
- REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT

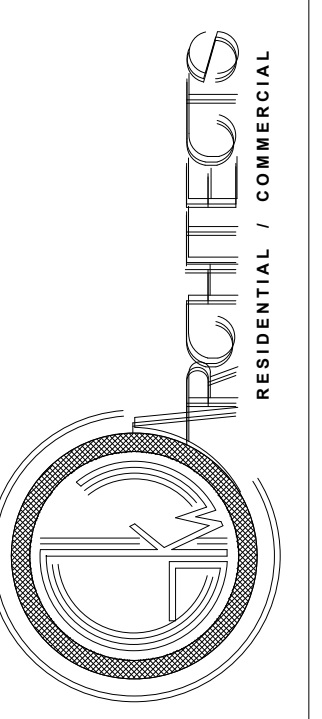
FLOOR PLAN KEYNOTES:

- 1 CABINETS
- 2 RANGE
- 3 KITCHEN ISLAND
- 4 UNDER STAIRS CLOSET
- 5 PORCH
- 6 FRONT STEPS
- 7 REAR STEPS
- 8 BENCH / STORAGE
- 9 COLUMN
- 10 DRY BAR



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Plan 3, Floor Plan, Level 1 & 2

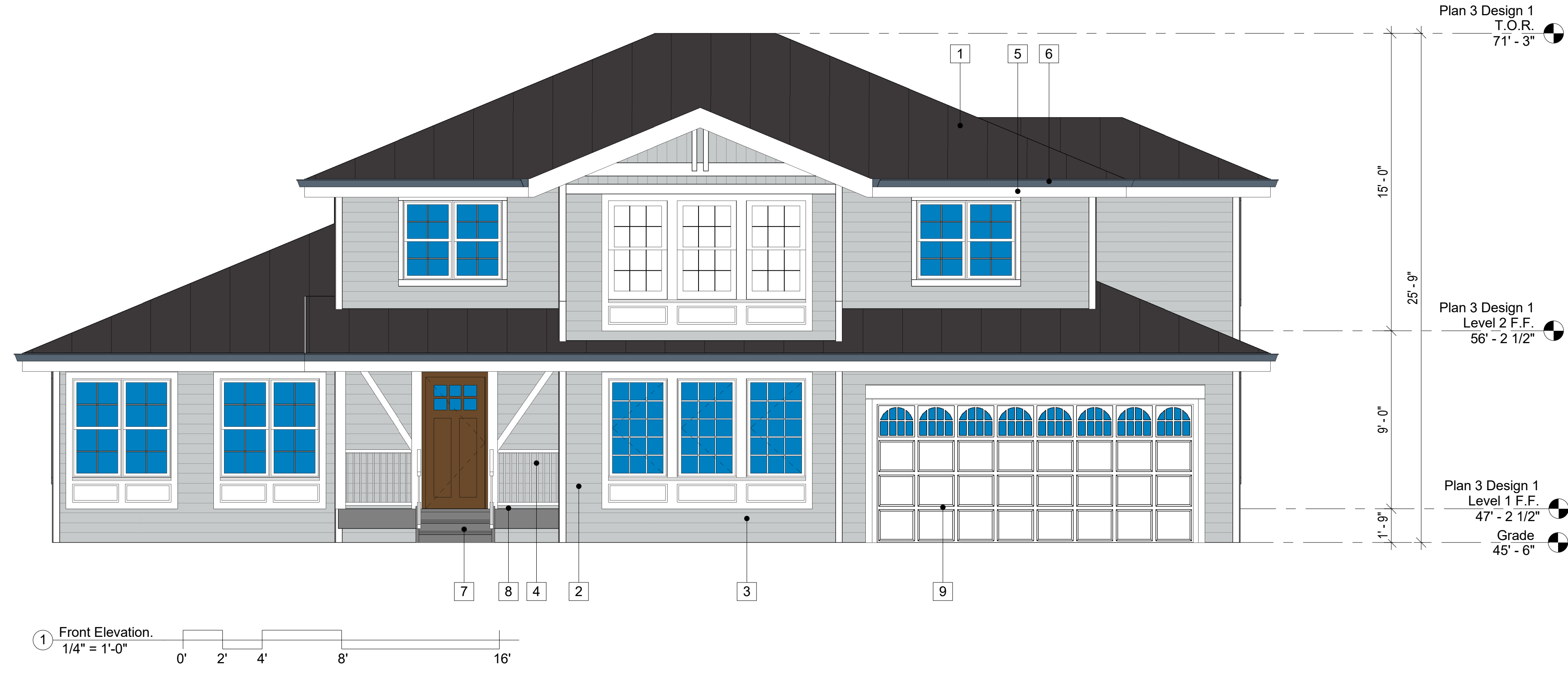
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 3, Floor Plan,
Level 1 & 2

A3.01

SCALE 1/4" = 1'-0"
8/2/2019 5:08:42 PM



ELEVATION A



ELEVATION B

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7071 GRAY SCREEN



TRIM- EGGSHELL



OPTION 2

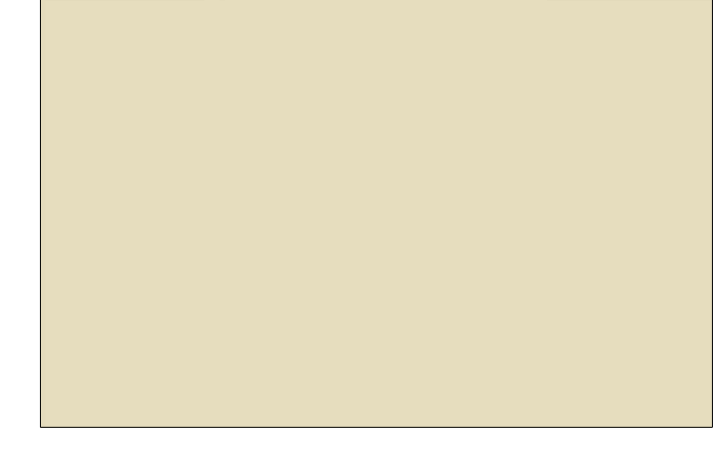
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6149 RELAXED KHAKI

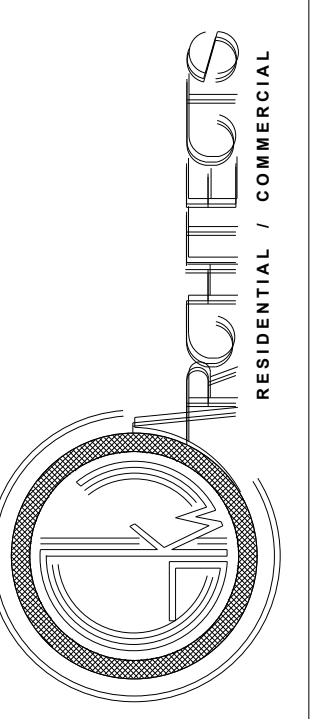


TRIM- EGGSHELL



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Plan 3, Front Elevation Variations

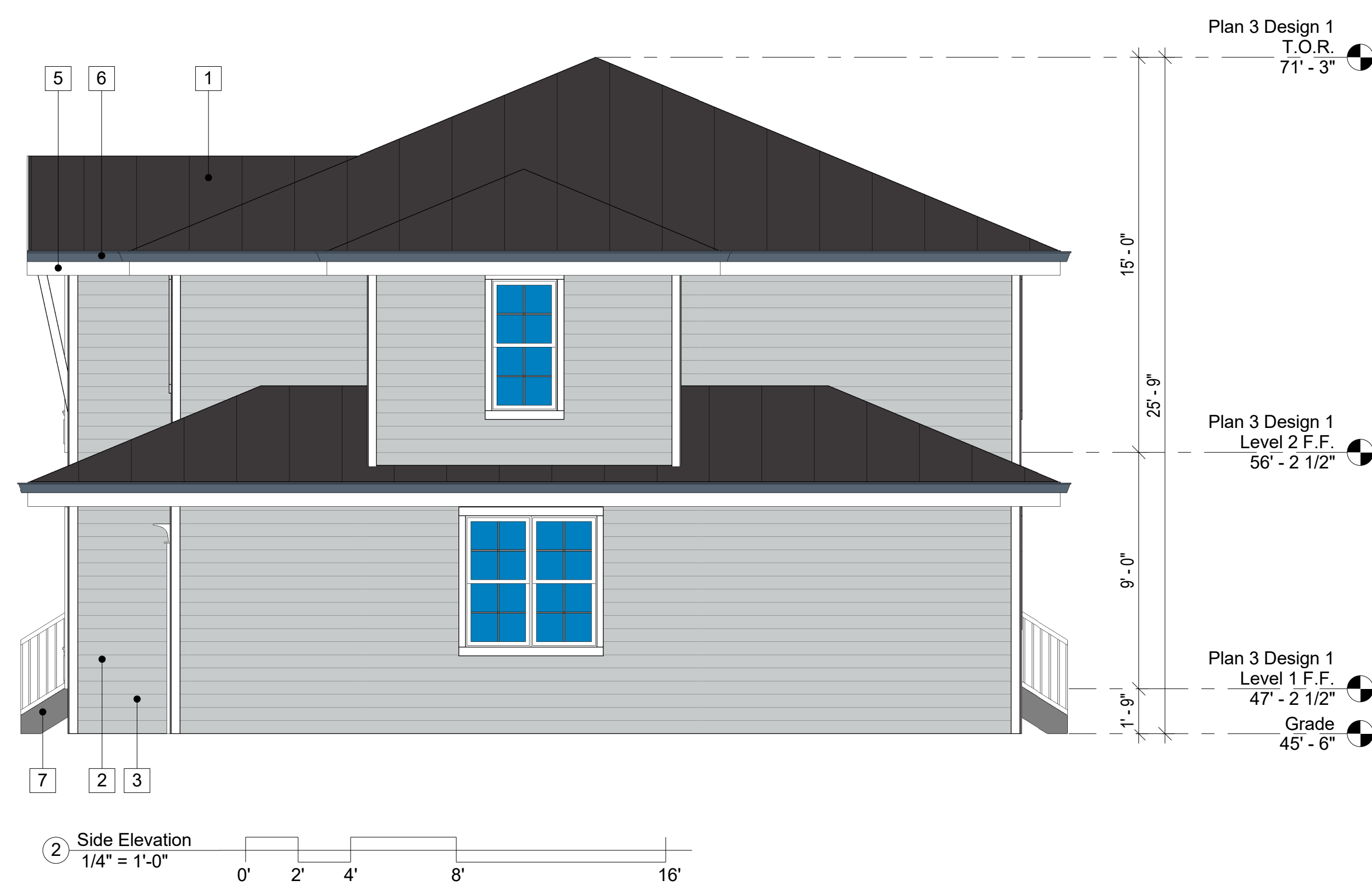
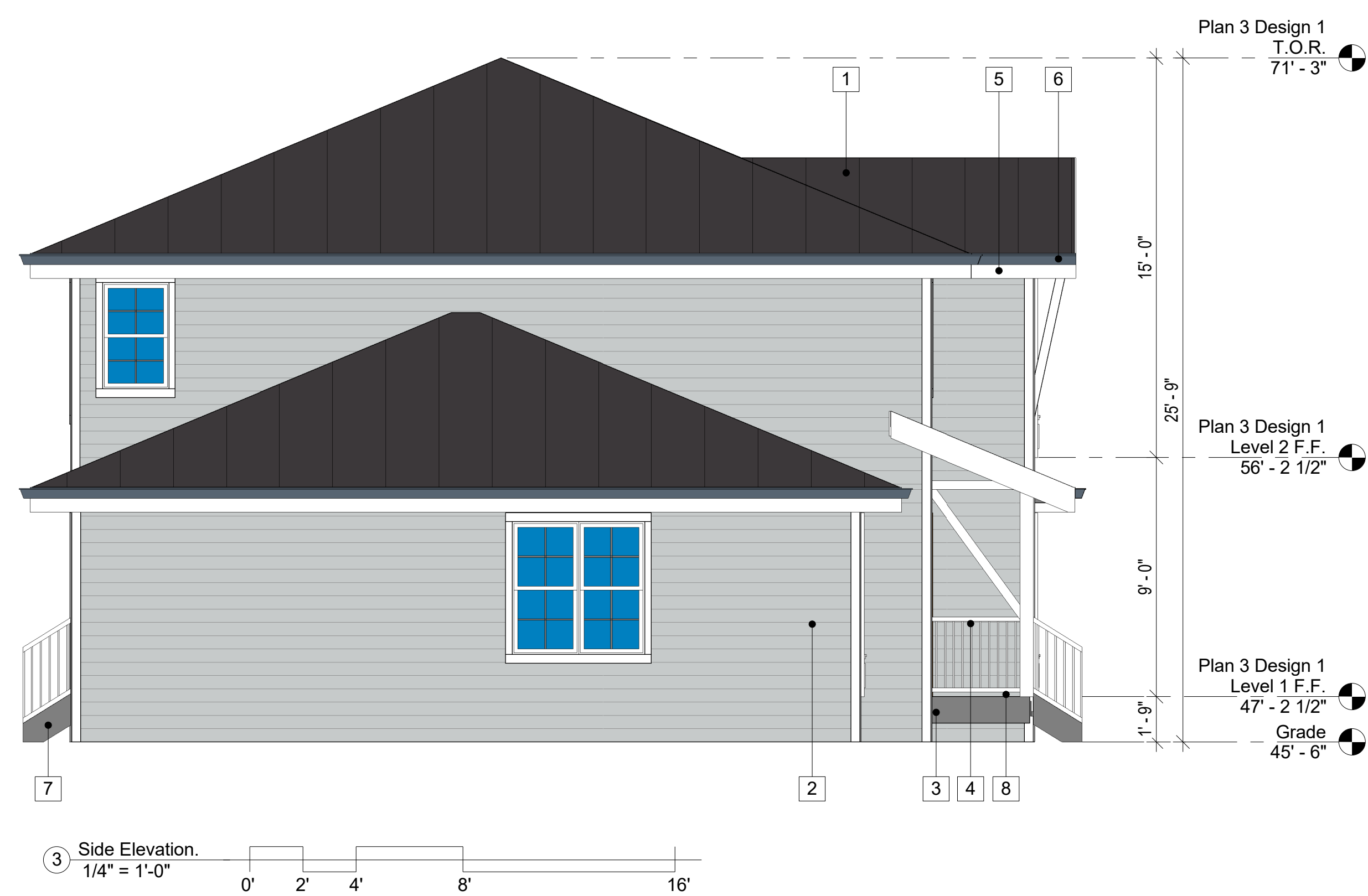
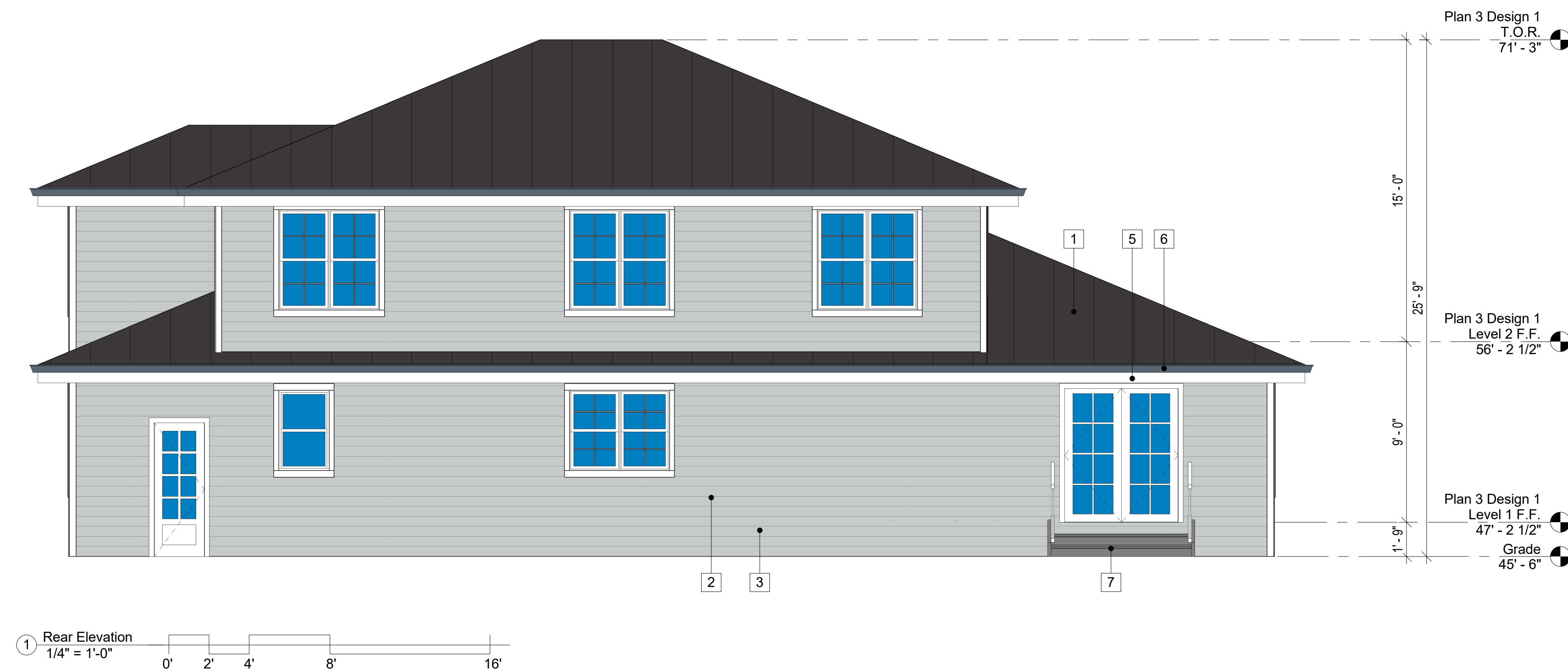
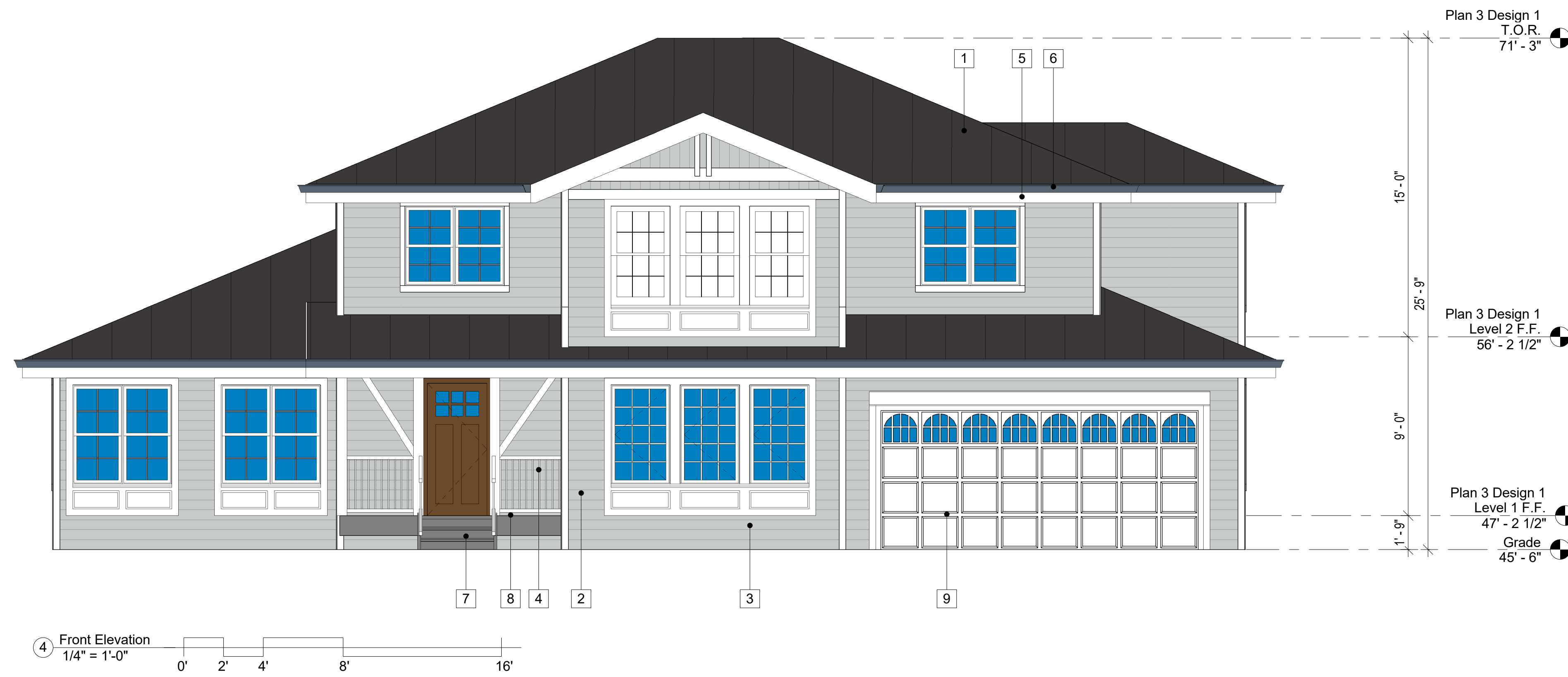
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 3, Front
Elevation
Variations

A3.02

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8/2/2019 5:08:52 PM



ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

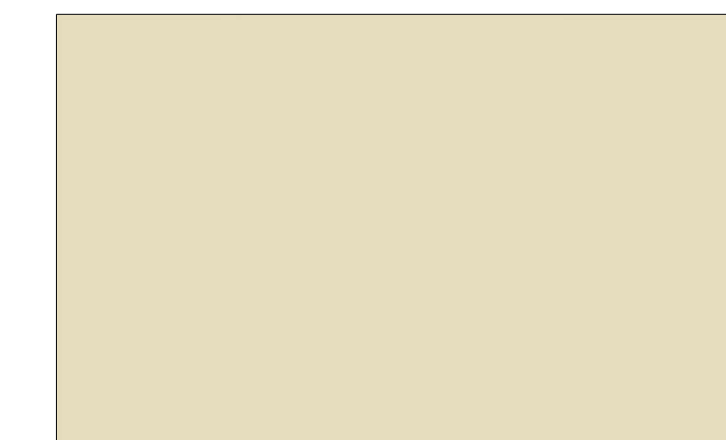
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7071 GRAY SCREEN



TRIM- EGGSHELL



OPTION 2

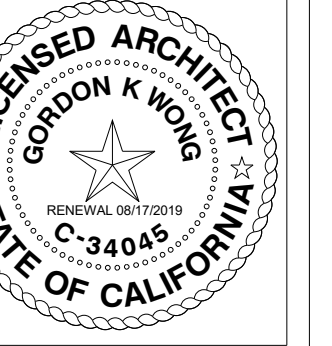
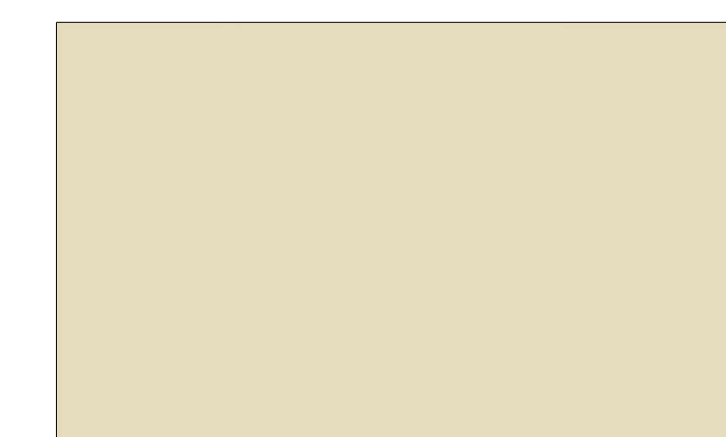
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6149 RELAXED KHAKI

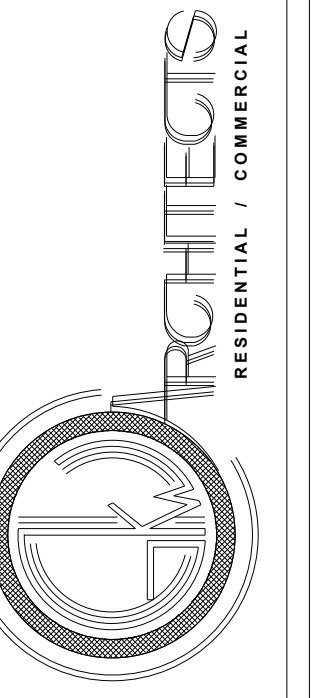


TRIM- EGGSHELL



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Plan 3, Elevations A

Oakley Residential Development
2480 Oakley Road
Oakley, CA

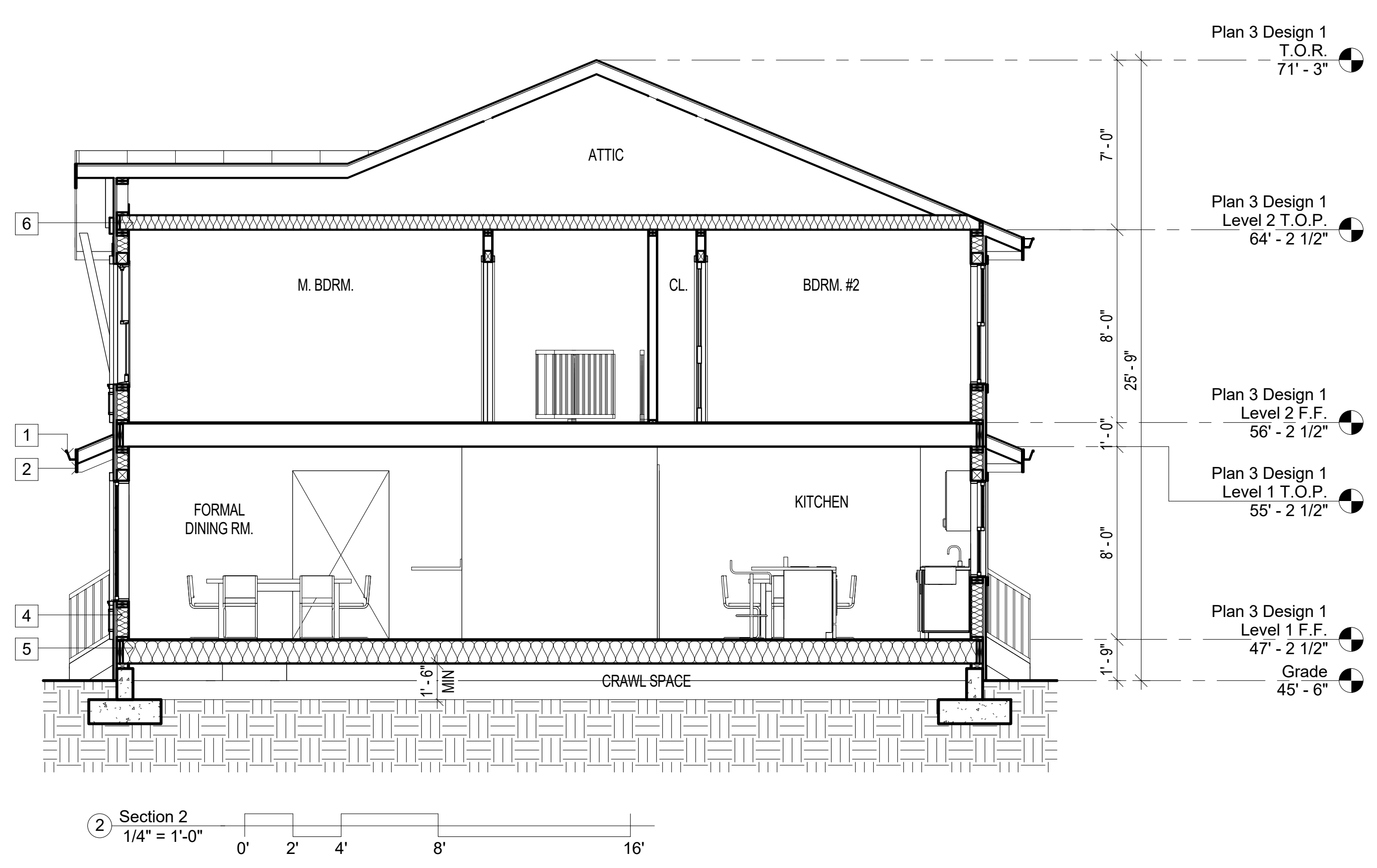
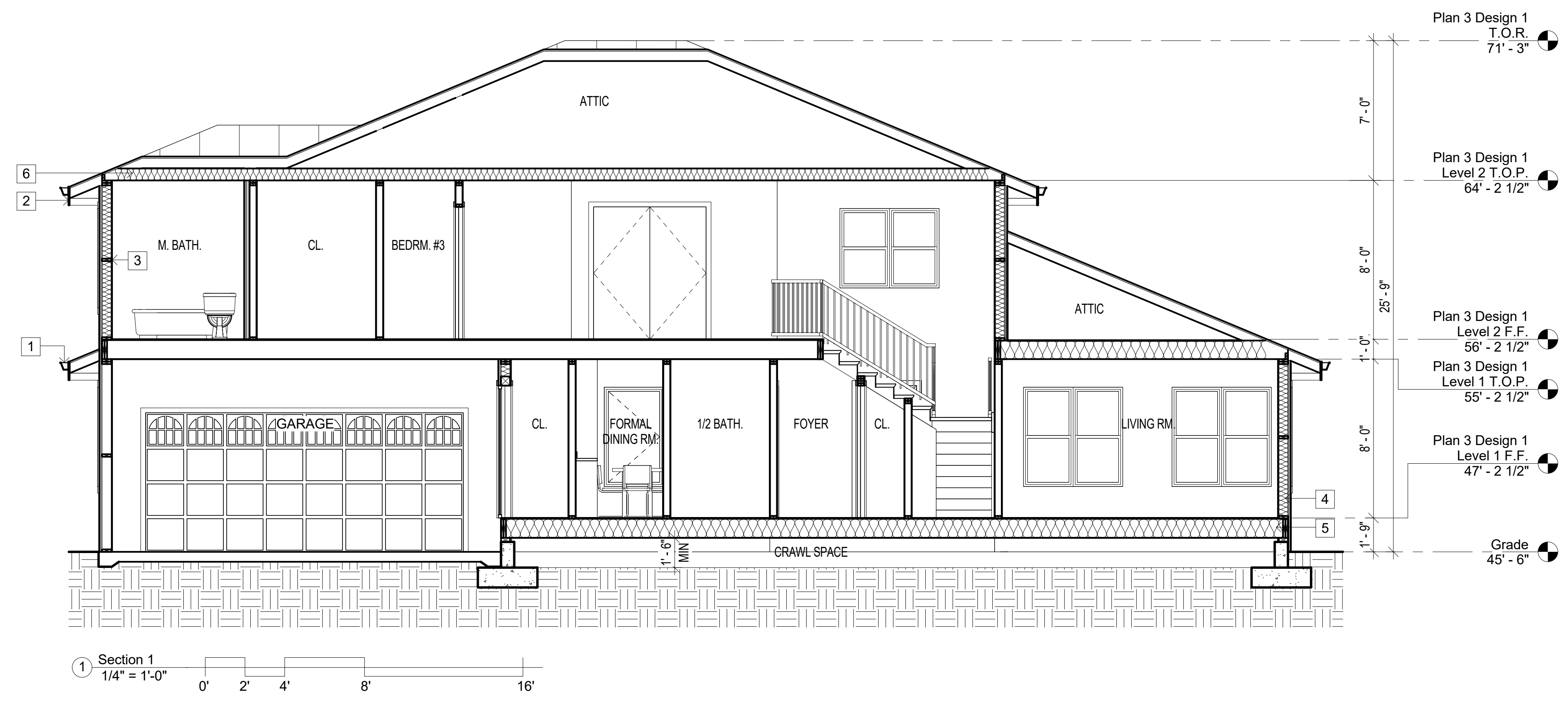
Project Schedule
Revision

Plan 3, Elevations
A

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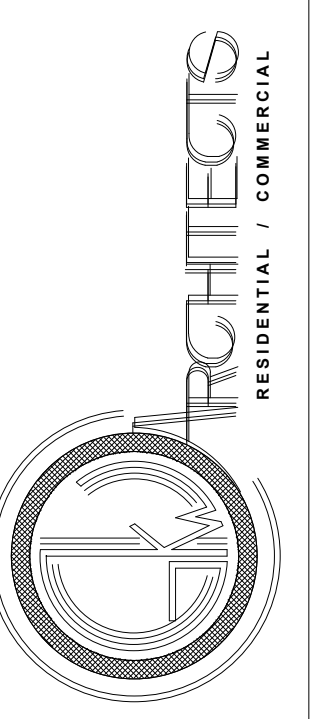
SECTION KEYNOTES

- 1 GUTTER
- 2 FASCIA
- 3 FIRE BLOCK TYP.
- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING



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Plan 3, Sections A

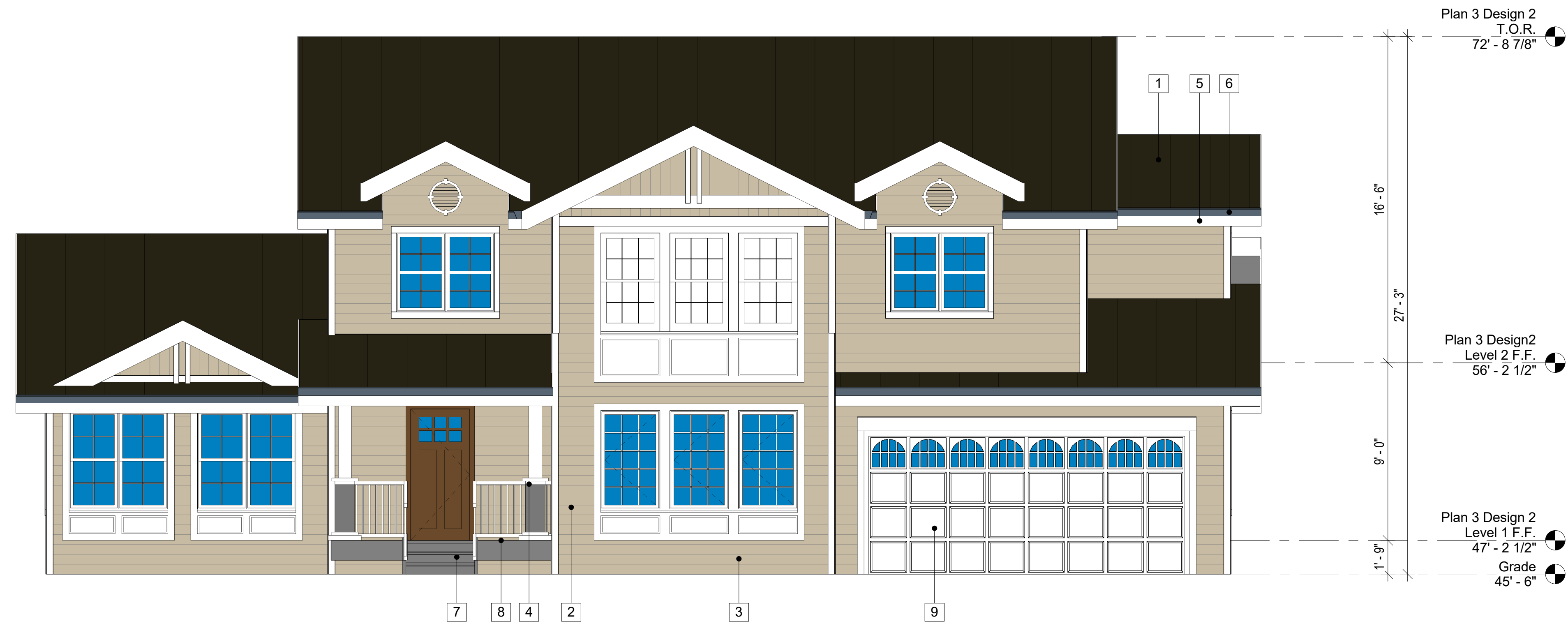
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Plan 3, Sections A

A3.04

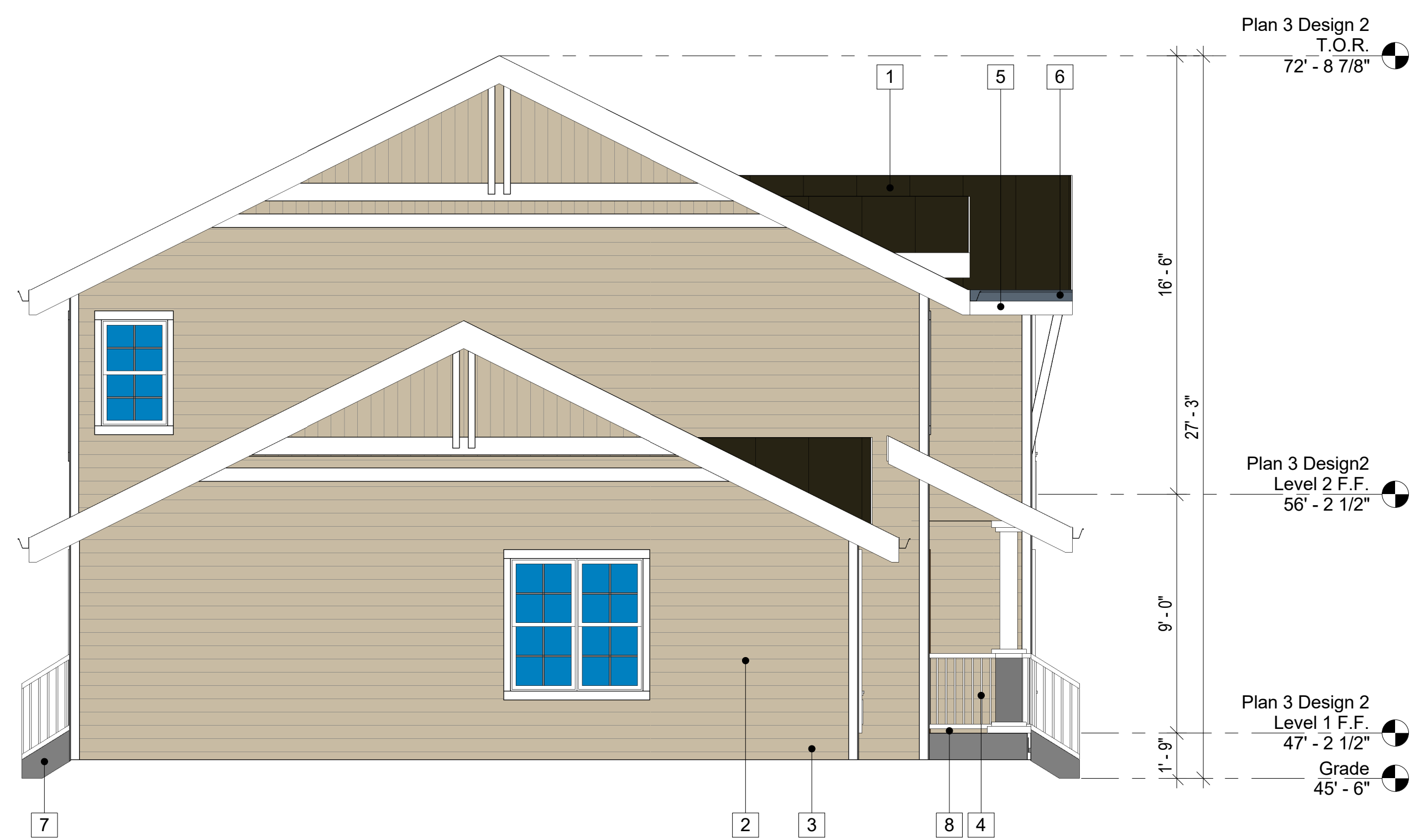
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4 Front Elevation
1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"



3 Side Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
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- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR

OPTION 1

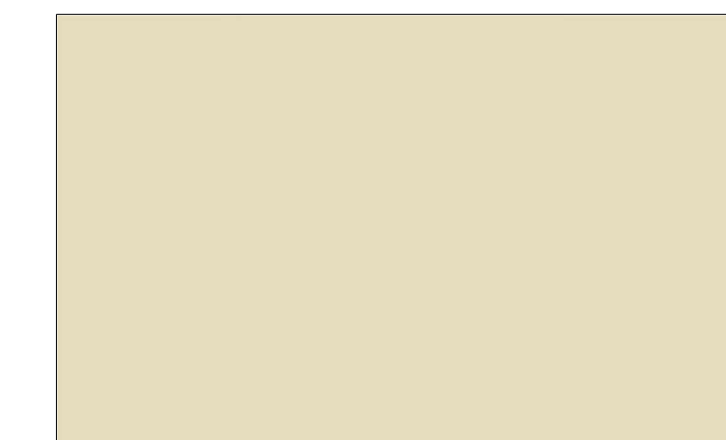
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7071 GRAY SCREEN



TRIM- EGGSHELL



OPTION 2

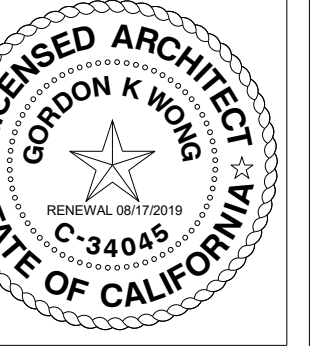
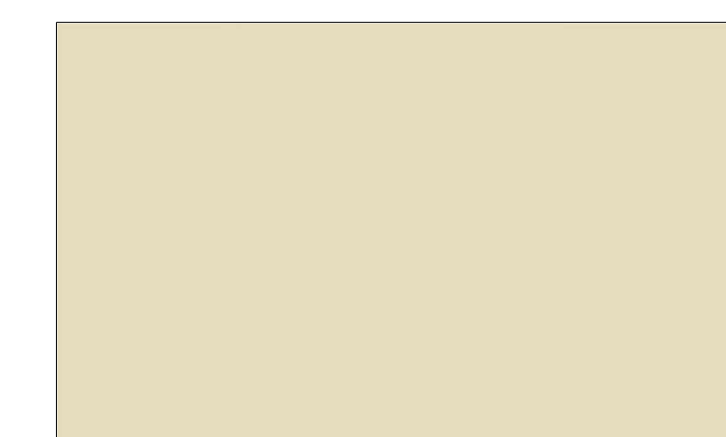
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6149 RELAXED KHAKI

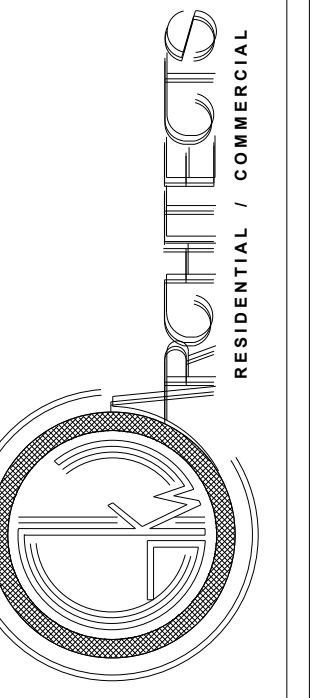


TRIM- EGGSHELL



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Plan 3, Elevations B

Oakley Residential Development

2480 Oakley Road
Oakley, CA

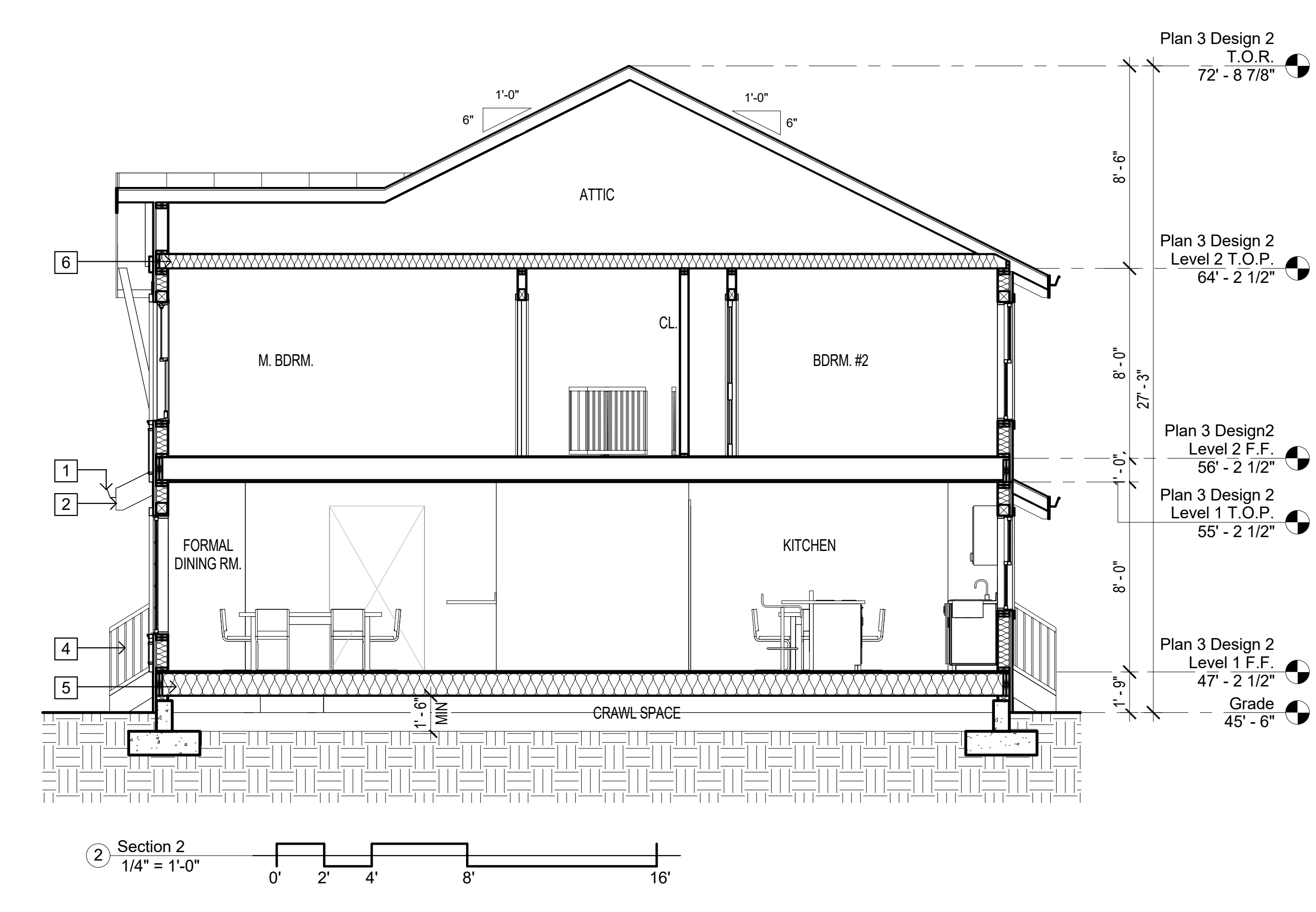
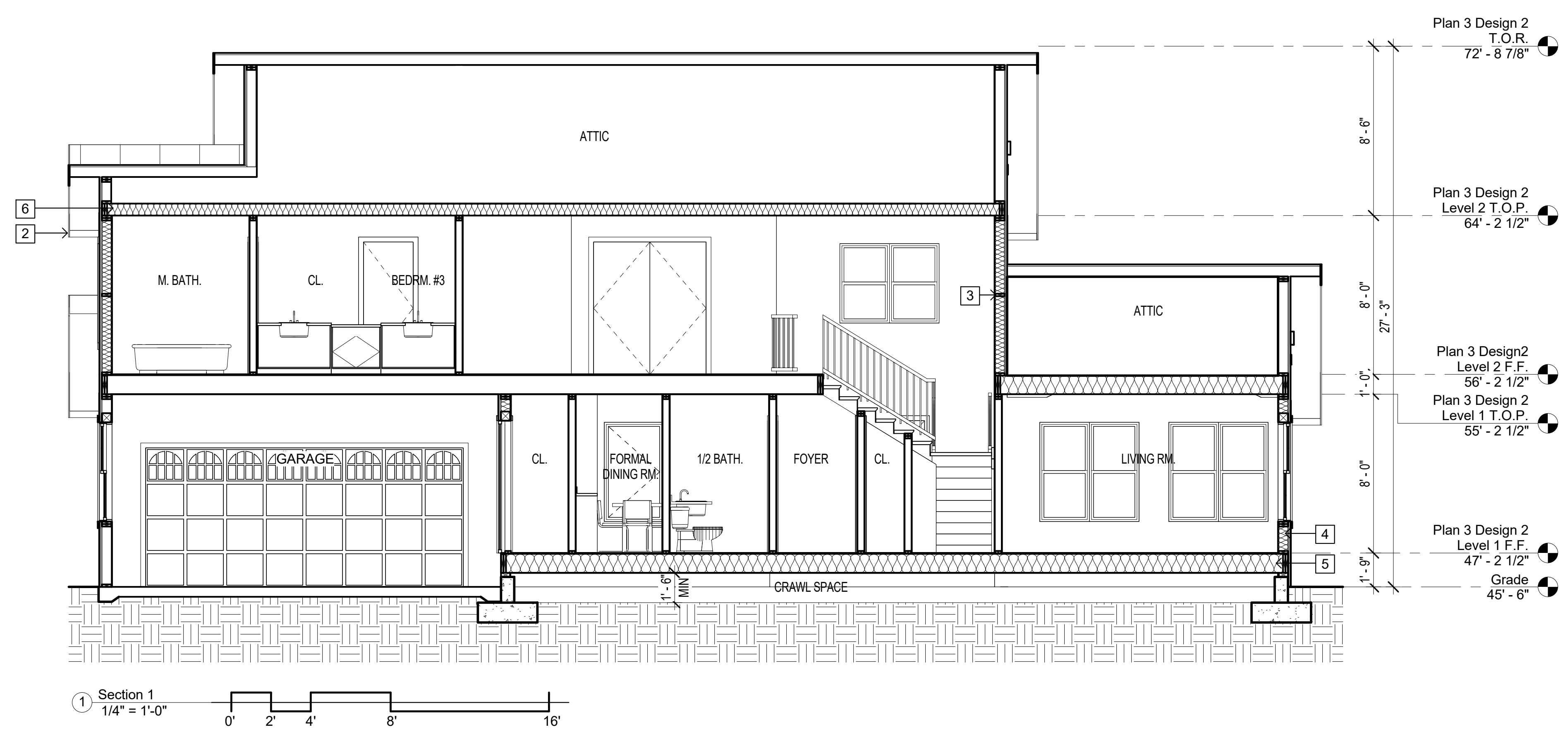
Project Schedule
Revision

Plan 3, Elevations
B

A3.05

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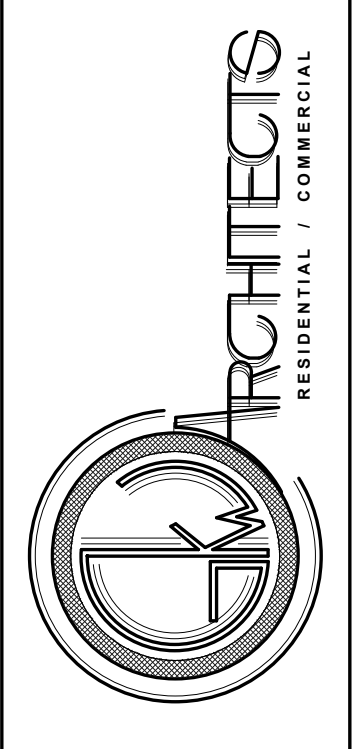
- SECTION KEYNOTES**
- 1 GUTTER
 - 2 FASCIA
 - 3 FIRE BLOCK TYP.
 - 4 INSULATION @ WALLS
 - 5 INSULATION @ ALL RAISED FLOOR AREAS
 - 6 INSULATION @ CEILING

Plan 3, Sections B



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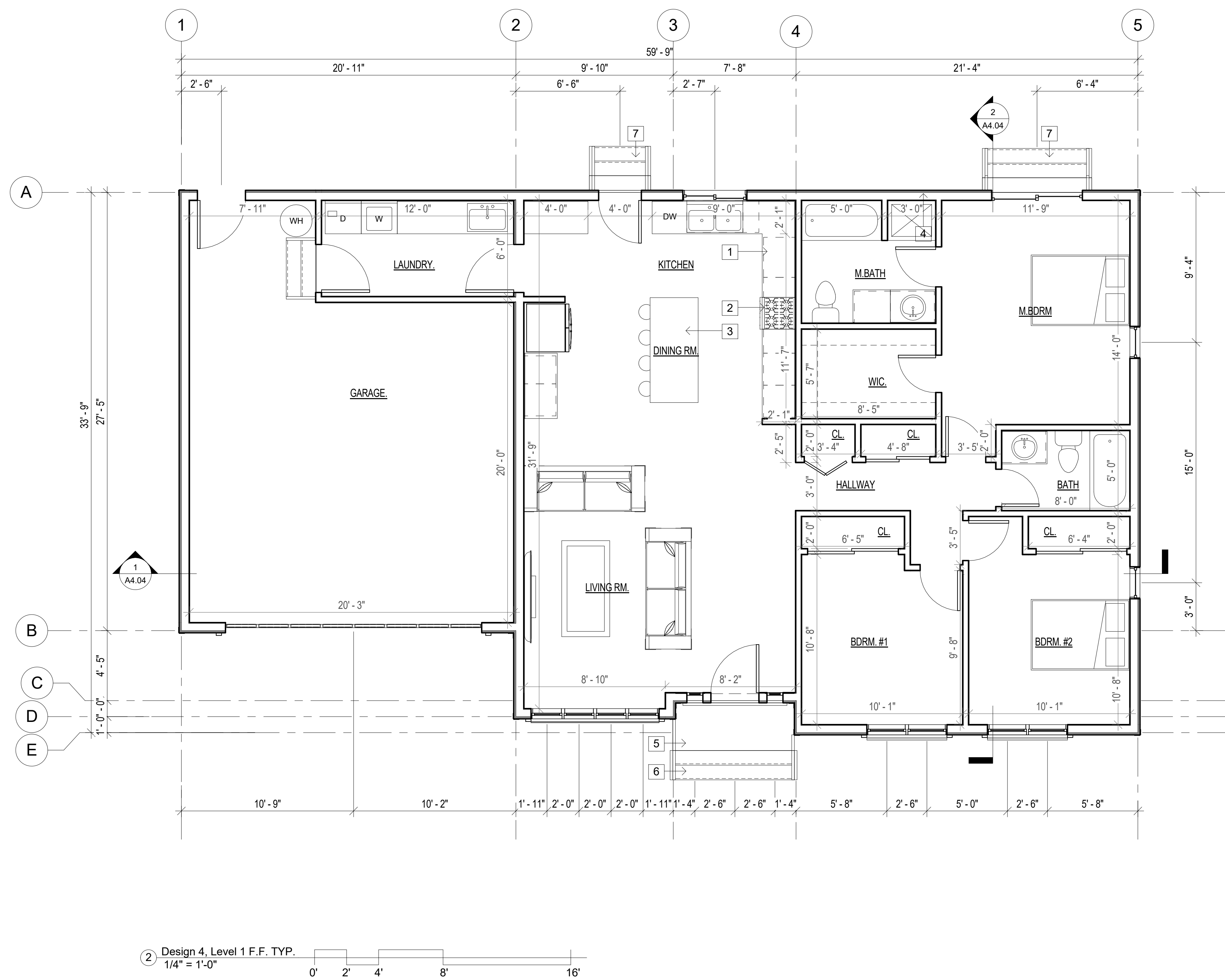
Project Schedule	Revision

Plan 3, Sections B

A3.06

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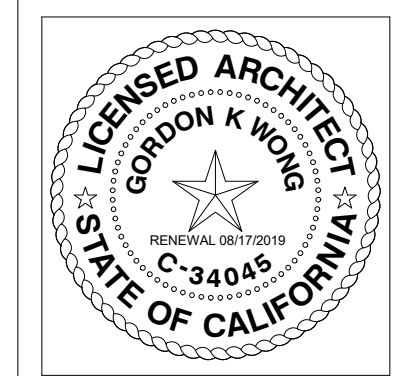


② Design 4, Level 1 F.F. TYP.
1/4" = 1'-0"

FLOOR PLAN NOTES

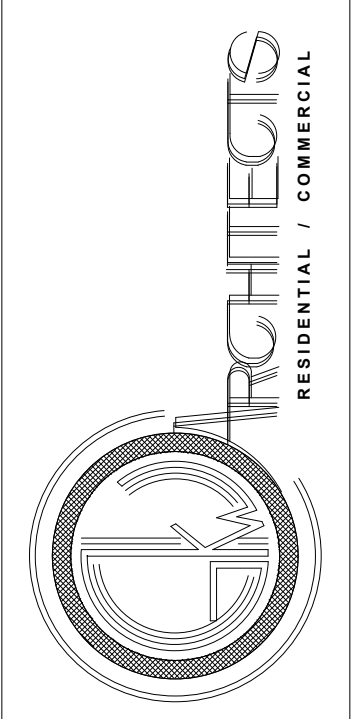
- CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS
- REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT

- FLOOR PLAN KEYNOTES:**
- 1 CABINETS
 - 2 RANGE
 - 3 KITCHEN ISLAND
 - 4 UNDER STAIRS CLOSET
 - 5 PORCH
 - 6 FRONT STEPS
 - 7 REAR STEPS
 - 8 BENCH / STORAGE
 - 9 COLUMN
 - 10 DRY BAR



YOON HO OH, PROJECT REP
710E MCGLINCY LANE SUITE 109
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TEL: 925.885.0045
GKW ARCHITECTS.COM

GORDON K WONG AIA, LEED GA
710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95008
TEL: 925.885.0045
GKW ARCHITECTS.COM



Plan 4, Floor Plan, Level 1

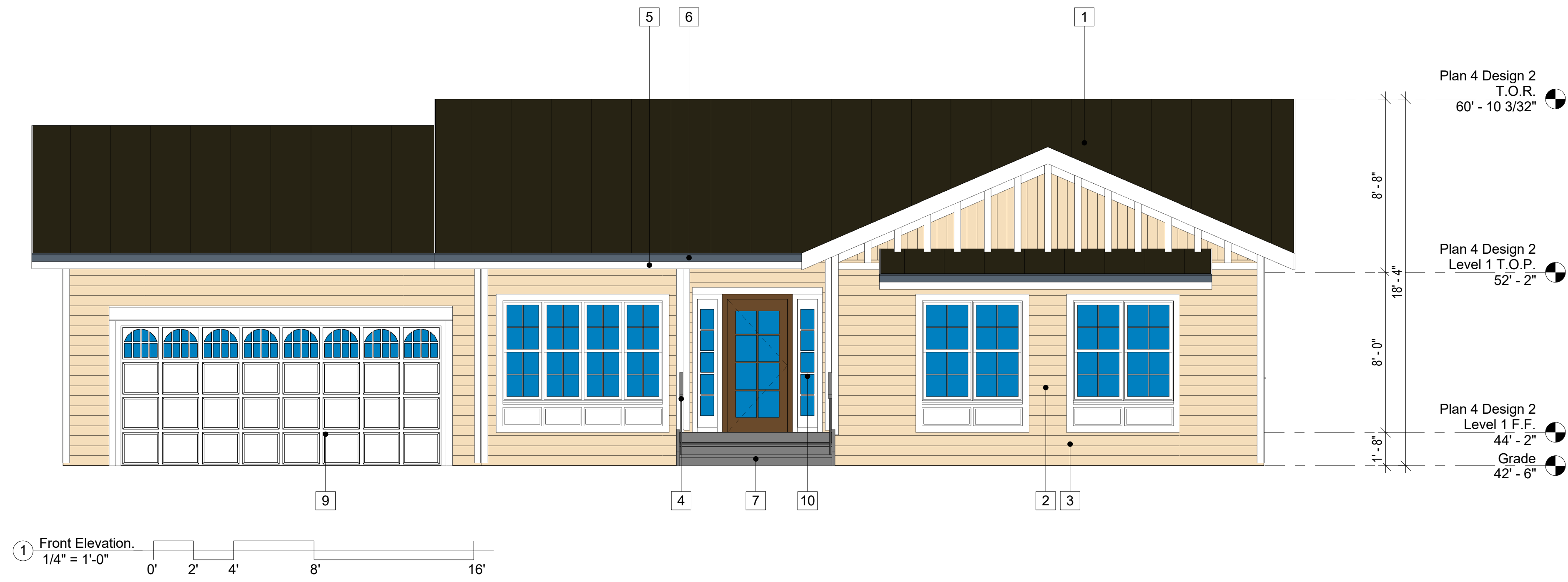
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

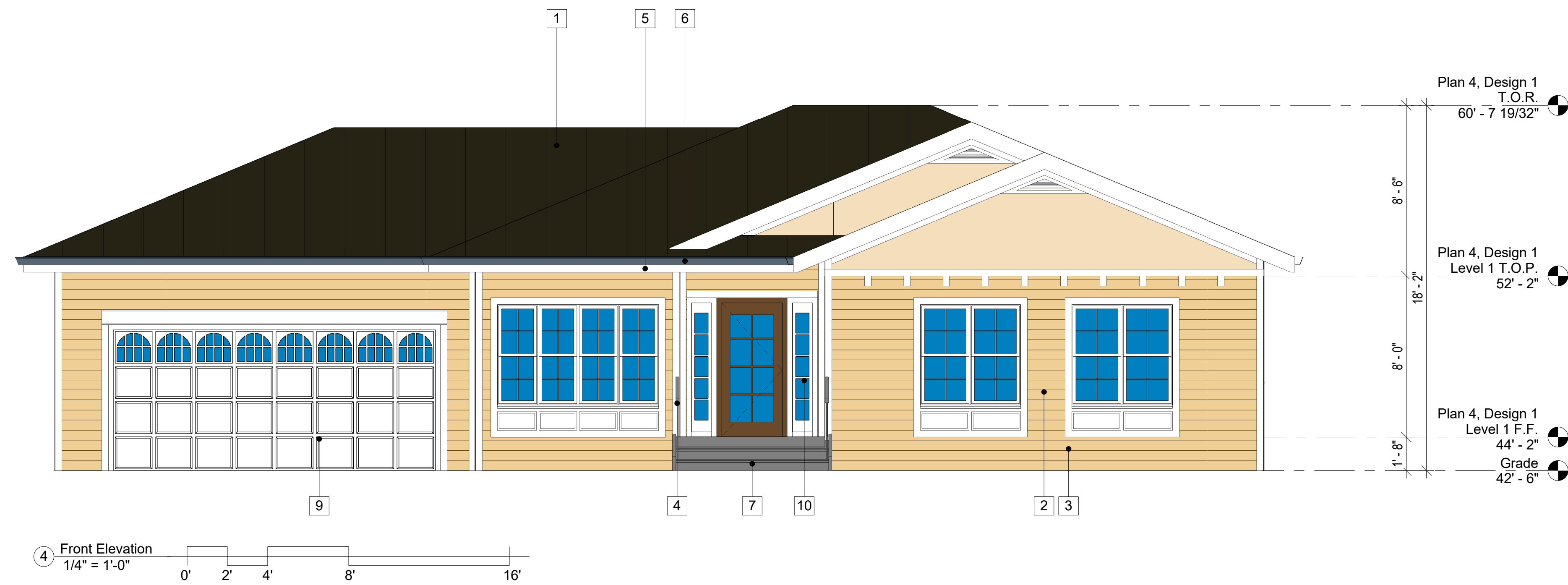
Plan 4, Floor Plan,
Level 1

A4.01

SCALE 1/4" = 1'-0"
8/2/2019 5:30:39 PM



ELEVATION A



ELEVATION B

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR
- 10 SIDELIGHT

OPTION 1

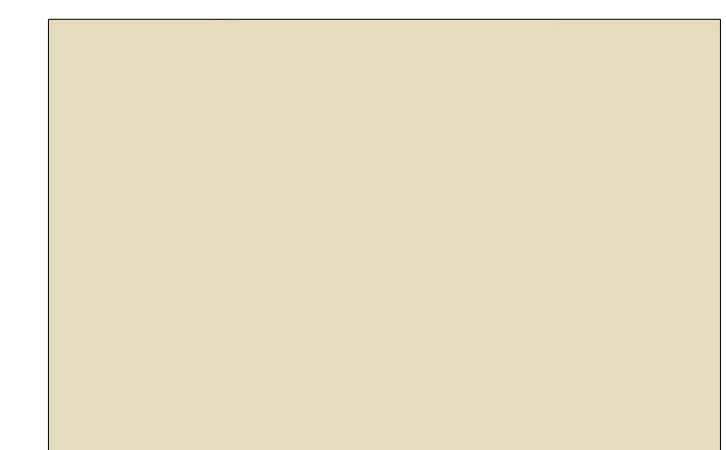
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6379 JERSEY CREAM



TRIM- EGGSHELL



OPTION 2

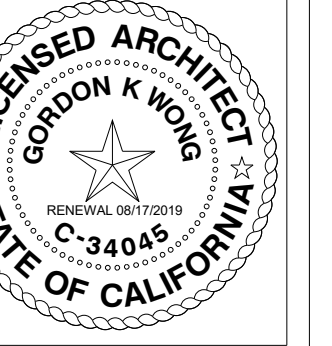
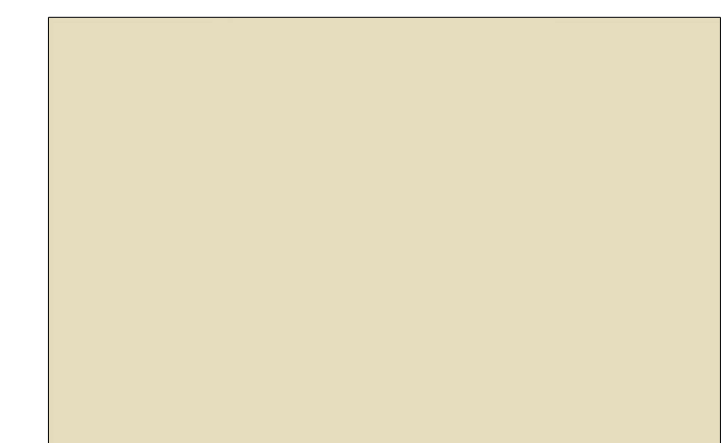
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7059 UNUSUAL GRAY

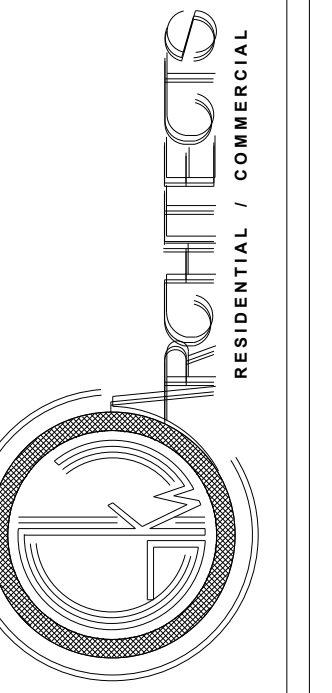


TRIM- EGGSHELL



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TEL: 925.875.1045
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710E MCGILLY LANE SUITE 109
CAMPBELL, CA 95008
TEL: 925.875.1045
WWW.GKWARCHITECTS.COM



Plan 4, Front Elevation Variations

Oakley Residential Development

2480 Oakley Road
Oakley, CA

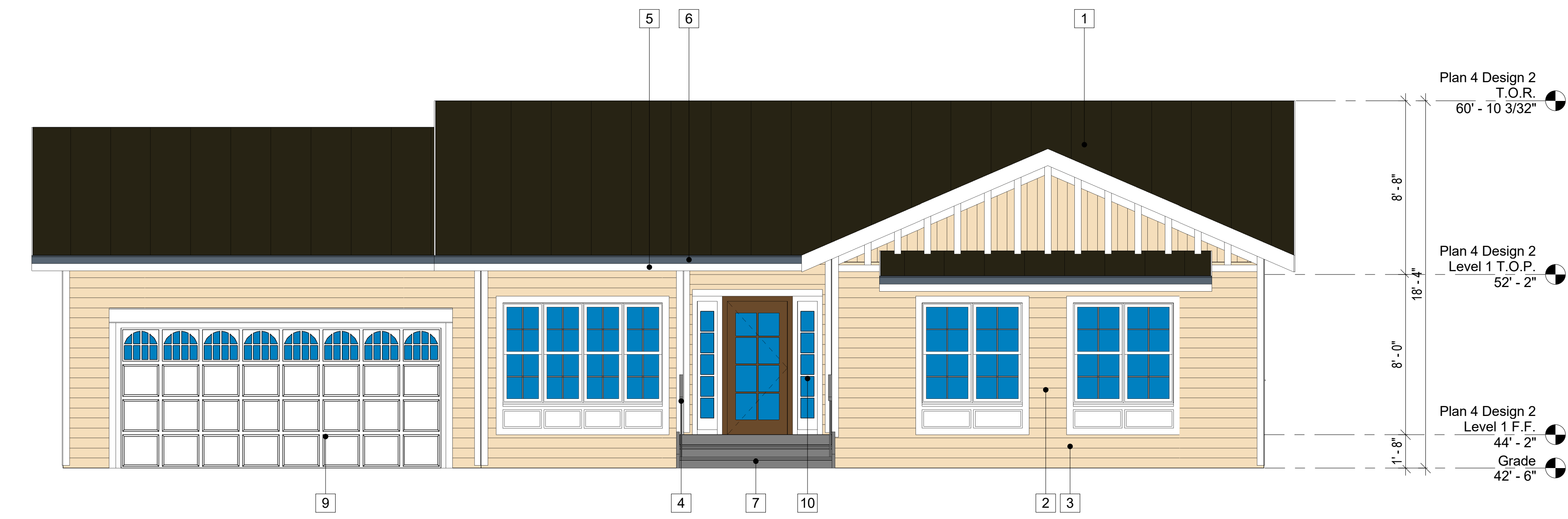
Project Schedule
Revision

Plan 4, Front
Elevation
Variations

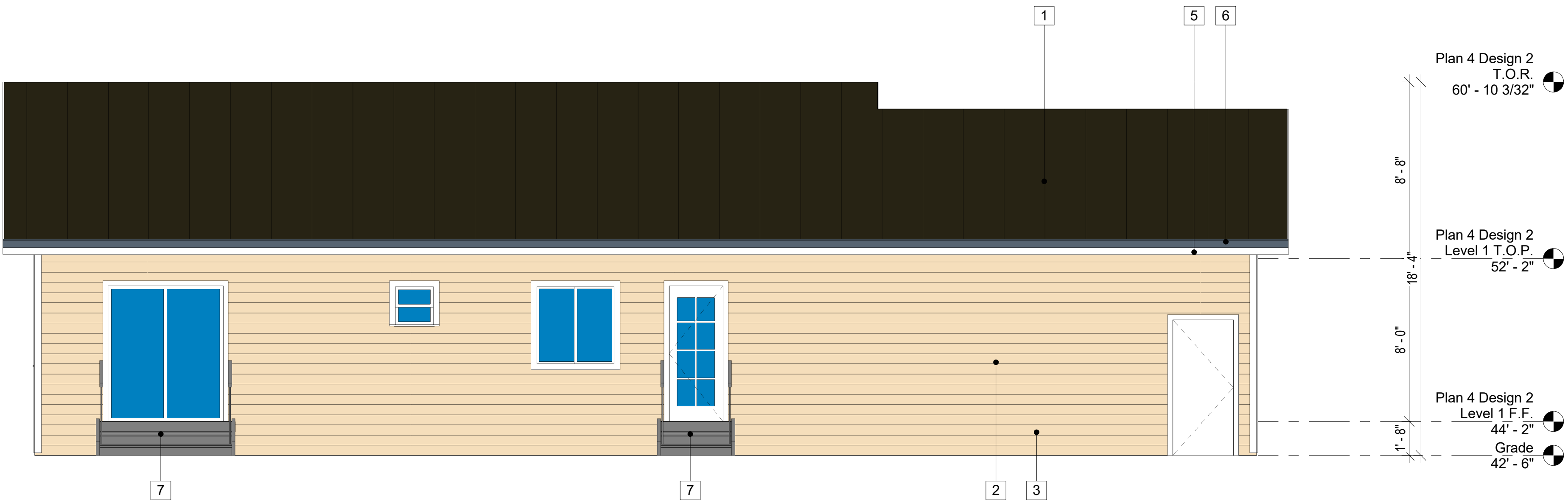
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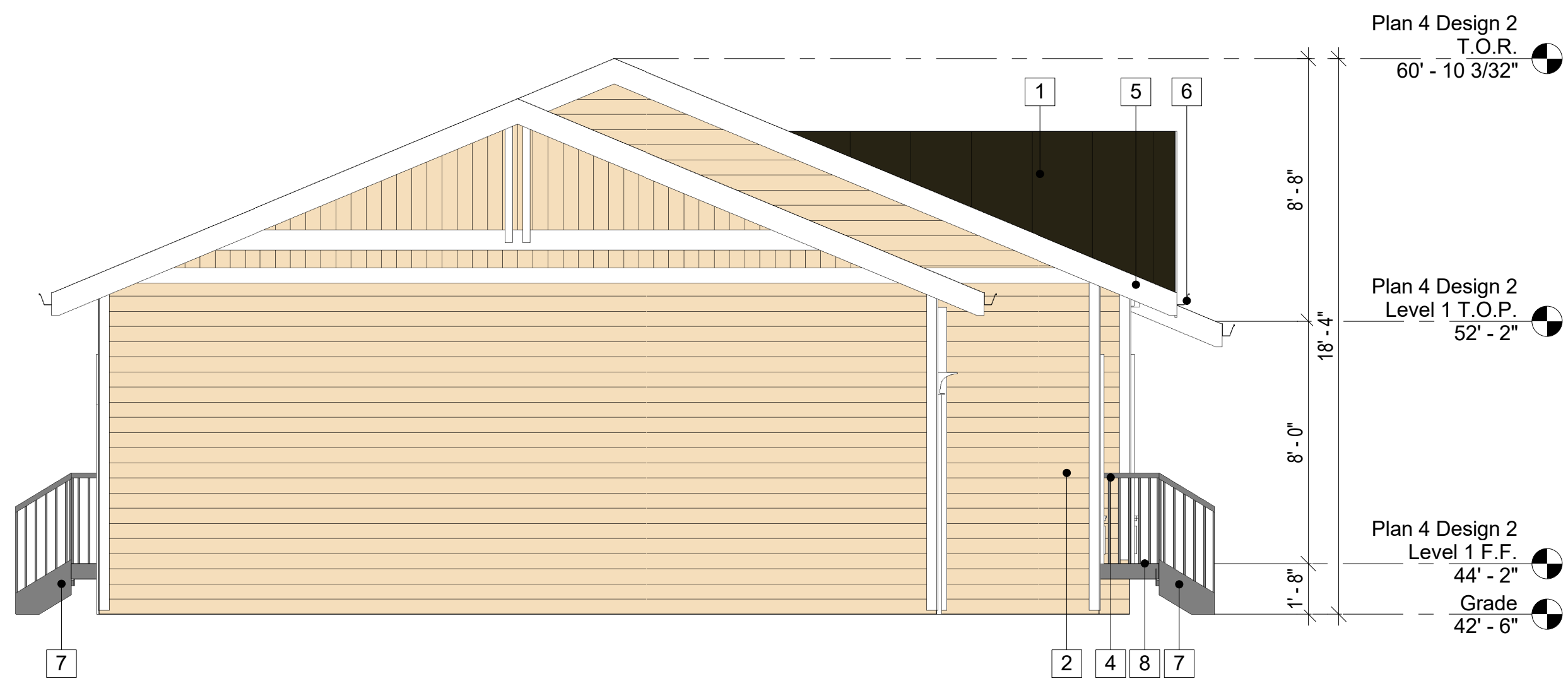
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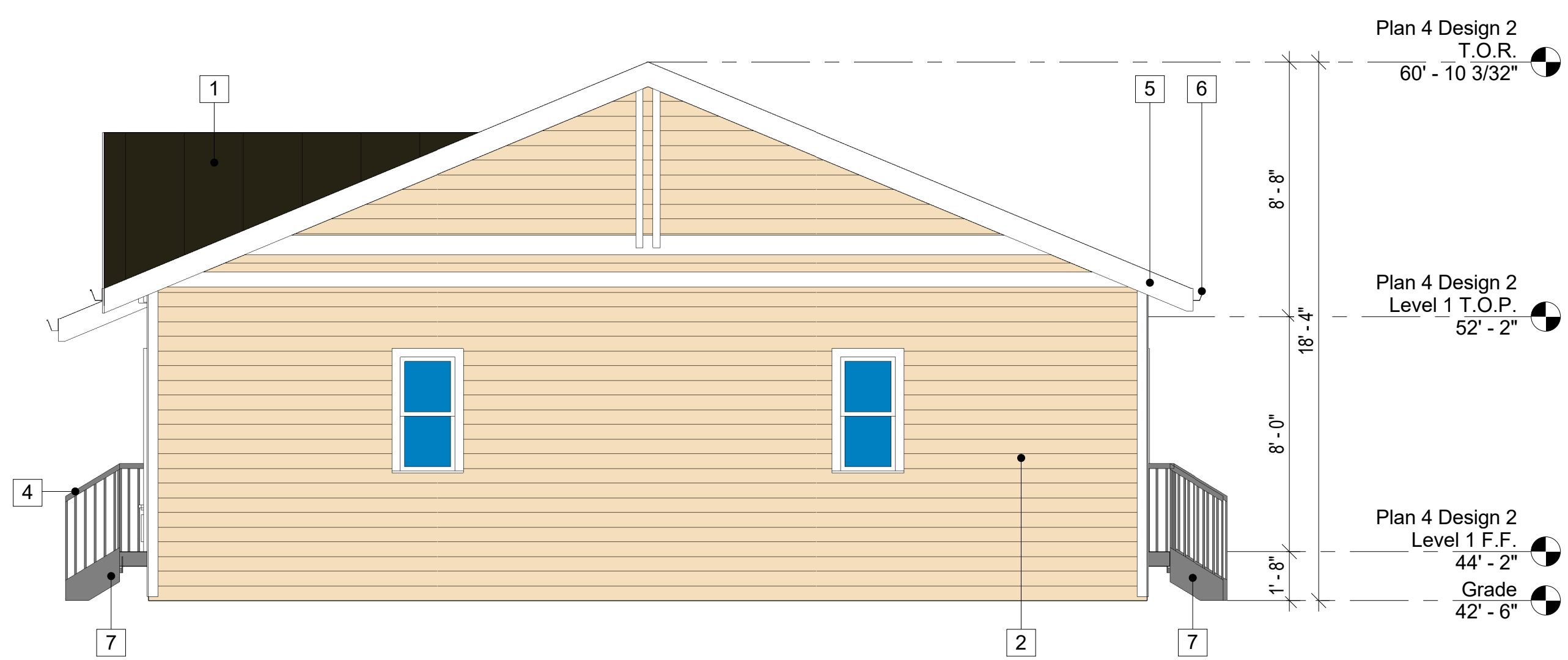
4 Front Elevation
1/4" = 1'-0"



1 Rear Elevation
1/4" = 1'-0"



3 Side Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
- 2 EXTERIOR WOOD SIDING
- 3 CONCRETE STEM
- 4 WOODEN RAILING
- 5 TYP. FASCIA BOARD
- 6 TYP. GUTTER
- 7 ENTRY STAIRS
- 8 CONCRETE COVERED PORCH
- 9 2 CAR GARAGE ROLL-UP DOOR
- 10 SIDELIGHT

OPTION 1

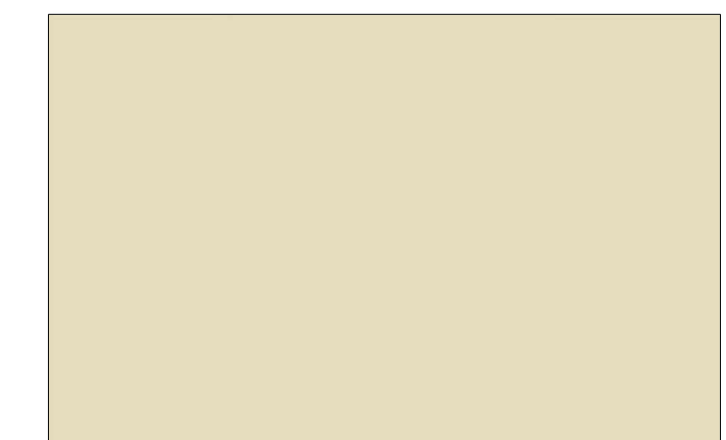
STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6379 JERSEY CREAM

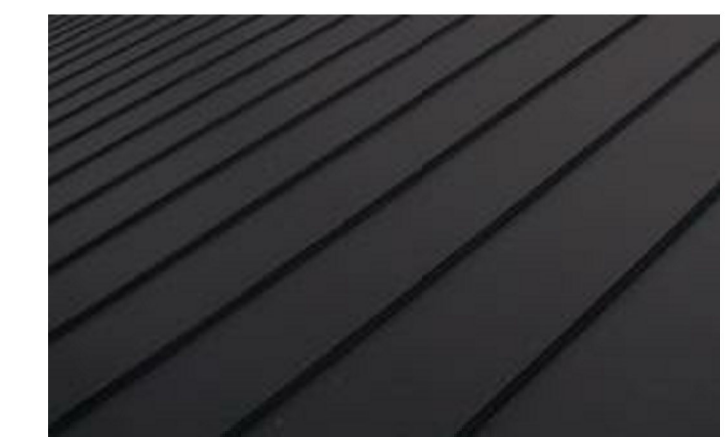


TRIM- EGGSHELL



OPTION 2

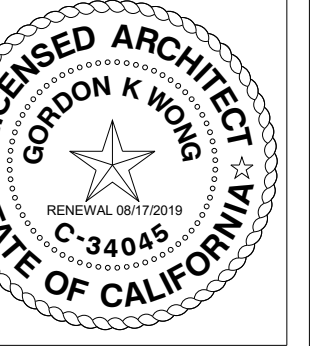
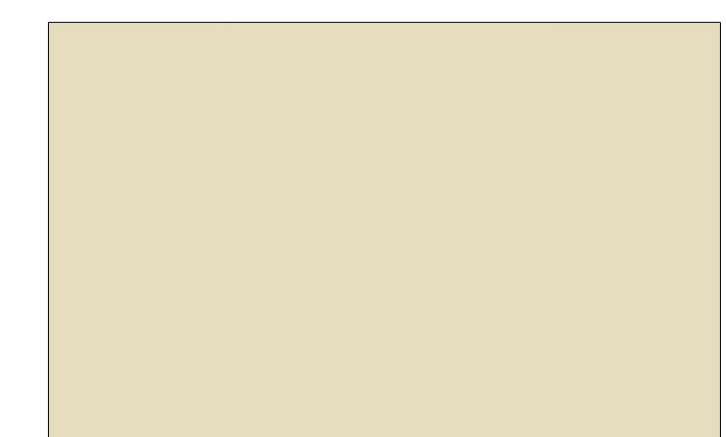
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7059 UNUSUAL GRAY

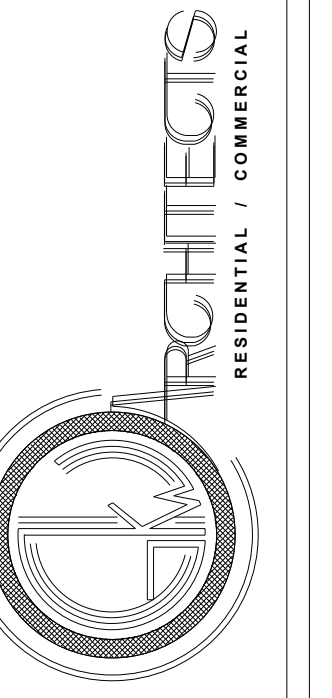


TRIM- EGGSHELL



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GKW ARCHITECTS.COM



Plan 4, Elevations A

Oakley Residential Development

2480 Oakley Road
Oakley, CA

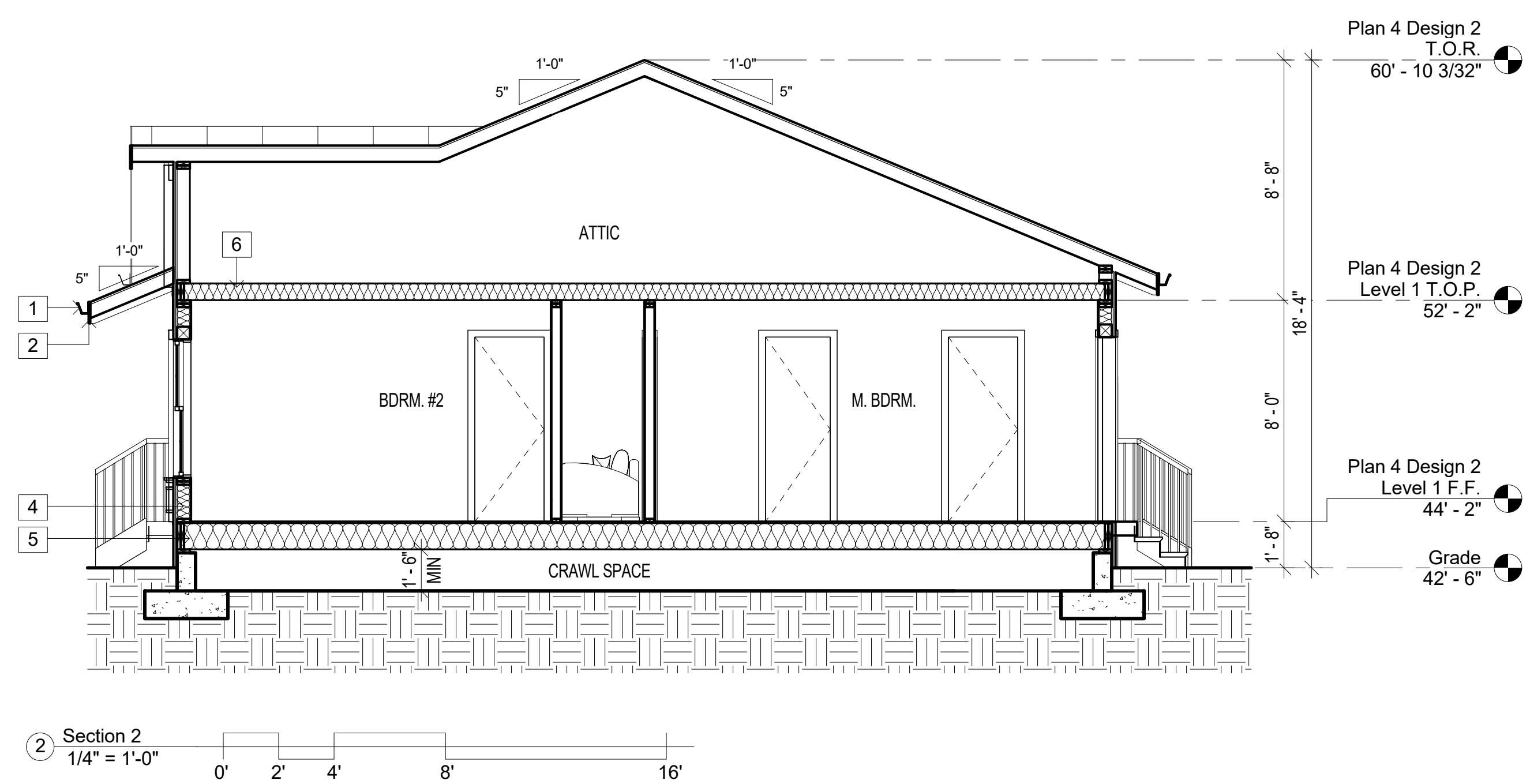
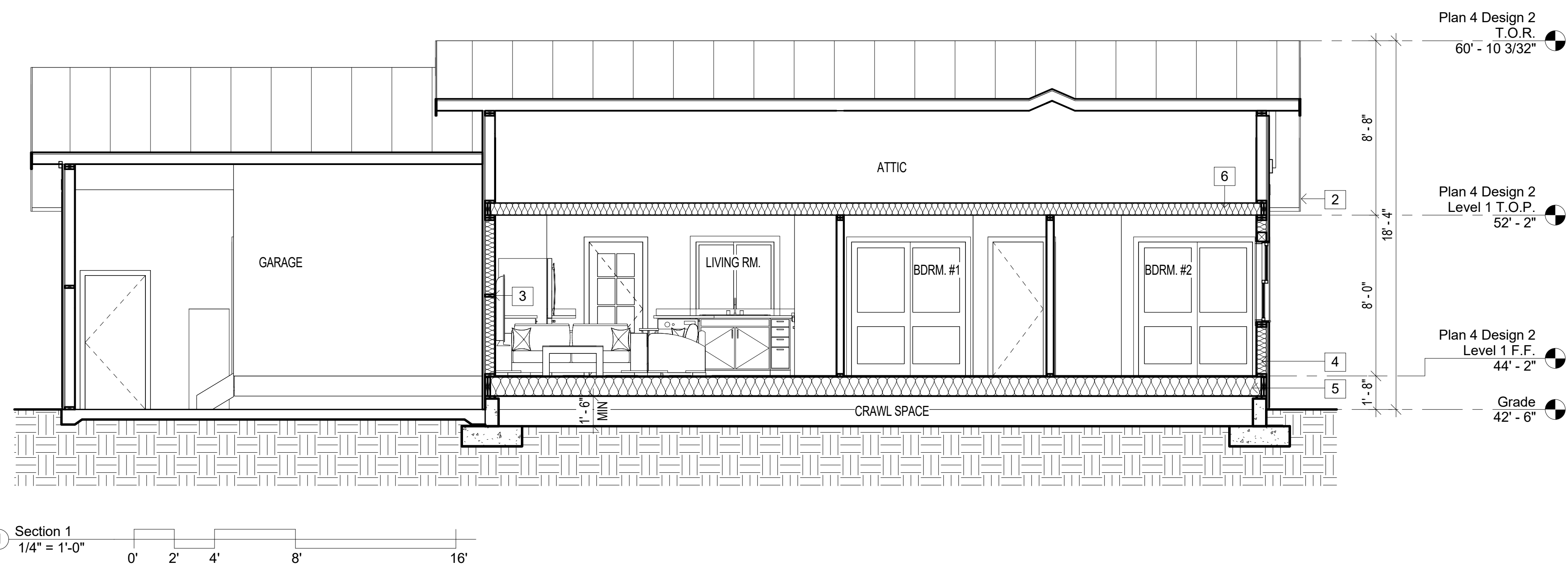
Project Schedule
Revision

Plan 4, Elevations
A

A4.03

SCALE 1/4" = 1'-0"

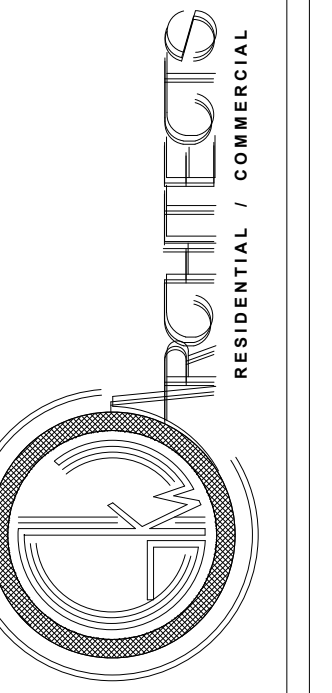
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SECTION KEYNOTES

- 1 GUTTER
- 2 FASCIA
- 3 FIRE BLOCK TYP.
- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING

Plan 4, Sections A



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Oakley Residential Development

2480 Oakley Road
Oakley, CA

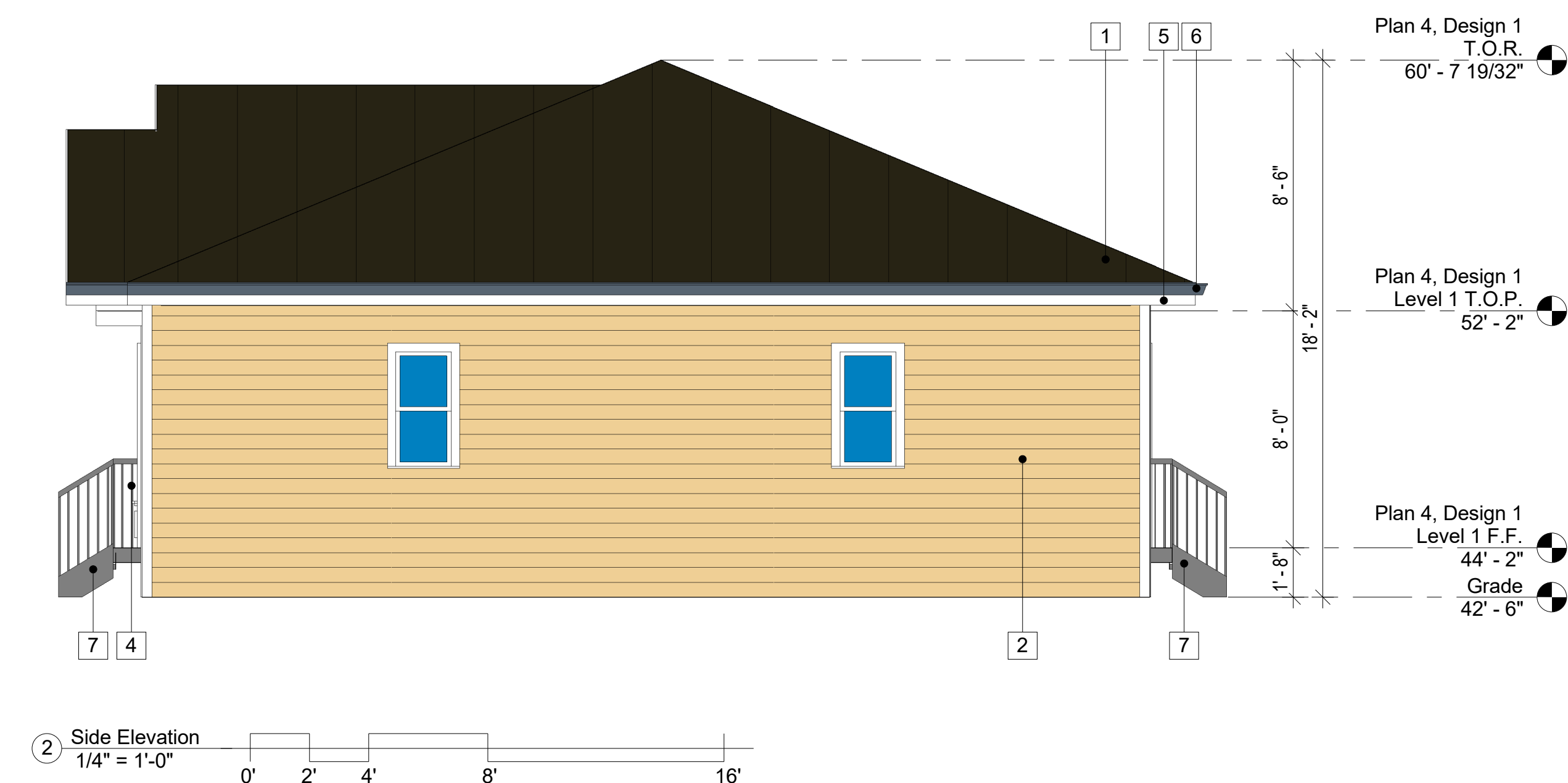
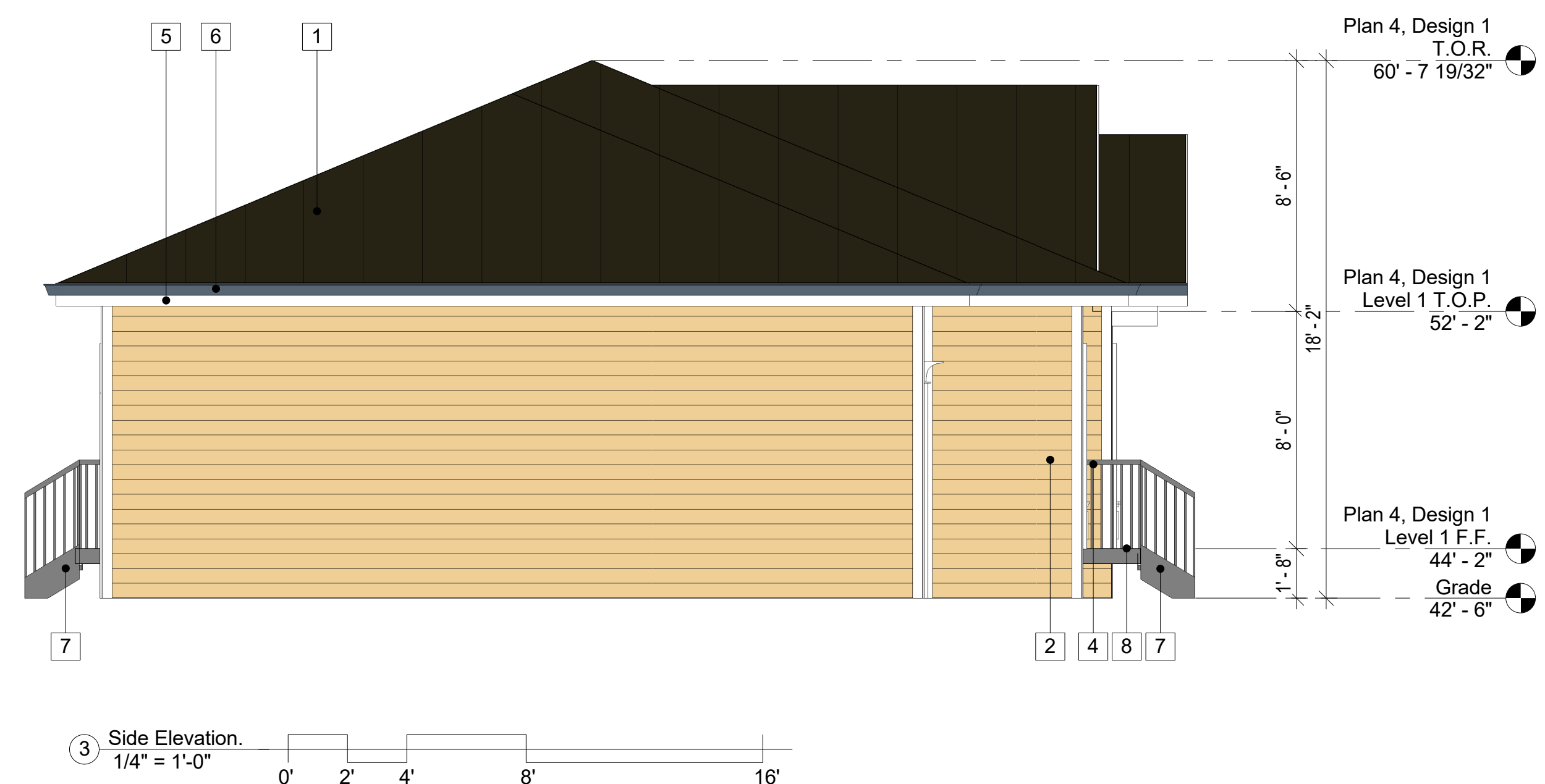
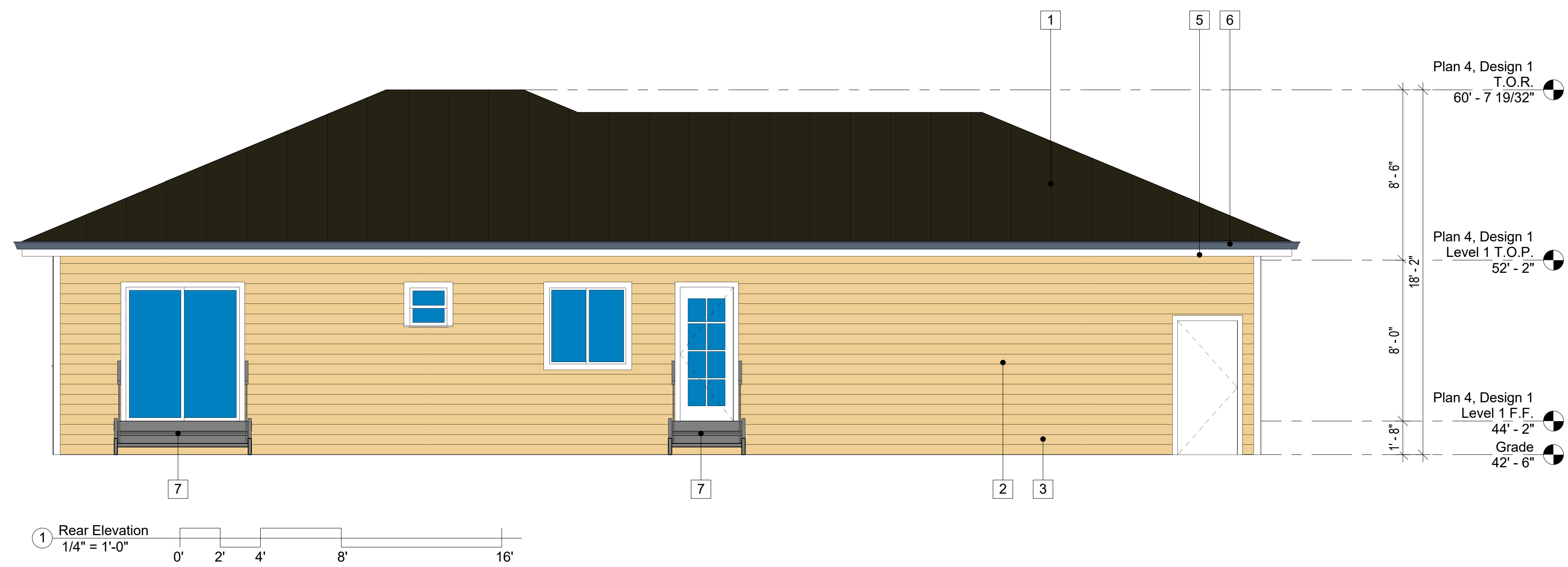
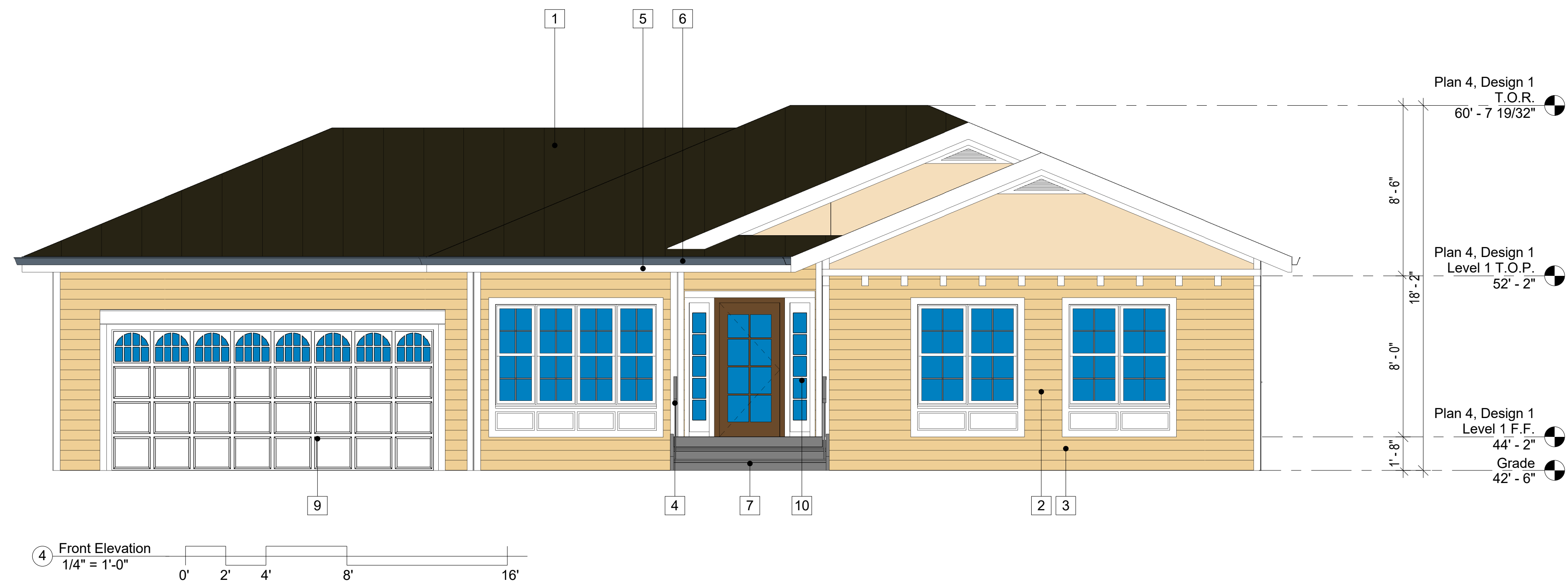
Project Schedule
Revision

Plan 4, Sections A

A4.04

SCALE 1/4" = 1'-0"

8/2/2019 5:31:00 PM



ELEVATION KEYNOTES:

- 1 ROOF MATERIAL- ALUMINUM RAFTER
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- 10 SIDELIGHT

OPTION 1

STANDING SEAM METAL- ROOF | AEP SPAN DARK BRONZE



EXTERIOR WOOD LAP SIDING | SW 6379 JERSEY CREAM



TRIM- EGGSHELL



OPTION 2

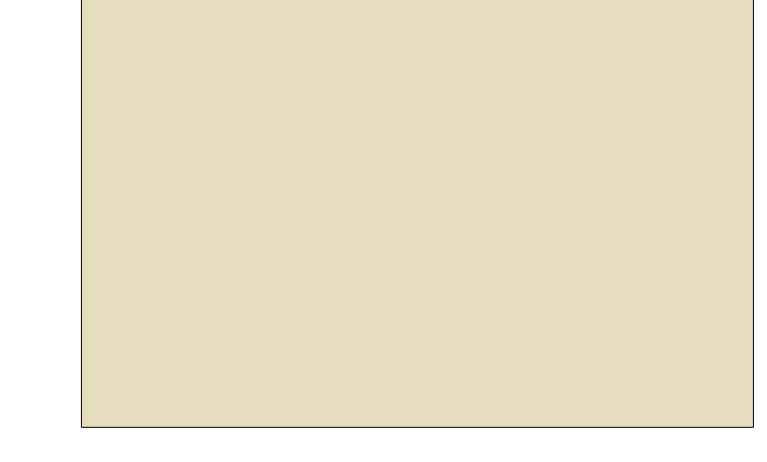
STANDING SEAM METAL- ROOF | AEP SPAN COOL MIDNIGHT BRONZE



EXTERIOR WOOD LAP SIDING | SW 7059 UNUSUAL GRAY

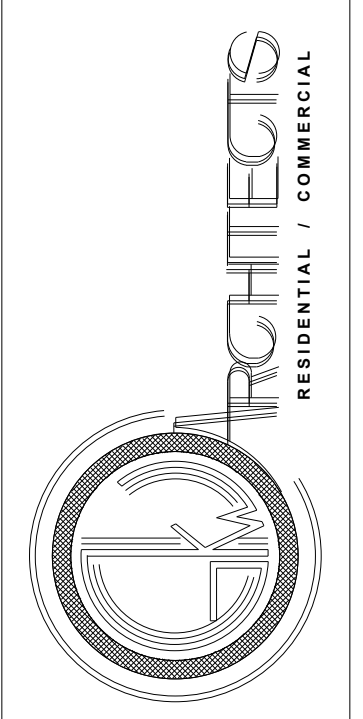


TRIM- EGGSHELL



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GKW ARCHITECTS.COM



Plan 4, Elevations B

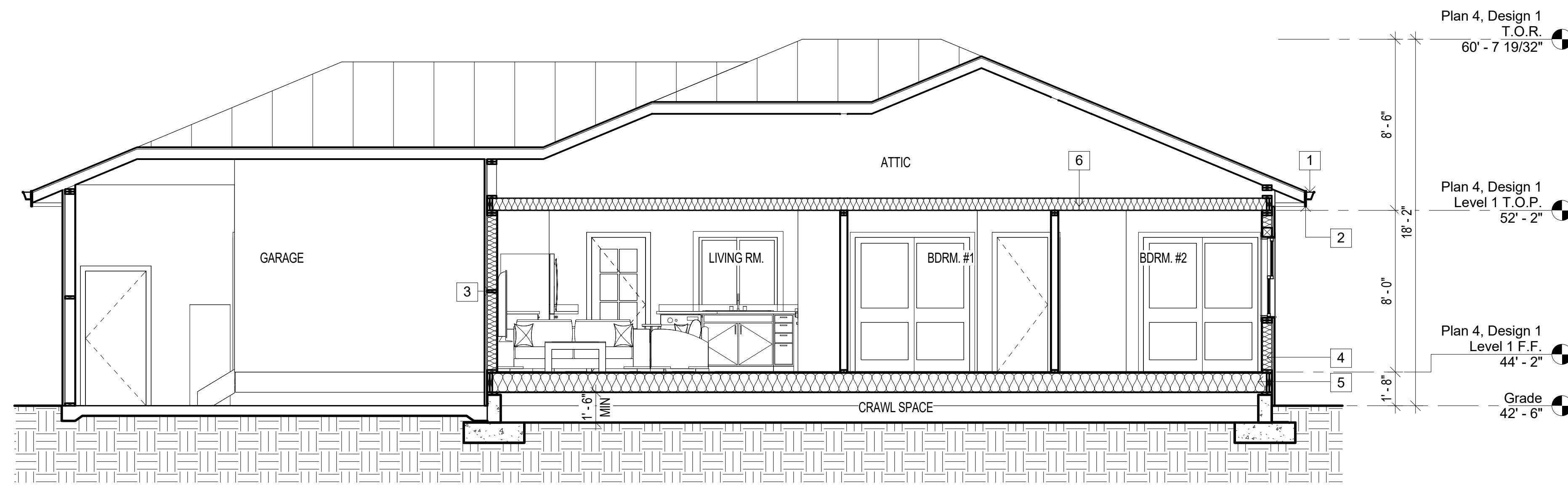
Oakley Residential Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

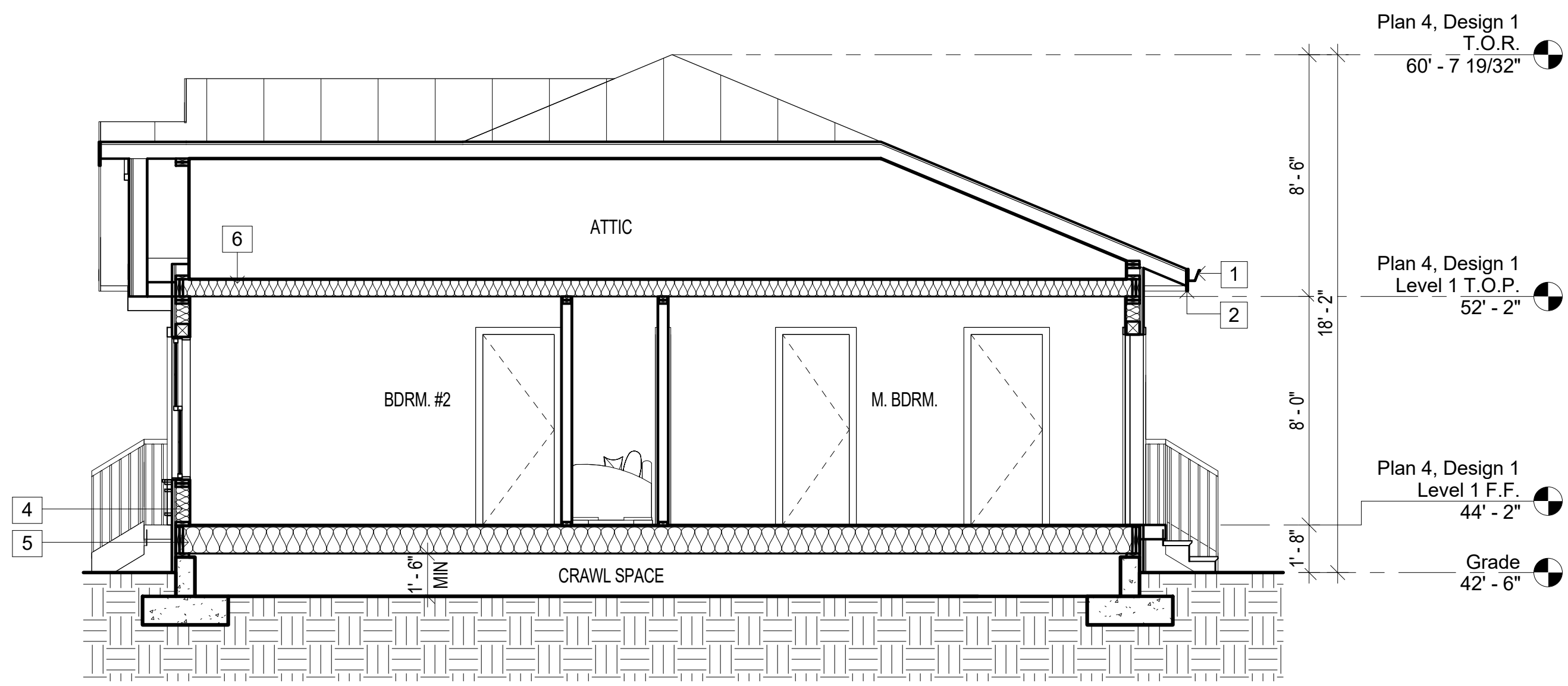
Plan 4, Elevations
B

A4.05

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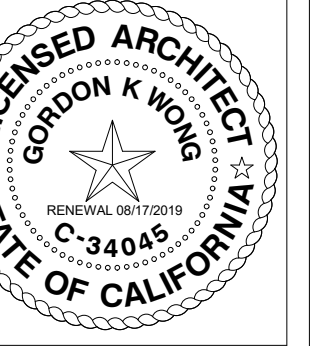
1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

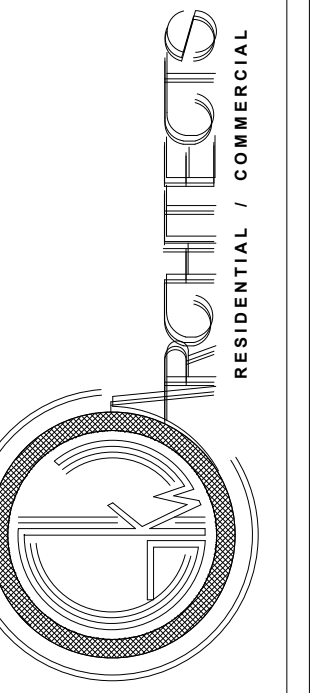
SECTION KEYNOTES

- 1 GUTTER
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- 4 INSULATION @ WALLS
- 5 INSULATION @ ALL RAISED FLOOR AREAS
- 6 INSULATION @ CEILING



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TEL: 925.885.1005
GKW ARCHITECTS.COM



Plan 4, Sections B

Oakley Residential Development

2480 Oakley Road
Oakley, CA

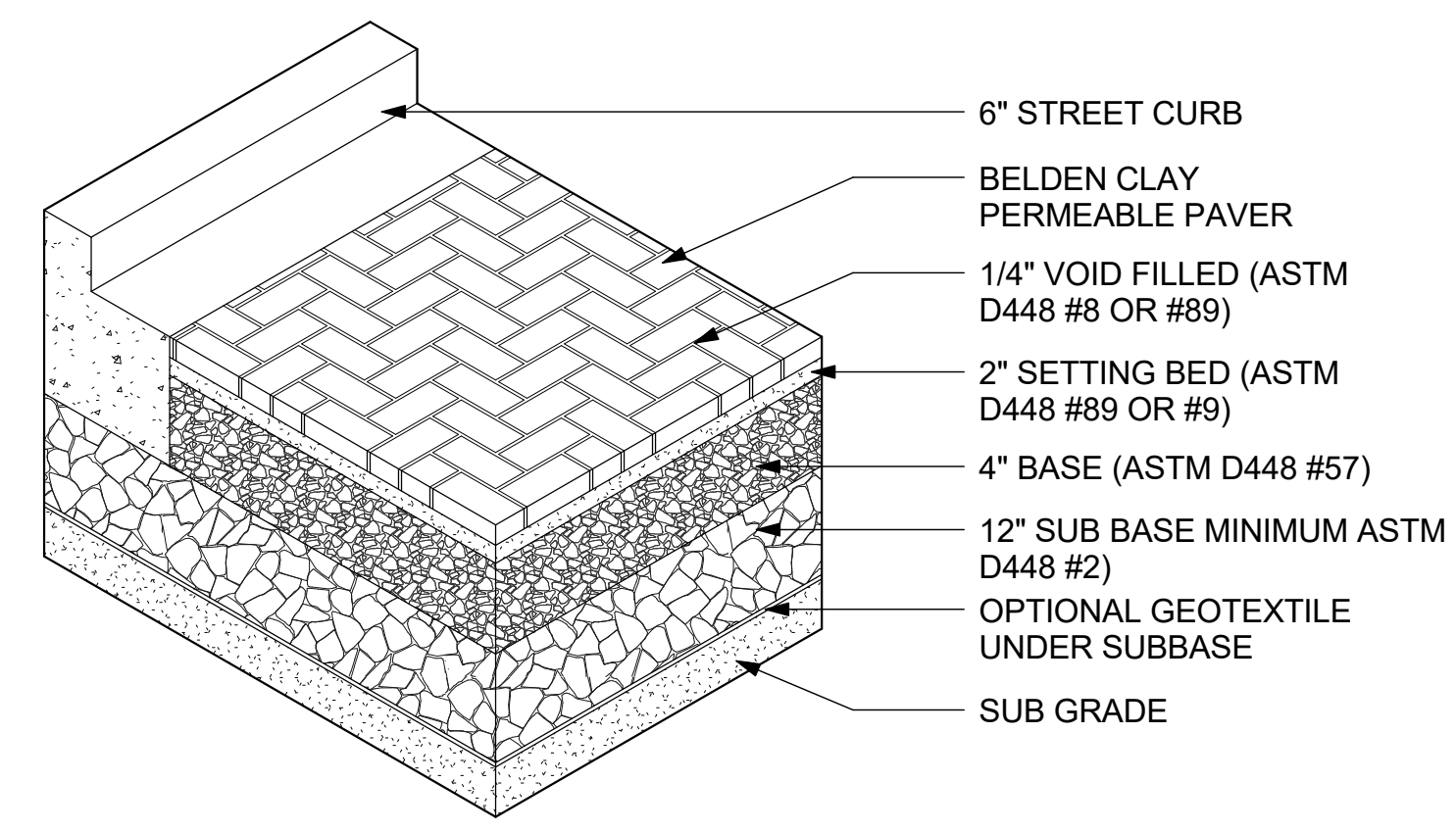
Project Schedule
Revision

Plan 4, Sections B

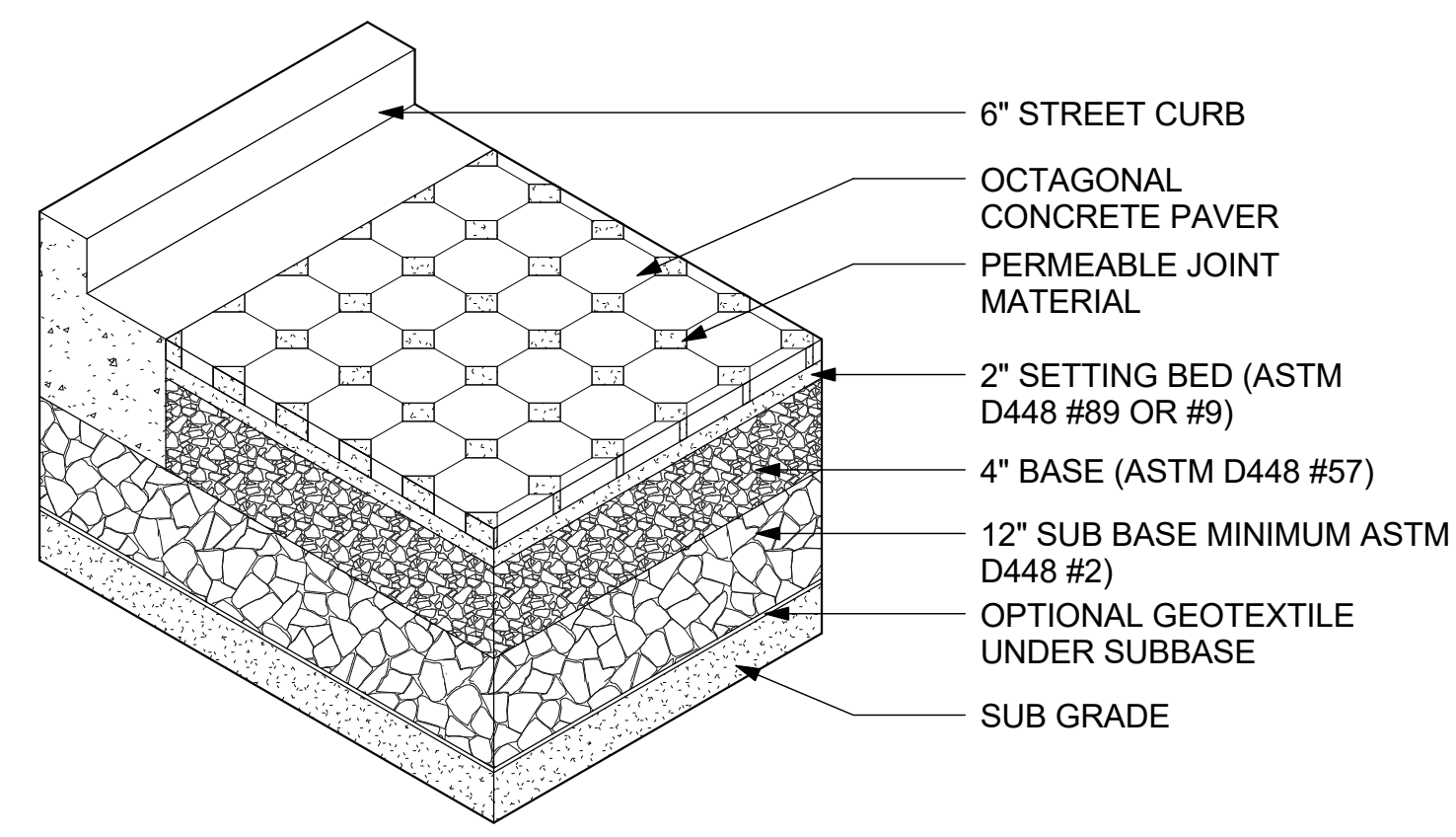
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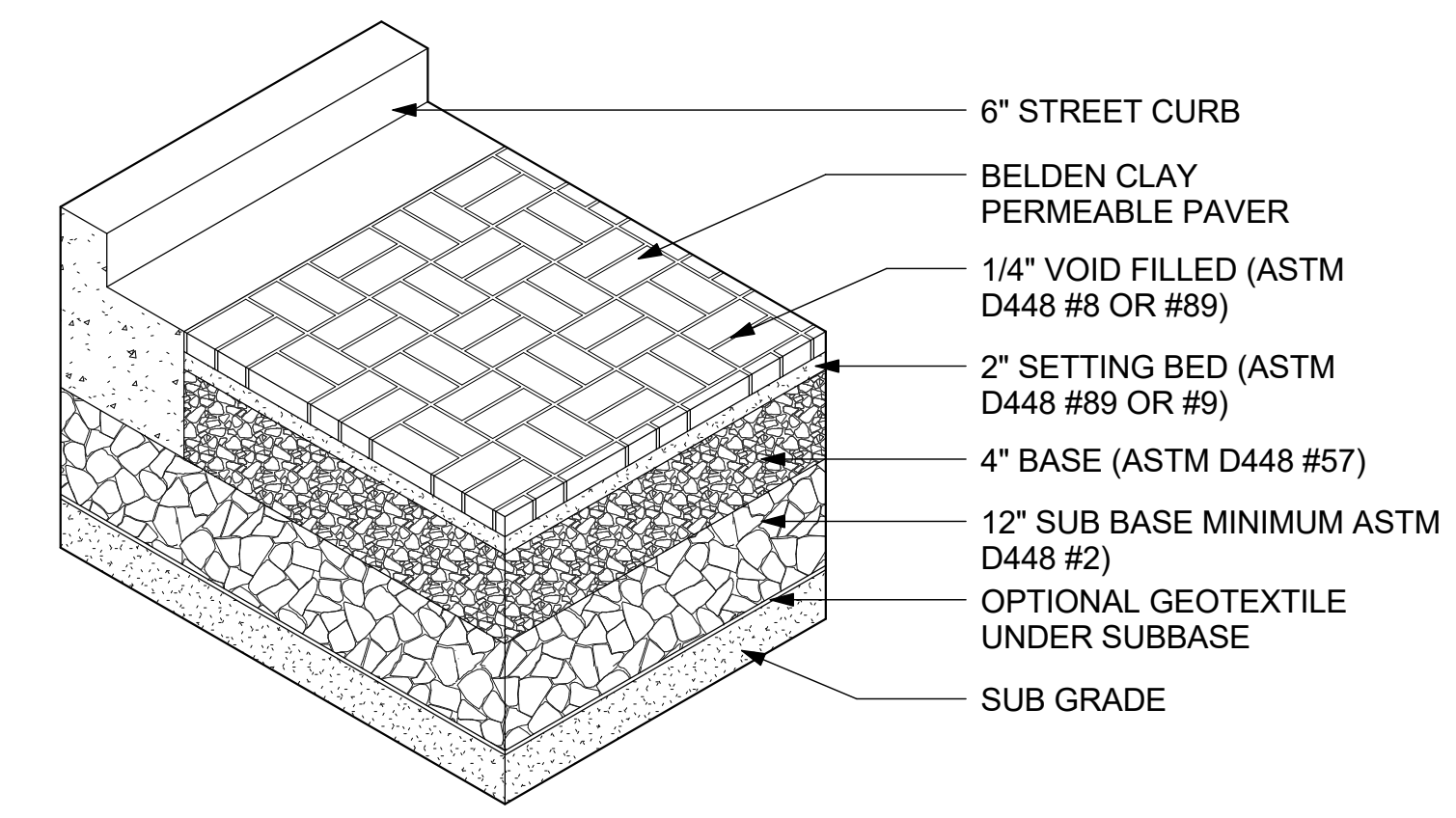
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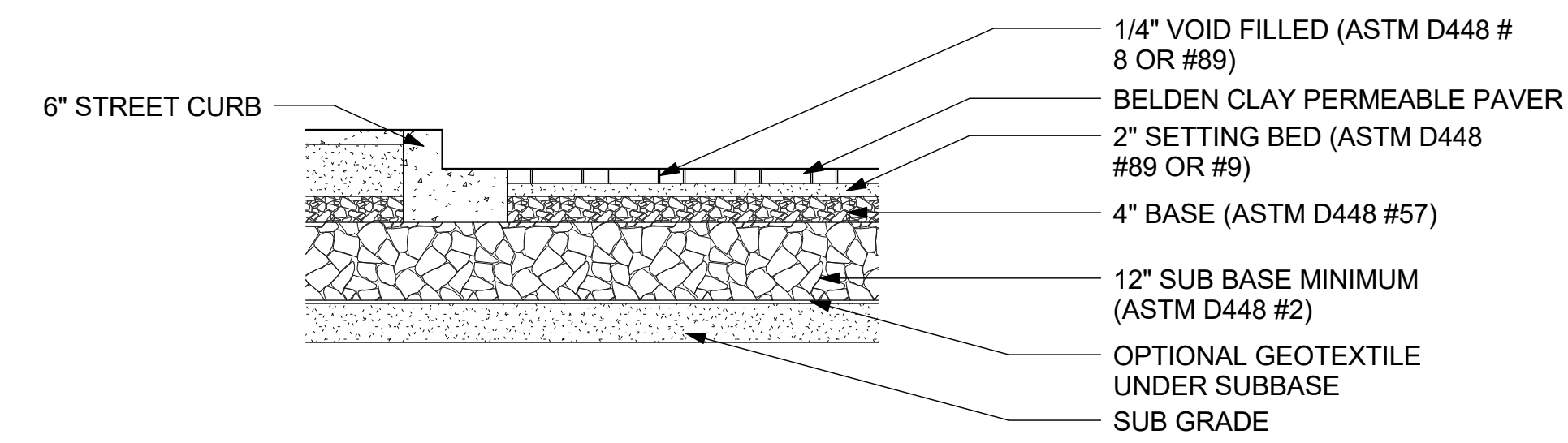
① Entry Paver - Herringbone Pattern
1/2" = 1'-0"



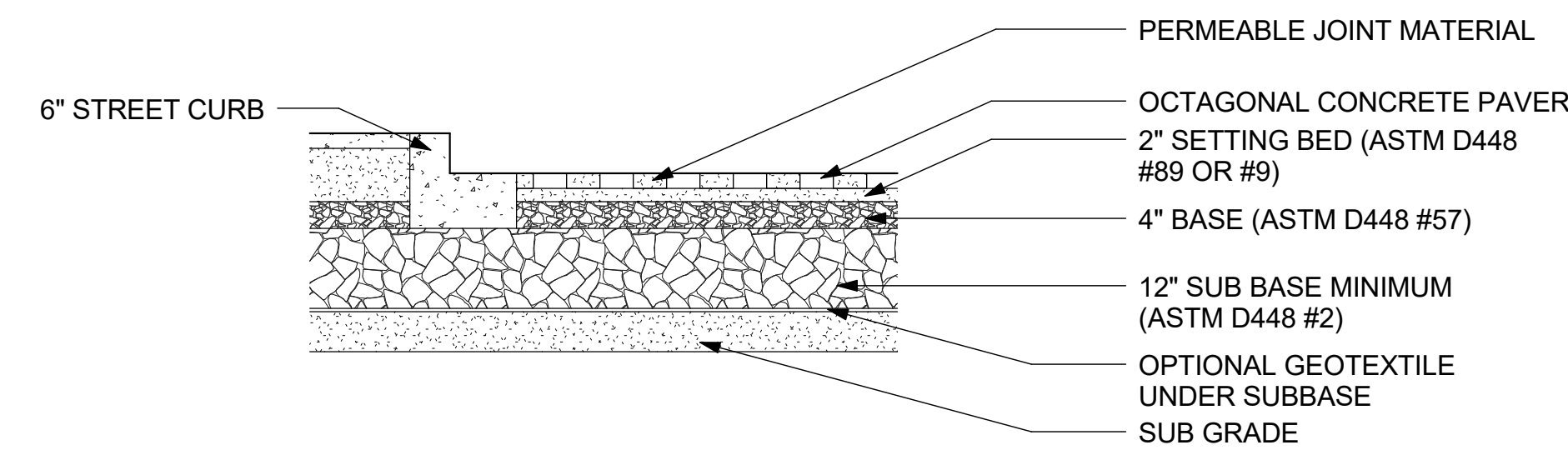
③ Entry Paver - Octagonal Pattern
1/2" = 1'-0"



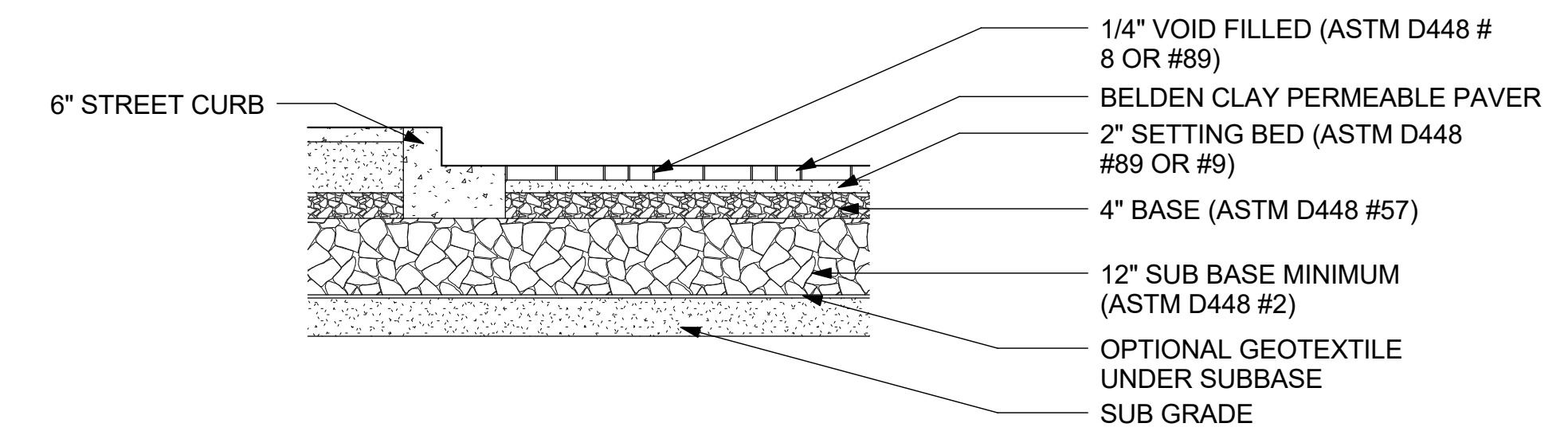
⑤ Entry Paver - Basketweave Pattern
1/2" = 1'-0"



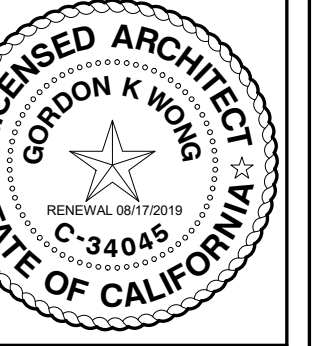
② Entry Paver Section - Herringbone Pattern
1/2" = 1'-0"



④ Entry Paver Section - Octagonal Pattern
1/2" = 1'-0"

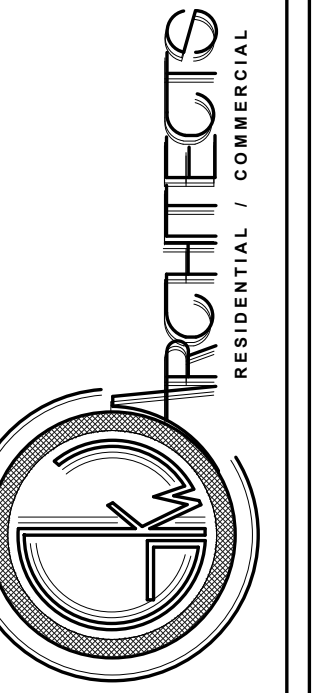


⑥ Entry Paver Section - Basketweave Pattern
1/2" = 1'-0"



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710E MCGLINCY LANE SUITE 109
CAMPBELL, CA 95008
TEL: 415.451.0045
GKW ARCHITECTS.COM



Architectural Details

Oakley Residential Development

2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Architectural
Details

A5.00

SCALE 1/2" = 1'-0"

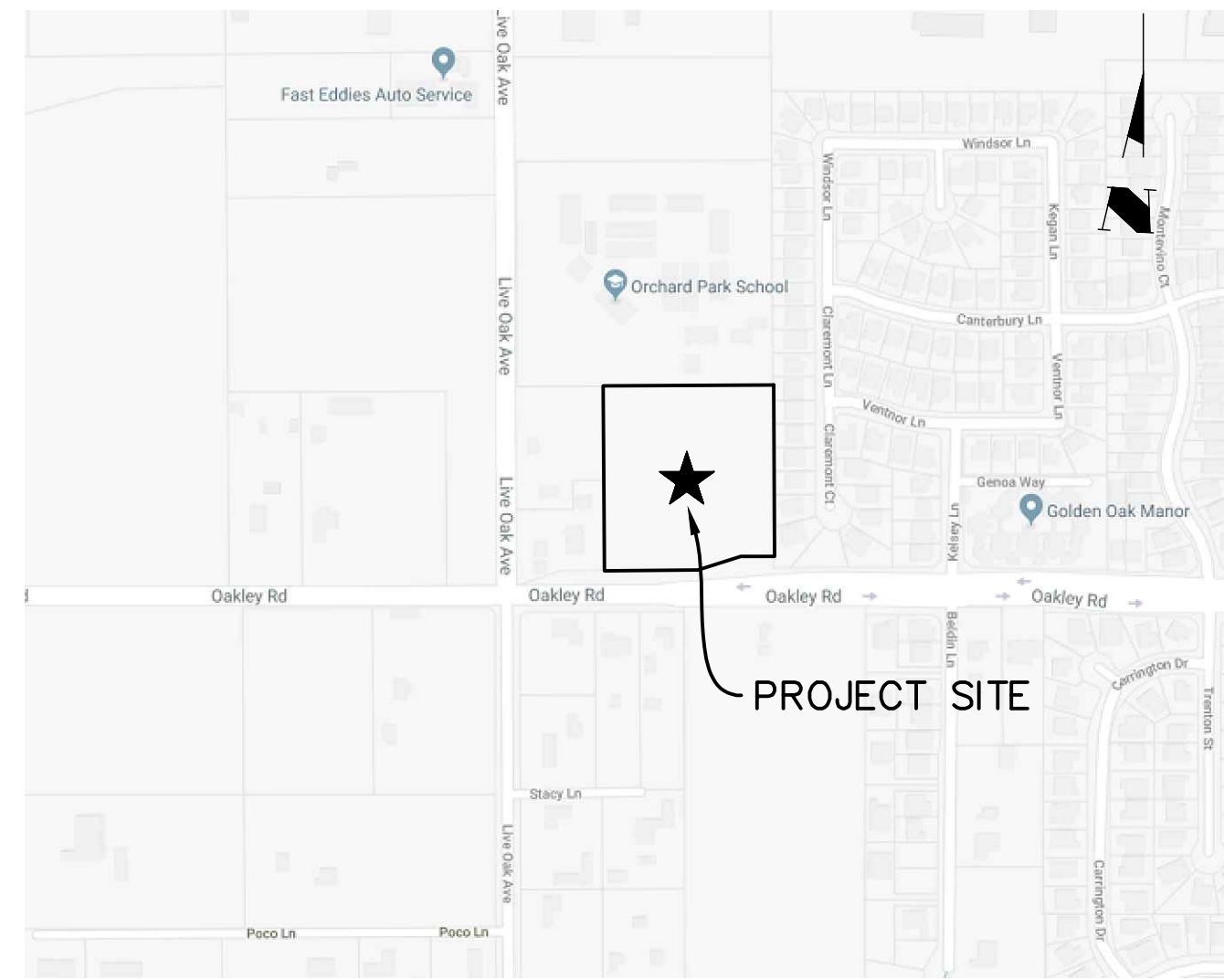
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TENTATIVE MAP

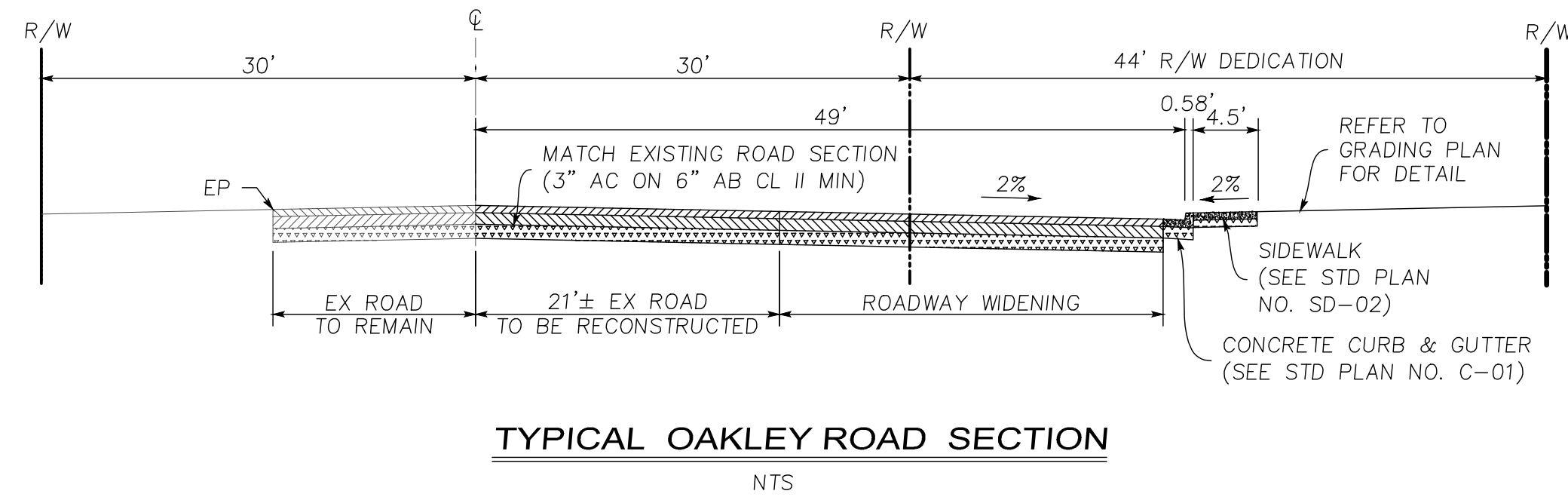
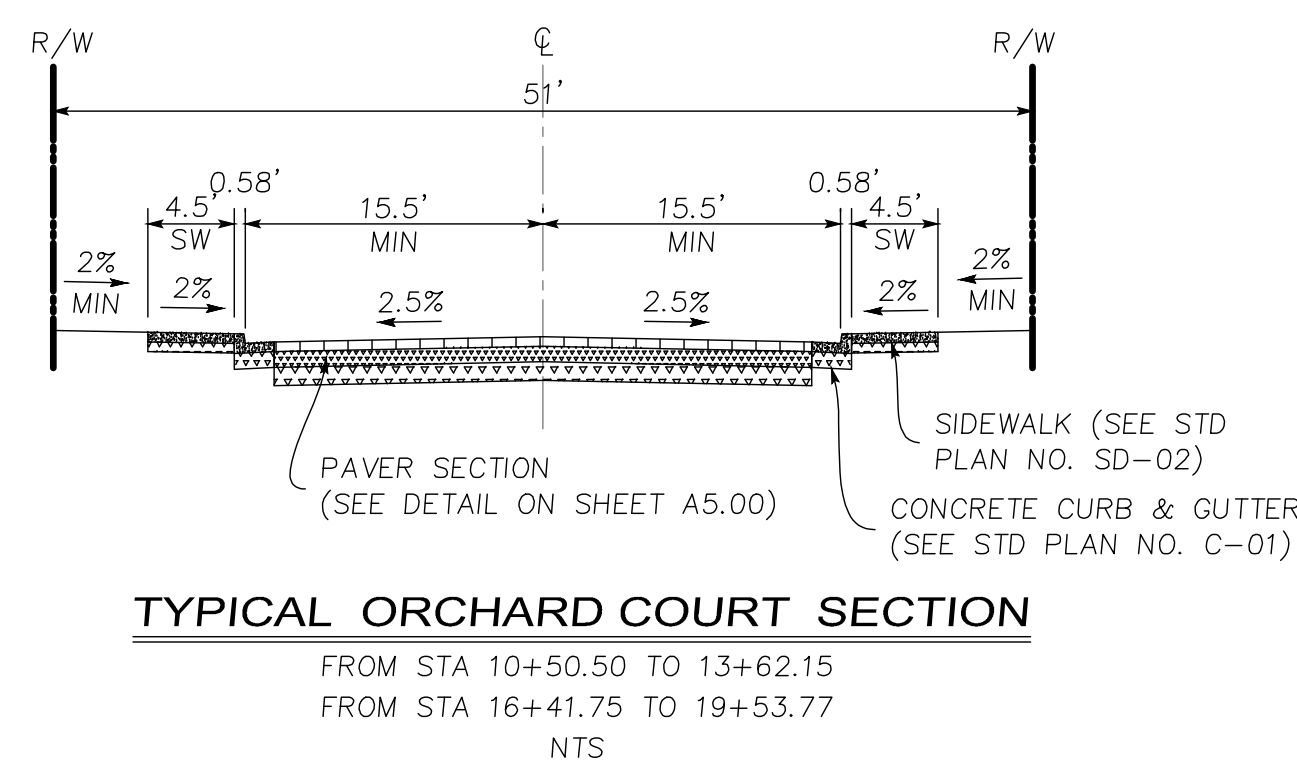
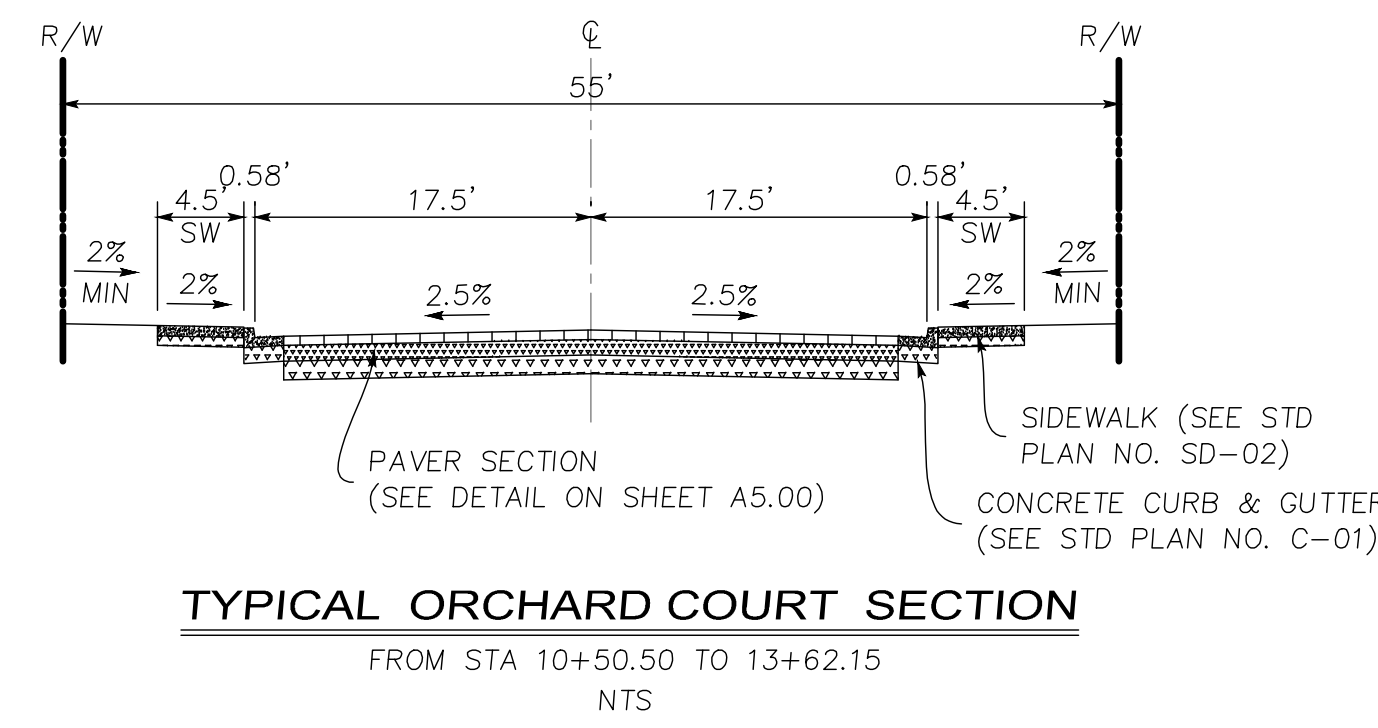
SUBDIVIDE ONE (1) LOT INTO TWENTY-THREE (23) LOTS

2480 OAKLEY ROAD, OAKLEY, CA 94561

APN 037-100-043-1



VICINITY MAP
NTS



	EXISTING	PROPOSED	TO BE REMOVED
SIDEWALK			
CURB AND GUTTER			
CENTER LINE			
PROPERTY LINE			
LOT LINE			
EASEMENT LINE			
EDGE OF PAVEMENT			
DRIVEWAY			
PCC OR AC			
STANDARD CITY MONUMENT			
BENCH MARK			
MANHOLE			
STORM DRAIN INLET			
WATER METER			
VALVE			
FIRE HYDRANT			
STREET LIGHT			
POWER POLE			
PULL BOX			
CABLE TELEVISION LINE			
ELECTRICAL LINE			
IRRIGATION LINE			
NATURAL GAS LINE			
OVERHEAD LINE			
SANITARY SEWER LINE			
STORM DRAIN LINE			
TELEPHONE LINE			
WATER LINE			
TRAFFIC SIGNAL CONDUIT			
LIGHTING CONDUIT			
ROADSIDE SIGN & SIGN CODE			
FENCE			
TREE/SHRUB			

PROJECT DATA

1. SITE ADDRESS: OAKLEY ROAD, OAKLEY
2. ASSESSORS PARCEL NO: 037-100-043
3. OWNER: OAKLEY ROAD PARTNERS, LLC
ADDRESS: 2480 OAKLEY ROAD, OAKLEY, CA 94561
PHONE:
EMAIL:
4. ARCHITECT: GKW ARCHITECT, INC
GORDON K WONG, ARCHITECT AIA, LEED GA
ADDRESS: 710 E MCGILGUY LN #109, CAMPBELL, CA 95008
PHONE: (408) 796-1845
EMAIL: GORDONKWONG@GKWARCHITECTS.COM
5. LANDSCAPE ARCHITECT: HEID LANDSCAPE, JEFFREY HEID ARCHITECT
ADDRESS: 6179 ONEIDA DRIVE, SAN JOSE, CA 95123
PHONE: (408) 691-5207
EMAIL: WJHEID@GMAIL.COM
6. CIVIL ENGINEER: LC ENGINEERING/ NINH LE
ADDRESS: 598 E SANTA CLARA ST, #270, SAN JOSE, CA 95112
PHONE: (408)806-7187
EMAIL: NLE@LCENGINEERING.NET
7. SOIL ENGINEER: GEO-ENGINEERING SOLUTIONS, INC
ADDRESS: 2570 SAN RAMON VALLEY BLVD, SUITE #A102
SAN RAMON, CALIFORNIA 94583
(925) 433-0450
PHONE: ESWENSON@GEO-ENG.NET
EMAIL:
8. ZONING:
EXISTING: LI (LIGHT INDUSTRIAL)
PROPOSED: R-6 (SINGLE FAMILY RESIDENTIAL) DISTRICT
9. EXISTING USE: VACANT
10. PROPOSED USE: 22 SINGLE FAMILY RESIDENTIAL
11. MINIMUM UNIT SIZE: 6,000 SF
12. ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
13. STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY.
14. PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN SHALL BE CONSTRUCTED AS PER DIABLO WATER DISTRICT, IRON HOUSE SANITARY DISTRICT, AND CITY OAKLEY STANDARDS.
15. STREET LIGHTS WILL BE INSTALLED PER THE CITY OF OALEY STANDARDS AND DEDICATED TO THE CITY.
16. WATER: DIABLO WATER DISTRICT
17. SEWER: IRON HOUSE SANITARY DISTRICT
18. GAS & ELECTRIC: PG&E
19. TELEPHONE: AT&T
20. CABLE TV: COMCAST
21. WELLS: NONE
22. THE SIZE, MATERIAL, AND LOCATION OF THE PROPOSED UTILITIES IS SUBJECT TO CHANGE, BASED ON DEMANDS, HYDRAULIC CALCULATIONS, AND/ OR CITY STANDARD GUIDELINES.

SHEET INDEX

- SHEET TM-1: TITLE SHEET & GENERAL NOTE
- SHEET TM-2: TENTATIVE MAP
- SHEET C3.1: OVERALL SITE PLAN

REV	DESCRIPTION	DATE	BY	DATE

PT	DESIGNED	DATE	DATE
PT	DESIGNED	07/02/19	07/02/19
PT	DRAWN	07/02/19	07/02/19
NTS	SCALE	NTS	02/02/19
NL	CHECKED		

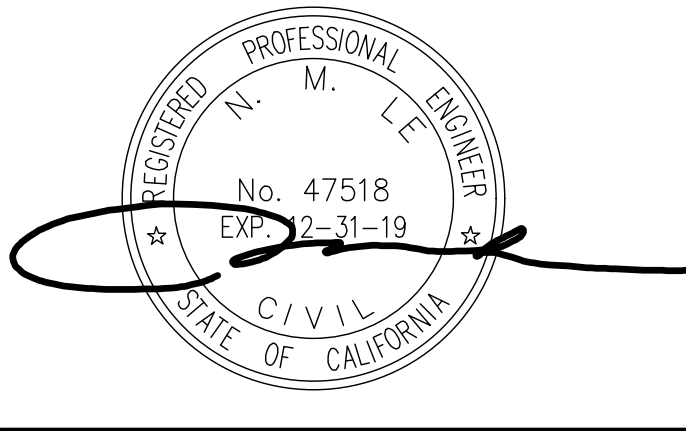
ENGINEERING

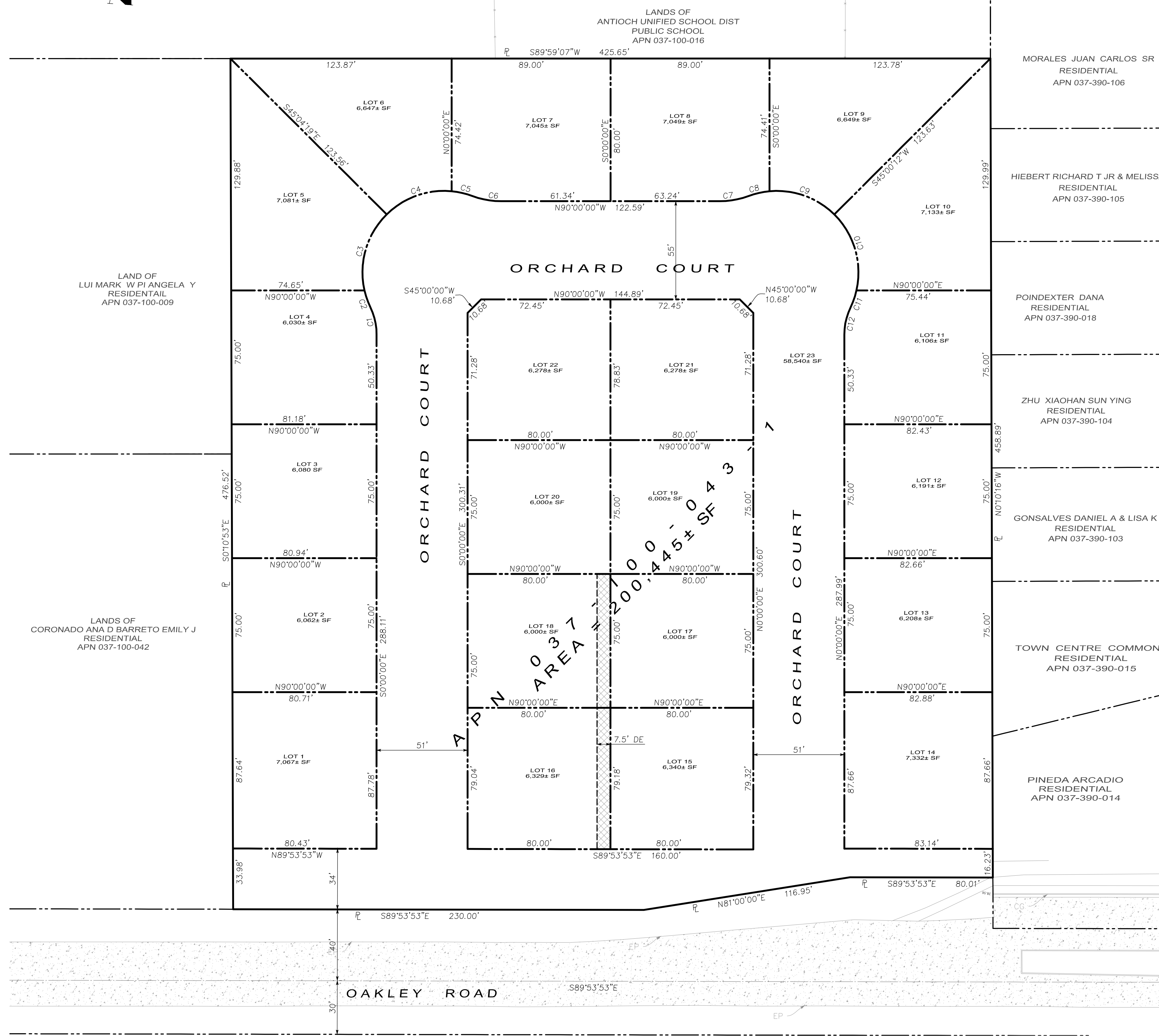
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 383-4006

TITLE SHEET AND GENERAL NOTE
LANDS OF OAKLEY ROAD PARTNERS, LLC
OAKLEY ROAD
APN 037-100-043-1

California

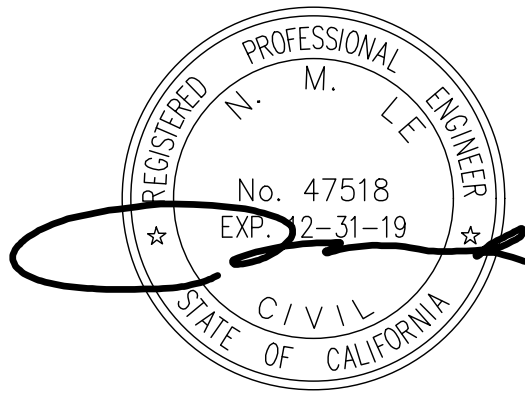
CONTRACT NO.:
PROJECT NO.:
FILE NO.:
TM-1
SHEET NO. 1 OF 3





CURVE#	LENGTH	RADIUS	DELTA	TANGENT
C1	15.63'	35.00	25°35'26"	7.95'
C2	10.14'	45.63	12°43'57"	5.09'
C3	46.36'	45.63	58°12'26"	25.40'
C4	39.89'	45.63	50°05'11"	21.32'
C5	12.01'	45.63	15°04'39"	6.04'
C6	16.34'	45.63	20°30'47"	8.26'
C7	16.34'	45.63	20°30'46"	8.26'
C8	12.10'	45.63	15°11'25"	6.08'
C9	39.86'	45.63	50°03'12"	21.30'
C10	46.29'	45.63	58°07'38"	25.36'
C11	10.14'	45.63	12°43'57"	5.09'
C12	15.63'	35.00	25°35'26"	7.95'

LOT #	LOT SIZE	BUILDING	DRIVEWAY & PARKING	LANDSCAPE AREA	PERCENT OF LANDSCAPE COVERAGE
1	7,067 SF	2,239 SF	905 SF	3,923 SF	55.51%
2	6,062 SF	1,999 SF	710 SF	3,353 SF	55.31%
3	6,080 SF	1,906 SF	1,053 SF	3,121 SF	51.33%
4	6,030 SF	1,474 SF	745 SF	3,811 SF	63.20%
5	7,081 SF	1,883 SF	756 SF	4,442 SF	62.73%
6	6,647 SF	1,474 SF	728 SF	4,445 SF	66.87%
7	7,045 SF	2,239 SF	800 SF	4,005 SF	56.86%
8	7,049 SF	2,239 SF	912 SF	3,898 SF	55.30%
9	6,649 SF	1,474 SF	827 SF	4,348 SF	65.39%
10	7,133 SF	1,999 SF	664 SF	4,470 SF	62.67%
11	6,105 SF	1,474 SF	859 SF	3,773 SF	61.79%
12	6,191 SF	1,906 SF	1,020 SF	3,265 SF	52.74%
13	6,208 SF	1,999 SF	710 SF	3,499 SF	56.36%
14	7,332 SF	2,239 SF	896 SF	4,197 SF	57.24%
15	6,340 SF	1,474 SF	682 SF	4,184 SF	65.99%
16	6,329 SF	1,474 SF	714 SF	4,141 SF	65.43%
17	6,000 SF	1,999 SF	764 SF	3,237 SF	53.95%
18	6,000 SF	1,906 SF	1,020 SF	3,074 SF	51.23%
19	6,000 SF	1,906 SF	1,160 SF	2,934 SF	48.90%
20	6,000 SF	1,474 SF	748 SF	3,778 SF	62.97%
21	6,278 SF	1,474 SF	748 SF	4,056 SF	64.61%
22	6,278 SF	1,474 SF	735 SF	4,069 SF	64.81%
23	58,540 SF		46,768 SF	11,772 SF	20.11%



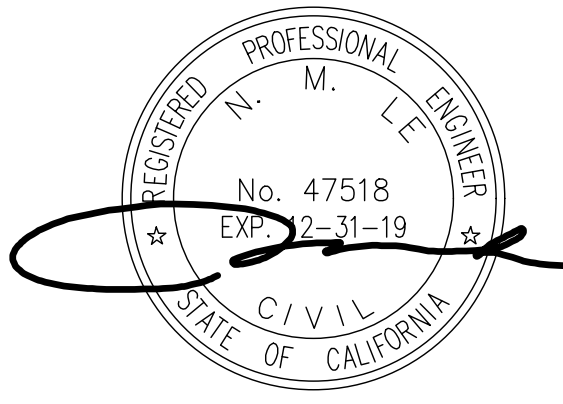
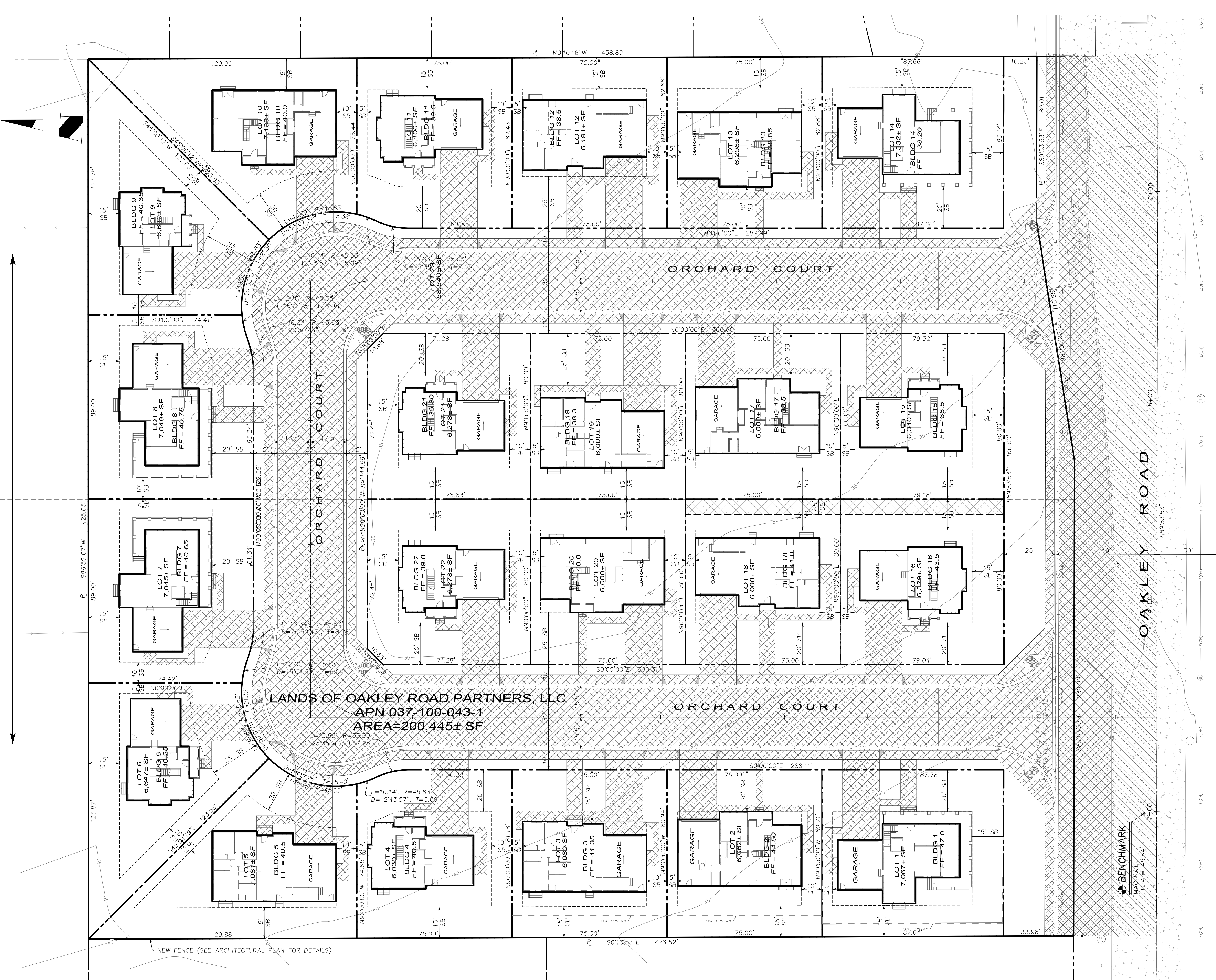
TENTATIVE MAP
LANDS OF OAKLEY ROAD PARTNERS, LLC
OAKLEY ROAD
APN 037-100-043-1

California
Oakley

DRAWING NO. TM-2	SHEET NO. 2	OF 3	PROJECT NO. Oakley
DATE: 02/02/19		DESIGNED: [Signature]	CHECKED: [Signature]
DATE: 02/02/19		DRAWN: [Signature]	DATE: 02/02/19
SCALE: 1" = 20'		BY: [Signature]	DATE: [Blank]
FILE NO. [Blank]		APPROVED: [Signature]	DATE: [Blank]
REVISIONS: [Blank]		NO. [Blank]	DATE: [Blank]

ENGINEERING
 598 E Santa Clara St., #270
 San Jose, CA 95128
 Phone: (408) 806-7187
 Fax: (408) 583-4006

PHASE 1 (11 RESIDENTIAL UNITS)
 PHASE 2 (11 RESIDENTIAL UNITS)



DRAWING NO. C3.1	SHEET NO. 3	OF 3	FILE NO. Oakley	CONTRACT NO.	PROJECT NO.	OVERALL SITE PLAN		California
						LANDS OF OAKLEY ROAD PARTNERS, LLC OAKLEY ROAD APN 037-100-043-1		
DESIGNED PT	DATE 02/02/19	DRAWN PT	DATE 02/02/19	CHECKED NL	DATE 02/02/19	BY	DATE	REVISIONS

GENERAL NOTES:

- THE CITY OF OAKLEY MUST INSPECT AND APPROVE ALL STORM WATER TREATMENT MEASURES PRIOR TO GRANTING CERTIFICATE OF OCCUPANCY.
- SOIL USED IN LANDSCAPE BASED TREATMENT MEASURES SHALL MEET THE SOIL SPECIFICATIONS INCLUDED IN THE MOST RECENT VERSION OF THE MUNICIPAL REGIONAL STORMWATER NPDES PERMIT.
- ALL STORMWATER TREATMENT MEASURES MUST BE MAINTAINED REGULARLY BY THE PROPERTY OWNERS, MANAGERS, AND HOA.
- FLOODING ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 9607010286G, EFFECTIVE DATE AUGUST 3, 2009.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY SEWER, WATER, AND STORM DRAIN CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATION, SIZE, AND ELEVATION OF THE EXISTING SERVICES AT THE POINT OF CONNECTION AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PROCEEDING. ALL NON STORM DRAIN UTILITIES ARE NOT COVERED UNDER THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. SEPARATE BUILDING PERMITS ARE REQUIRED.
-

MULCHING:

MULCHING SHALL BE REQUIRED OVER ALL AREAS WITH DISTURBED SOILS CREATED FROM EITHER DEMOLITION OR GRADING OPERATIONS.

PREPARATION METHODS AND EQUIPMENT:

STRAW MULCH: SHOULD BE APPLIED IN AN EVEN, UNIFORM MANNER, EITHER BY HAND OR BY MULCH BLOWING EQUIPMENT. STRAW MULCHES MUST BE ANCHORED TO PREVENT THE MULCH FROM BEING BLOWN OR WASHED OFF THE SITE. ANCHORING IS ACHIEVED IN TWO WAYS:

CRIMPING: THE MULCH IS ANCHORED BY RUNNING A HEAVY DISK WITH FLAT, DULL, SERRATED, CLOSELY SPACED BLADES OVER THE MULCHED SOIL. EFFECTIVE CRIMPING EMBEDS THE MULCH ABOUT 2 INCHES INTO THE SOIL WITHOUT COMPLETELY COVERING IT. THE DISK SHOULD BE RUN ONCE OR TWICE ACROSS THE SOIL. ABOUT 2 1/2 TON OF STRAW MULCH PER ACRE SHOULD BE APPLIED IF THE MULCH IS ANCHORED BY CRIMPING.

TACKING: ACHIEVED USING A EMULSIFIED ASPHALT OR BINDER EITHER INDEPENDENTLY OR FOLLOWED BY CRIMPING. IF TACKED, STRAW MULCH MAY BE APPLIED AT A RATE OF 1 3/4 TON PER ACRE, AND TACKED WITH EMULSIFIED ASPHALT AT A RATE OF 500 GALLONS PER ACRE.

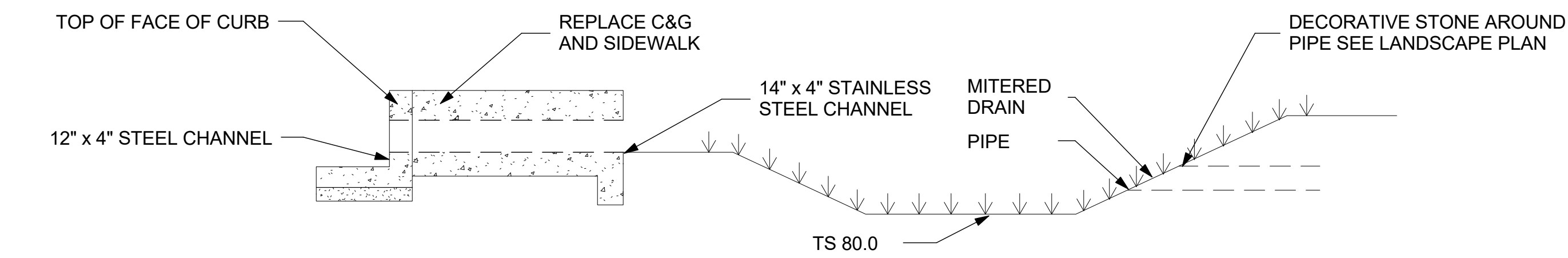
WOOD FIBER MULCH: TYPICALLY APPLIED WITH A HYDROSEEDER AT A RATE OF 1000 TO 1500 POUNDS PER ACRE, OR AS A SLURRY CONSISTING OF AT LEAST 150 POUNDS OF BINDER, 400 POUNDS OF WOOD FIBER MULCH, AND 200 GALLONS OF WATER PER ACRE.

REQUIREMENTS:

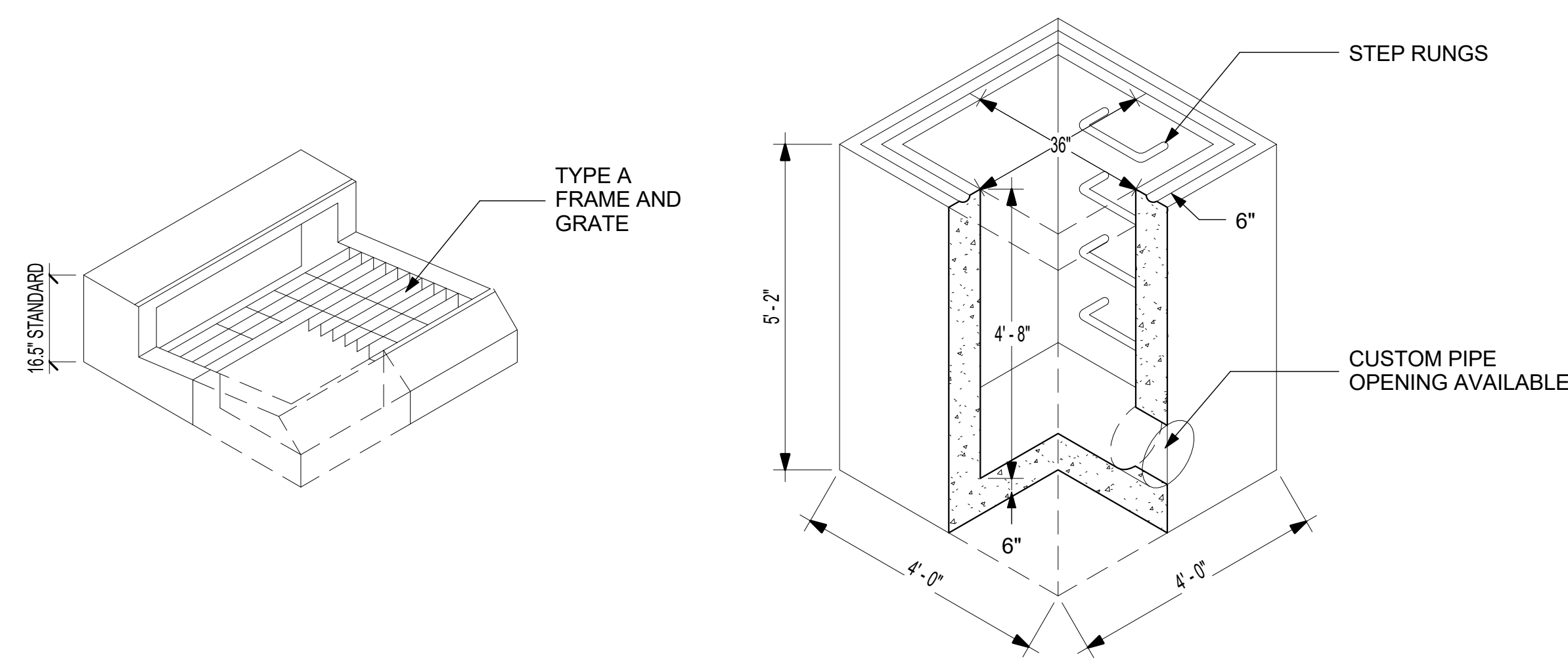
MAINTENANCE MULCHED AREAS REQUIRE FREQUENT INSPECTION FOR DAMAGE AND DETERIORATION. REQUIREMENTS WILL VARY GREATLY BASED ON TYPE OF MULCH USED AND THE TYPE OF VEGETATION ESTABLISHED.

EROSION CONTROL NOTES:

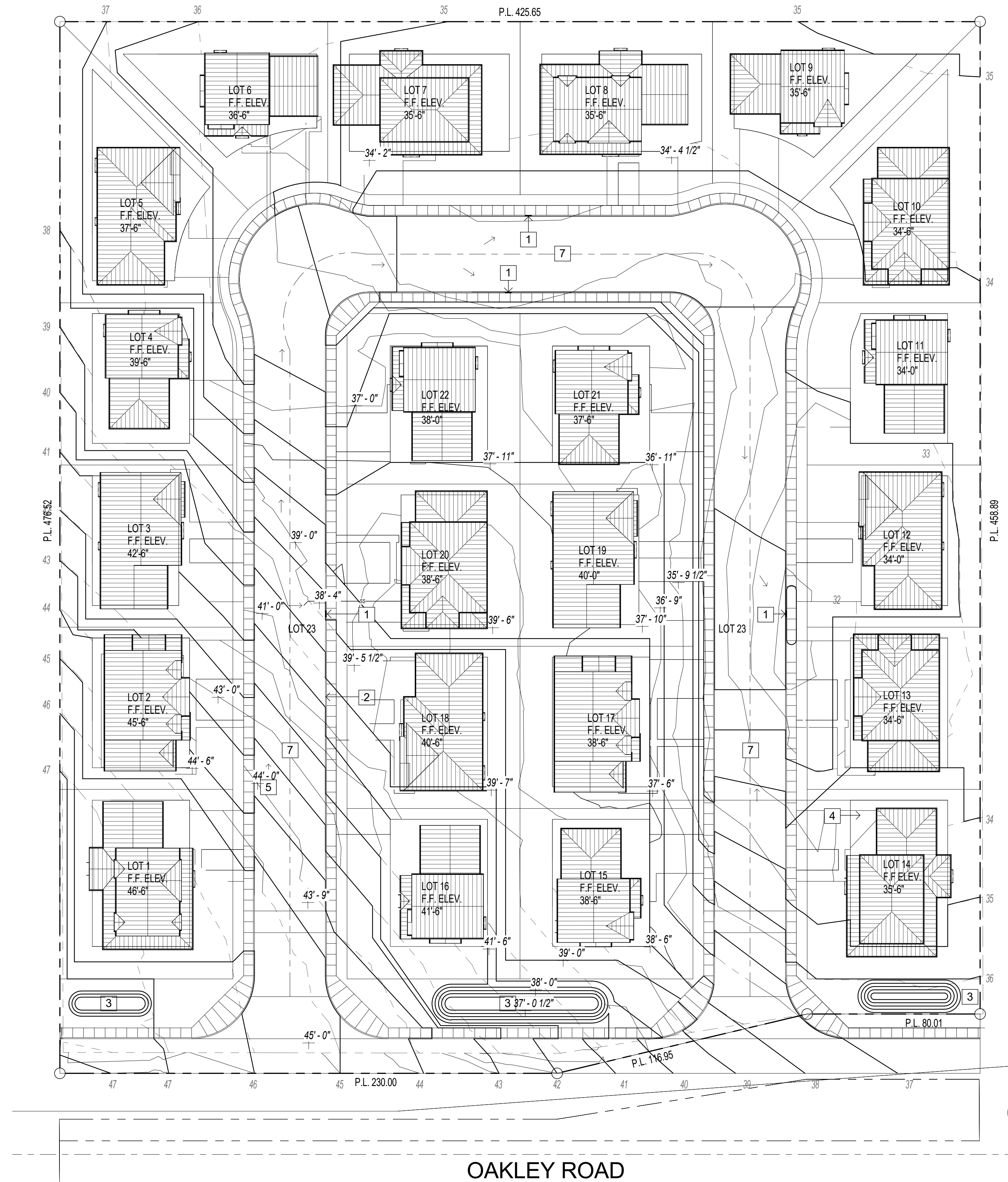
- PORTABLE TOILET MUST BE KEPT A MINIMUM OF 50 FEET AWAY FROM ALL STORM DRAIN INLETS.
- FOR MINOR EQUIPMENT MAINTENANCE, DRIP PANS AND DRIP CLOTHS WILL BE USED AND PROPERLY DISPOSED OF IF IT IS NECESSARY TO DRAIN AND REPLACE FLUIDS ON SITE.
- ON SITE VEHICLES AND EQUIPMENT WILL BE INSPECTED REGULARLY FOR LEAKS, AND, IF NECESSARY, WILL BE REPAIRED IMMEDIATELY.
- IF THERE ARE ANY CONFLICTS BETWEEN CASQA BMPs AND PROJECT CONTRACT DOCUMENT REQUIREMENTS, FOLLOW PROJECT CONTRACT DOCUMENT REQUIREMENTS.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- CONSTRUCTION TRAFFIC IS TO BE KEPT CLEAR OF THE STORMWATER TREATMENT AREAS AFTER THEY HAVE BEEN BACKFILLED AND GRADED IN ORDER TO AVOID CONTAMINATION AND COMPACTION OF EXISTING SOILS.
- STORMWATER TREATMENT FACILITIES SHALL BE PROTECTED FROM CONSTRUCTION SITE RUNOFF. ONCE IMPORTED MATERIALS ARE INSTALLED IN THOSE FACILITIES, RUNOFF FROM UNSTABLE AREAS MUST BE DIVERTED FROM SUCH FACILITIES.



② Infiltration Basin Area
NTS



③ Type A Curb Inlet
1/2" = 1'-0"

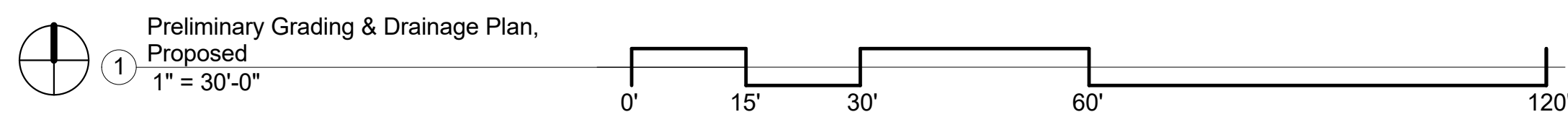


GRADING & DRAINAGE PLAN KEYNOTES:

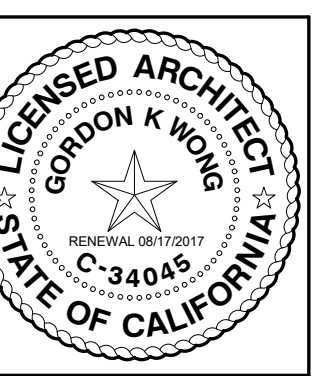
1	CURB DRAIN	6" TALL FENCE
2	6" CONCRETE CURB & GUTTER	PROPERTY LINE
3	BIO-INFILTRATION BASIN / DMA	SETBACK LINE
4	BUILDING PAD	EXISTING CONTOUR LINES
5	FLOW LINE	PROPOSED CONTOUR LINES
6	FIRE HYDRANT	
7	STREET CROWN	

LINE LEGEND

—○—○—○—	6" TALL FENCE
—	PROPERTY LINE
- - - - -	SETBACK LINE
45 - - - - 45	EXISTING CONTOUR LINES
45 ——— 45	PROPOSED CONTOUR LINES

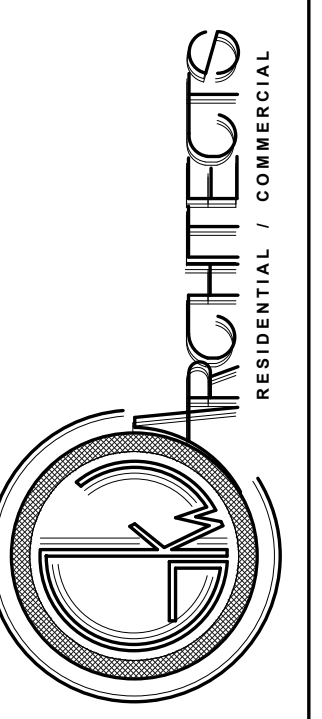


Civil Title Sheet



LONG NGUYEN, PROJECT REP
710E MCGILVERY LANE SUITE 109
CAMPBELL, CA 95008
Tel: 925.885.1045
GKW Architects.com

GORDON K WONG AIA, LEED GA
710E MCGILVERY LANE SUITE 109
CAMPBELL, CA 95008
Tel: 925.885.1045
GKW ARCHITECTS.COM



Oakley Development
2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Civil Title Sheet

C1

SCALE As indicated
8/9/2019 5:18:07 PM

SEWER NOTES

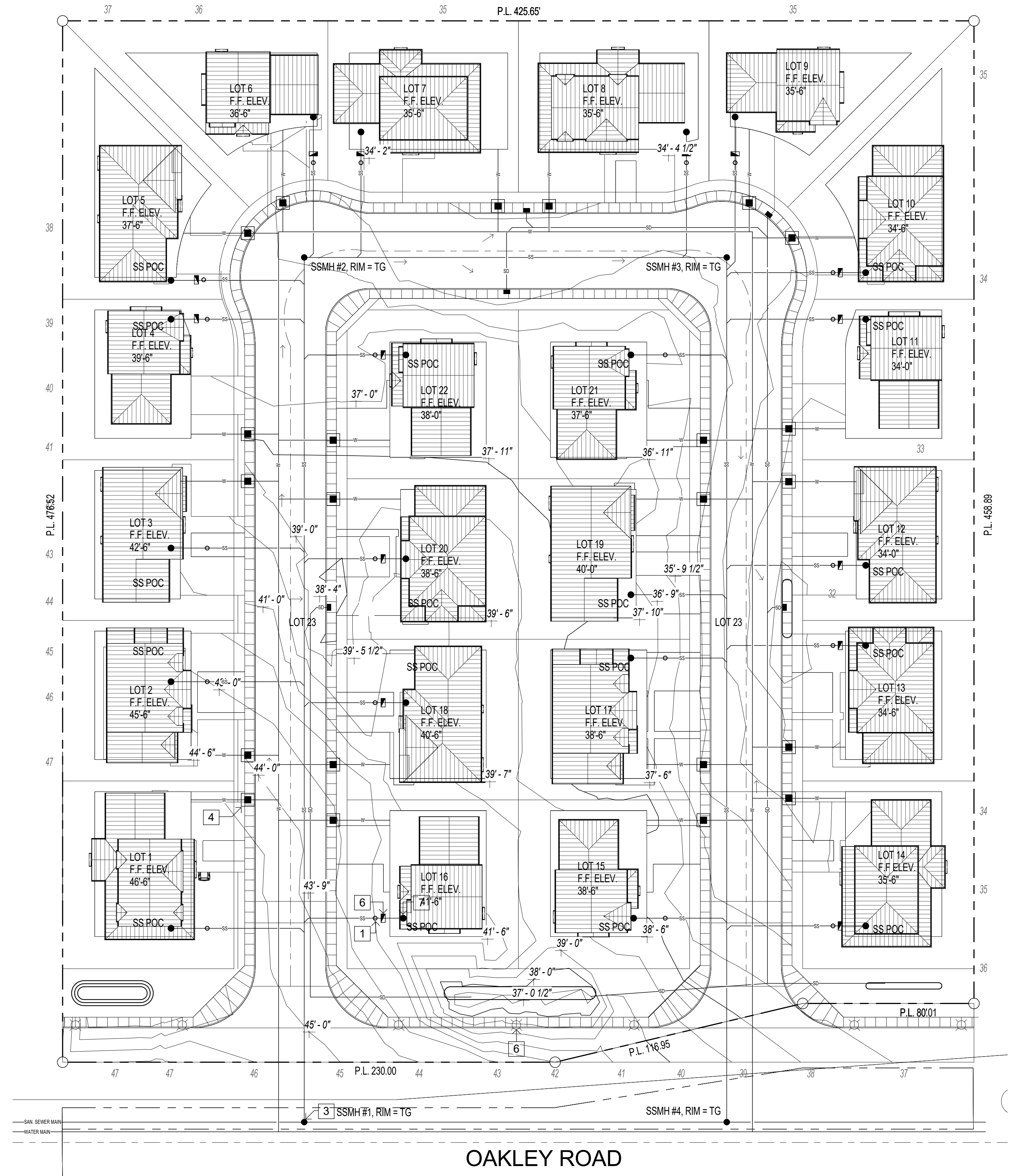
1. THE DEVELOPMENT'S SANITARY SEWER MAINS AND MANHOLES SHALL BE PRIVATE, OWNED AND MAINTAINED A HOMEOWNER'S ASSOCIATION OR SIMILAR MAINTENANCE RESPONSIBILITY AGREEMENT.
2. ALL SEWER MAIN AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE TO THE CITY'S "SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER MAINS AND APPURTENANCES (12" DIAMETER OR LESS)," LATEST REVISION AT THE TIME OF PERMIT APPROVAL.
3. SEWER CONNECTION FEES ARE DUE AND PAYABLE PRIOR TO FINAL INSPECTION.

UTILITIES NOTES

1. ALL EXISTING OVERHEAD LINES ALONG PROPERTY FRONTAGE ON OAKLEY ROAD SHALL BE UNDERGROUND.

WATER NOTES

1. THE DEVELOPMENT'S WATER SYSTEM SHALL BE PRIVATE, OWNED AND MAINTAINED A HOMEOWNER'S ASSOCIATION OR SIMILAR MAINTENANCE RESPONSIBILITY AGREEMENT.
2. THE APPLICANT/DEVELOPER SHALL INSTALL AN ABOVE-GROUND REDUCE PRESSURE BACKFLOW PREVENTION ASSEMBLY ON EACH IRRIGATION WATER METER, PER CITY STANDARD. PROVIDE SUFFICIENT AREA BEHIND THE PROPERTY LINE FOR THE BACKFLOW DEVICE PAD AND REQUIRED LANDSCAPE SCREENING. THE SIZE OF THE PAD WILL BE DEPENDENT UPON TYPE, SIZE, AND MODEL OF THE BACKFLOW DEVICE SELECTED.



UTILITY NOTES:

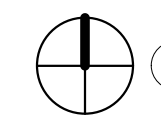
- | | |
|---|------------------------|
| 1 | CLEAN OUT BOX |
| 2 | STORM DRAIN |
| 3 | SANITARY SEWER MANHOLE |
| 4 | WATER SERVICE |
| 5 | BACK FLOW PREVENTOR |
| 6 | STREET LIGHT |
| 7 | INVERT |

LINE LEGEND

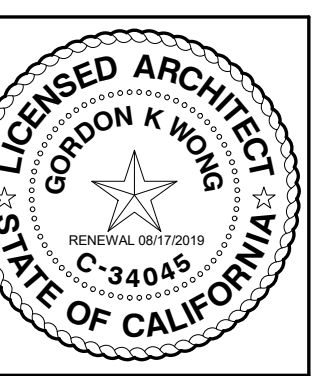
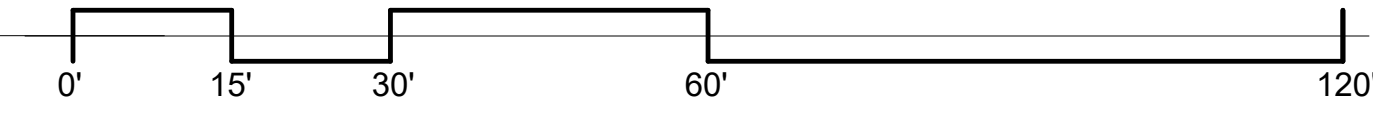
- | | |
|--|-------------------|
| | 6' TALL FENCE |
| | PROPERTY LINE |
| | SETBACK LINE |
| | SANITARY SEWER |
| | STORM DRAIN |
| | WATER |
| | SURFACE FLOW PATH |

ABBREVIATIONS & LEGEND

- | | |
|------|--------------------------------|
| CD | CURB DRAIN |
| C&G | CURB AND GUTTER |
| DMA | DRAINAGE MANAGEMENT AREA |
| EX | EXISTING |
| FF | FINISH FLOOR |
| IB | INFILTRATION BASIN |
| IMP | INTEGRATED MANAGEMENT PRACTICE |
| INV | INVERT |
| FL | FLOW LINE |
| G | GRATE |
| POC | POINT OF CONNECTION |
| RB | RAIN BARREL |
| SD | STORM DRAIN |
| SDR | STANDARD DIMENSION RATIO |
| SF | SQUARE FEET |
| SS | SANITARY SEWER |
| SSMH | SANITARY SEWER MANHOLE |
| TC | TOP OF CURB |
| TS | TOP OF SOIL |
| TW | TOP OF WALL |
| PVC | POLYVINYL CHLORIDE |
| W | WATER |

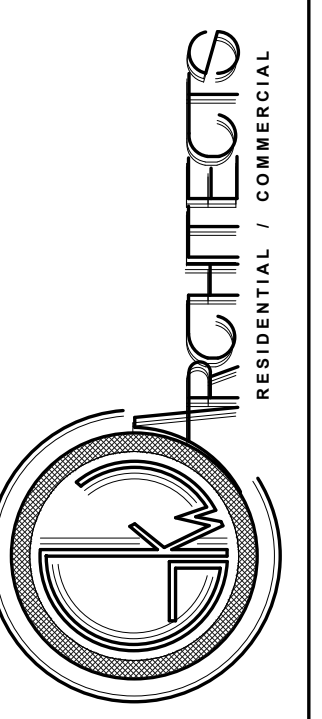


1 Preliminary Utilities Plan, Proposed
1" = 30'-0"



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GKW ARCHITECTS.COM



Demolition Plan

Oakley Residential Development

2480 Oakley Road
Oakley, CA

Project Schedule
Revision

Demolition Plan

C2

SCALE 1" = 30'-0"

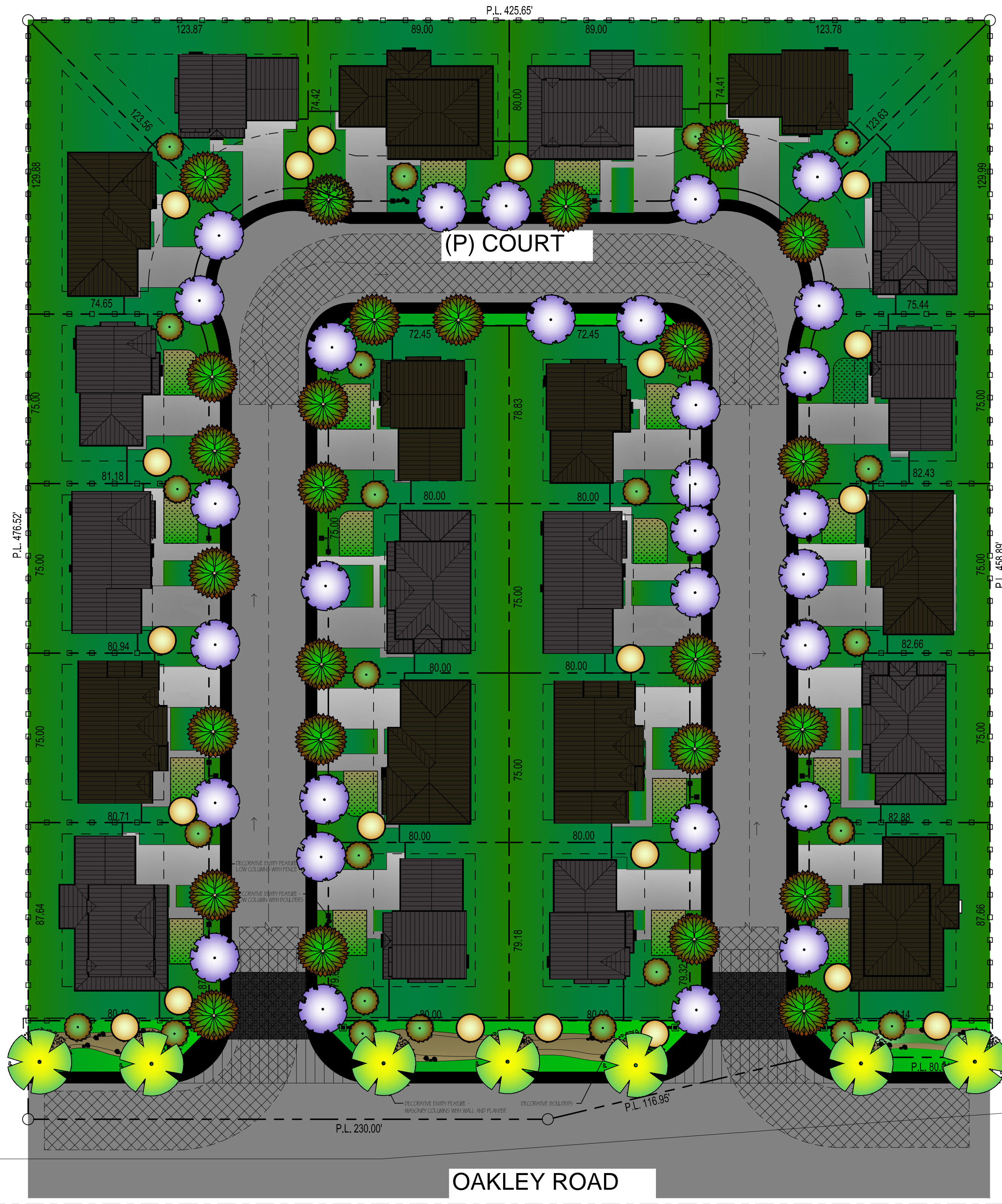
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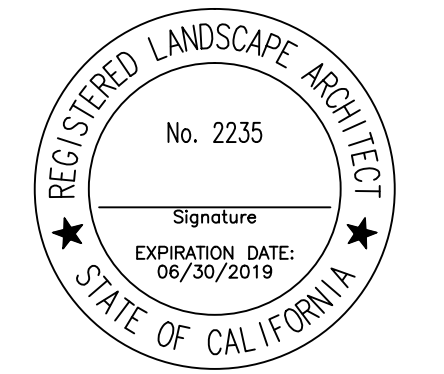
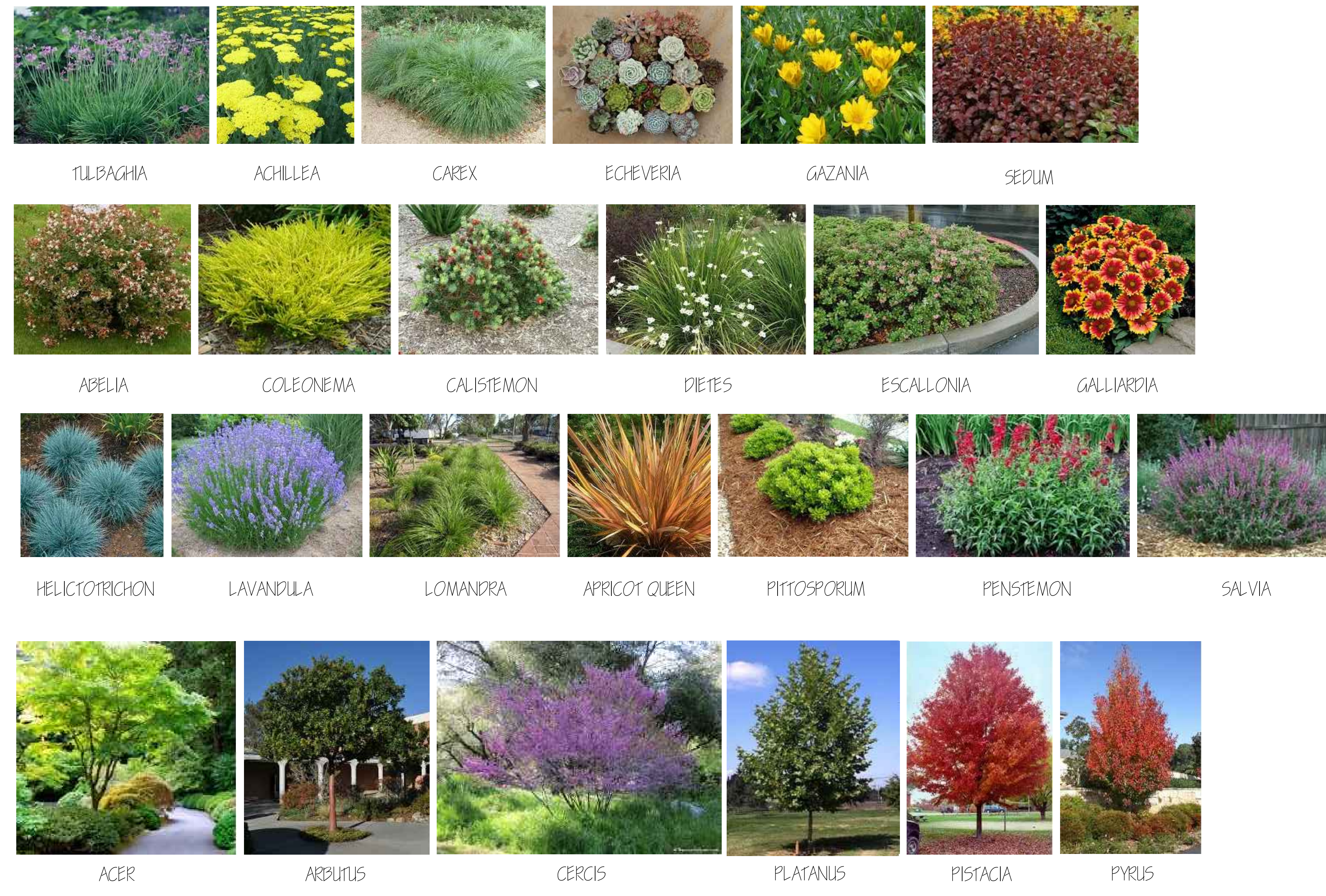
REVISED 11/23/18

SCHMATIC PLANT LIST

Plant Type/ Species	Projected Size	Water Need	WICOLS
Groundcovers:			
Tulbaghia violacea	1 gallon	low	.3
Achillea Moonshine/ Yarrow	1 gallon	low	.3
Carex divulsa/ Berkeley Sedge	1 gallon	low	.3
Echeveria spp./ Succulents	1 gallon	low	.3
Gazania mitsuwa yellow	1 gallon	low	.3
Sedum var.	1 gallon	low	.3
Perennials/ Shrubs:			
Abelia grandiflora	5 gallon	low	.3
Coleonema Sunset Gold	5 gallon	low	.3
Callistemon/ Bottlebrush	5 gallon	low	.3
Diets vegeta/ Fortnight Lily	5 gallon	low	.3
Escallonia var	5 gallon	medium	.5
Gaillardia spp	5 gallon	low	.3
Helictotrichon/ Blue Oat Grass	1 gallon	low	.3
Lavandula spp	5 gallon	low	.3
Lomandra Breeze	5 gallon	low	.3
Phormium spp/ Flax	5 gallon	low	.3
Pittosporum Wheelers Dwarf	5 gallon	low	.3
Penstemon spp.	1 gallon	low	.3
Salvia spp./ Sage	5 gallon	low	.3
Trees:			
Acer spp/ Maple	24" box	medium	.5
Arbutus spp/ Madrone	24" box	low	.3
Cercis occidentalis/ Western Redbud	24" box	low	.3
Platanus spp/ Sycamore	36" box	medium	.5
Pistachia chinensis Keith Davey/ Chinese Pistache	36" box	low	.3
Pyrus calleryana Chanticleer/ Ornamental Pear	36" box	medium	.5



CONCEPTUAL LANDSCAPE PLAN
1/32" = 1'-0"



OAKLEY RESIDENTIAL PROJECT

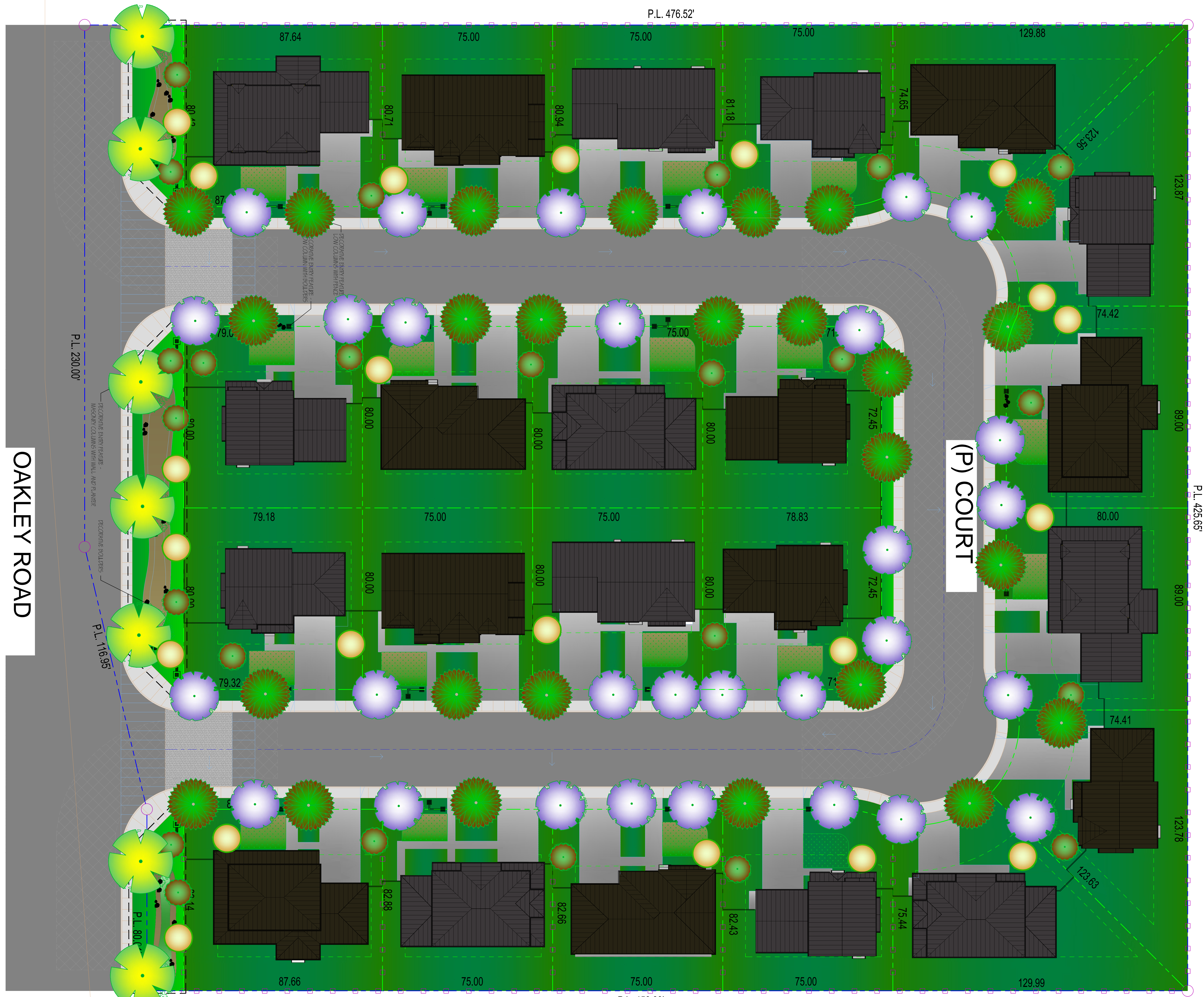
for:
2480 OAKLEY ROAD
OAKLEY, CA 94961

CONCEPTUAL LANDSCAPE PLAN - OVERALL

date: 10/22/18
scale: NOTED
drawn by: W.J.H.
job no. 21847
sheet

of 1 sheets

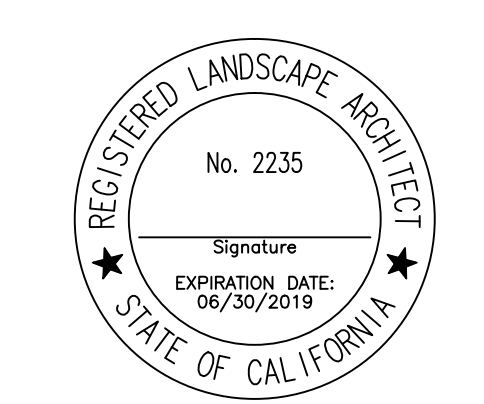
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OAKLEY ROAD

(P) COURT

RENDERING
1/16" = 1'-0"



OAKLEY RESIDENTIAL PROJECT

for:
2480 OAKLEY ROAD
OAKLEY, CA 94661

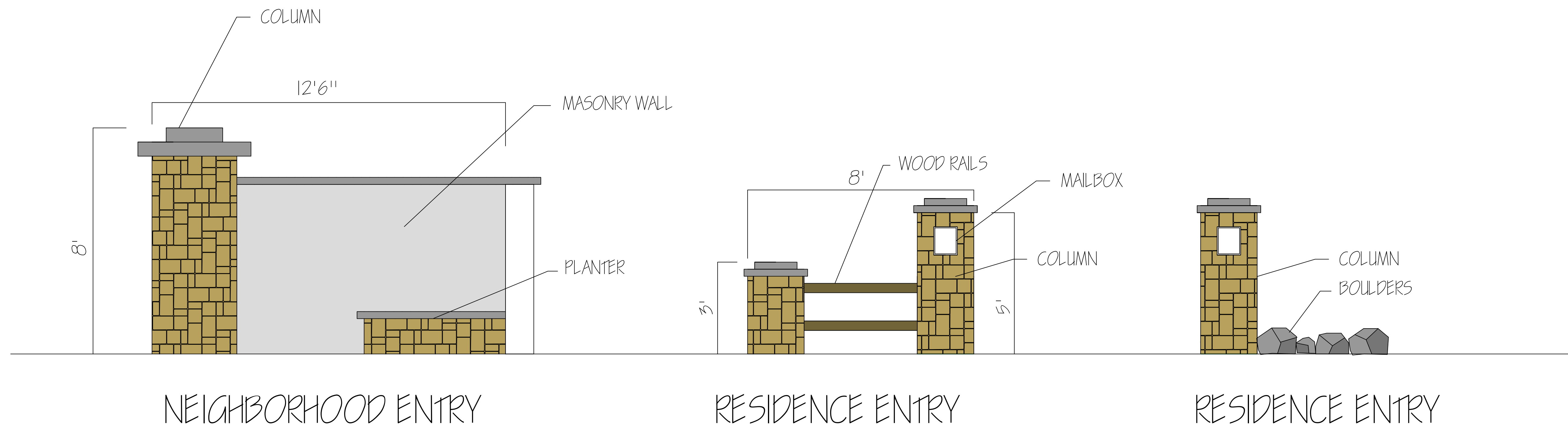
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drawn by: W.J.H.
job no. 21817
sheet

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of shts

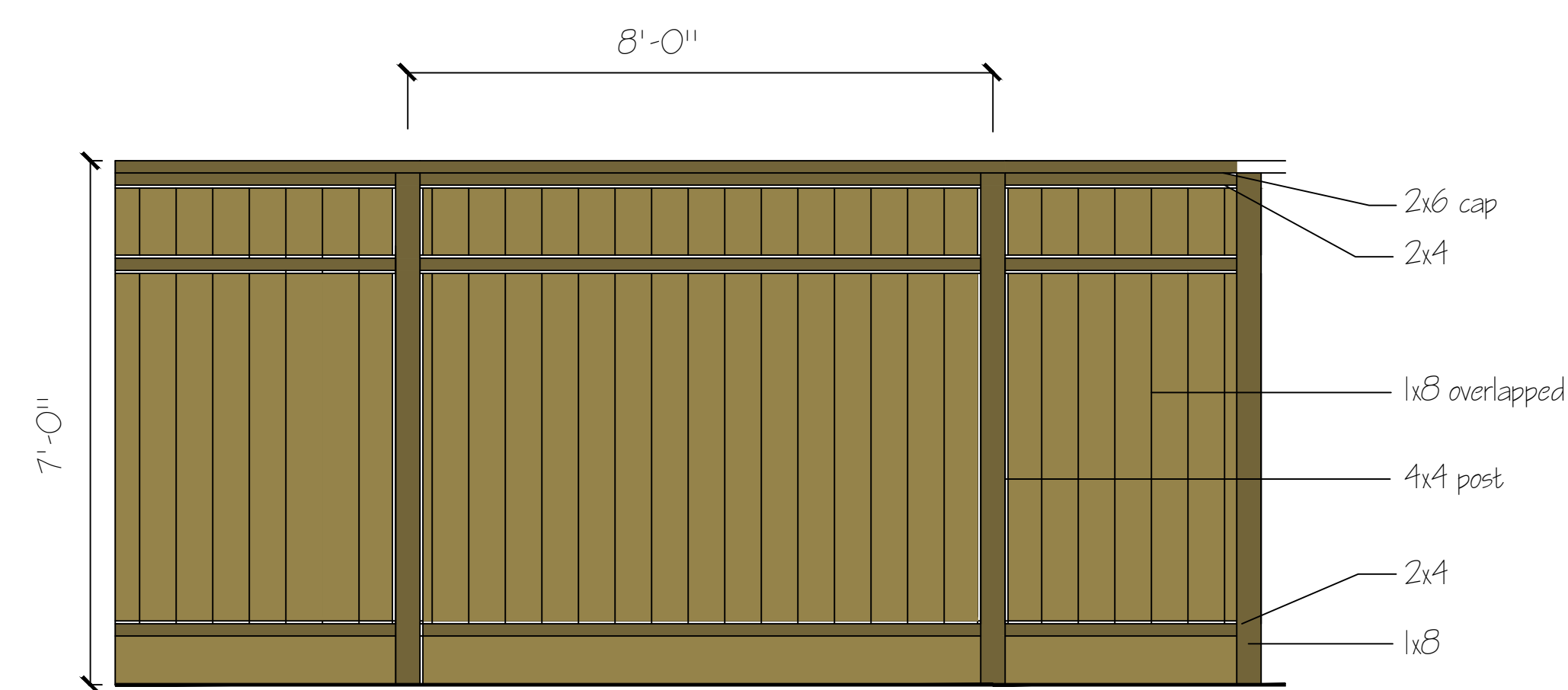
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REVISED 11/23/18
REVISED 5/20/19



CONCEPTUAL ENTRY FEATURES

1/2" = 1'-0"



7' GOOD NEIGHBOR FENCE

1/2" = 1'-0"



OAKLEY RESIDENTIAL PROJECT

for:
2480 OAKLEY ROAD
OAKLEY, CA. 94561

ENTRY FEATURES

date: 10/25/18

scale: NOTED

drawn by: WJH

job no. 21847

sheet

L3

of shts