

KB Home Bay Area

5000 Executive Parkway, San Ramon, CA 94583 925.983.4500

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Oakley, CA May 8, 2019 KB Home Bay Area

Shiloh

VICINITY MAP 7-1-----0 Ð PROJECT SITE

DEVELOPER KB HOME NORTHERN CALIFORNIA 5000 EXECUTIVE PARKWAY, SUITE 125 SAN RAMON, CA 94583 PH: (925) 983-4520 ARCHITECT SDG ARCHITECTS, INC. 3361 WALNUT BLVD., SUITE 120 BRENTWOOD, CA 94513 PH: (925) 634-7000 FX: (925) 634-8020 CIVIL ENGINEER CARLSON BARBEE & GIBSON 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 PH: (925) 866-0322 LANDSCAPE ARCHITECT GATES + ASSOCIATES 2671 CROW CANYON ROAD SAN RAMON, CA 94583 PH: (925) 736-8176 UTILITY CONSULTANT TARRAR UTILITY CONSULTANTS 813 FIRST STREET BRENTWOOD, CA 94513

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L4.1

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PLAN 4 ITALIANATE EXTERIOR ELEVATIONS

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PLAN 2 ITALIANATE EXTERIOR ELEVATIONS

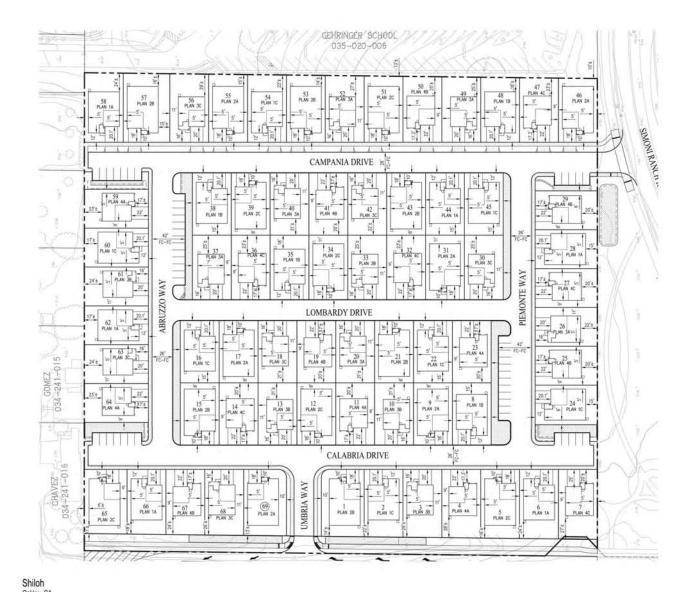
PLAN 1 ITALIANATE EXTERIOR ELEVATIONS

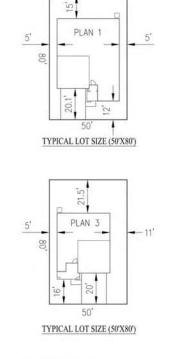
- 2
- 3

PROTOTYPICAL FRONT YARD

- STORMWATER CONTROL PLAN

- EXISTING CONDITIONS









22

50'

TYPICAL LOT SIZE (50'X80')

ô

PLAN 2

10,1

50'

TYPICAL LOT SIZE (50'X80')

4

20.

PLAN 4

mt

5'

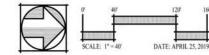
- 0

5'

5'

80

80



SITE PLAN

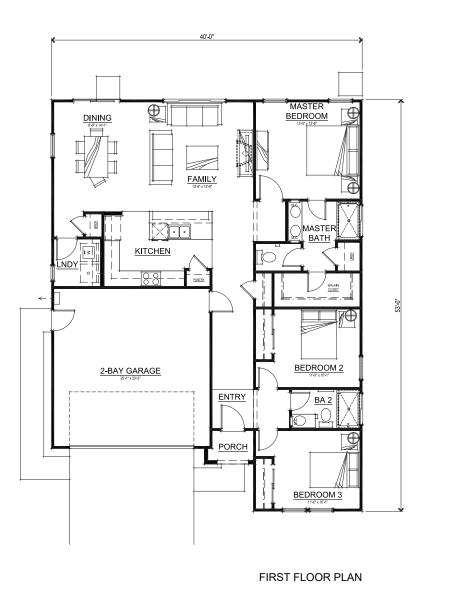
A2



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SQUARE FOOTAGES FLOOR PLAN TOTAL LIVING 2-CAR GARAGE PORCH 1478 SQ. FT. 1478 SQ. FT. 420 SQ. FT. 25 SQ. FT.



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EXTERIOR MATERIALS

SPANISH ELEVATION

CRAFTSMAN ELEVATION

CEMENT PLASTER FINISH CONCRETE S-TILE ROOFING CLAY TILE GABLE ACCENT FOAM WINDOW TRIM DECORATIVE GARAGE DOOR CEMENT PLASTER FINISH FIBER CEMENT SHAKE SIDING COMP. SHINGLE ROOFING DECORATIVE CORBEL w/ KICKER FOAM WINDOW TRIM CEMENT PLASTER PORCH COLUMNS DECORATIVE GARAGE DOOR

ITALIANATE ELEVATION

CEMENT PLASTER FINISH STONE VENEER CONCRETE FLAT TILE ROOFING DECORATIVE SHUTTERS FOAM WINDOW TRIM DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE

CRAFTSMAN



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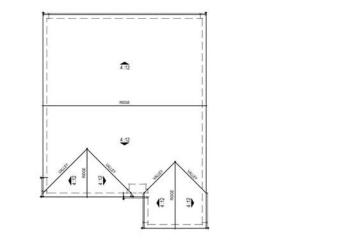
RIGHT ELEVATION

PLAN 1 SPANISH EXTERIOR ELEVATIONS A5

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LEFT ELEVATION





RIGHT ELEVATION

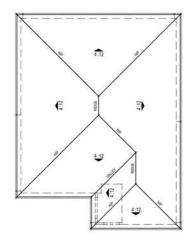
PLAN 1 CRAFTSMAN EXTERIOR ELEVATIONS A6

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LEFT ELEVATION



RIGHT ELEVATION



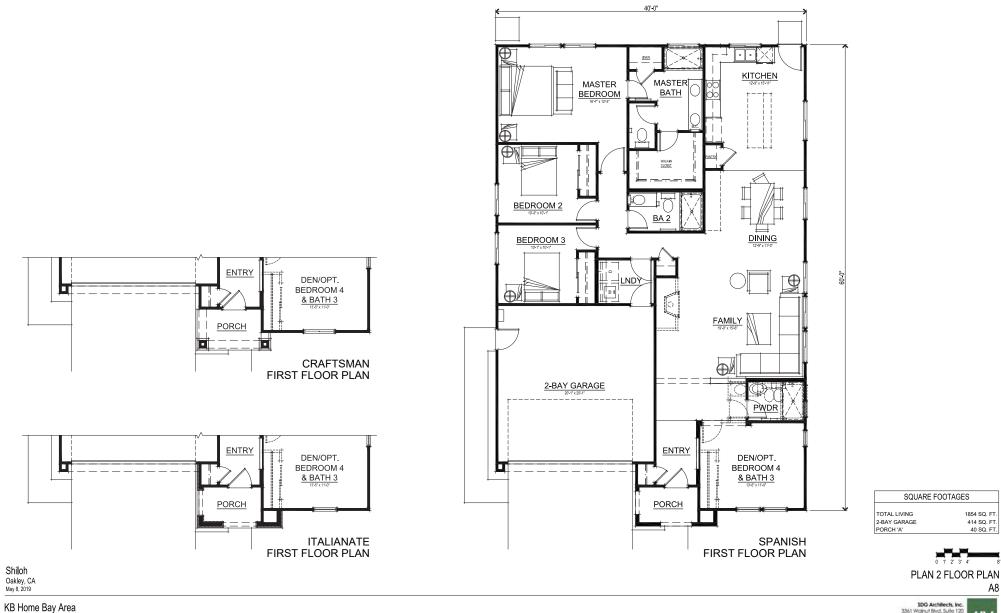
REAR ELEVATION

PLAN 1 ITALIANATE EXTERIOR ELEVATIONS

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EXTERIOR MATERIALS

SPANISH ELEVATION

CRAFTSMAN ELEVATION

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ITALIANATE ELEVATION

CEMENT PLASTER FINISH STONE VENEER CONCRETE FLAT TILE ROOFING DECORATIVE SHUTTERS FOAM WINDOW TRIM DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



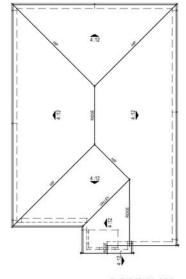
CRAFTSMAN



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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION

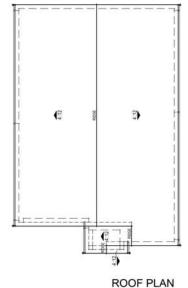
REAR ELEVATION 0 1 2 3 4 PLAN 2 SPANISH EXTERIOR ELEVATIONS A10

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LEFT ELEVATION



RIGHT ELEVATION



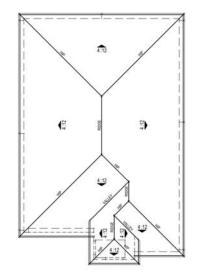
REAR ELEVATION

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ROOF PLAN



LEFT ELEVATION



RIGHT ELEVATION



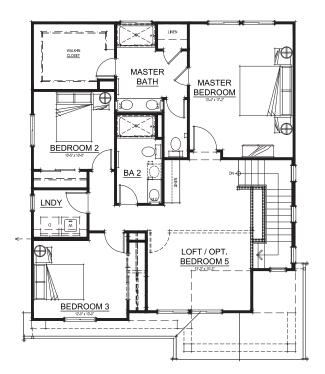
REAR ELEVATION

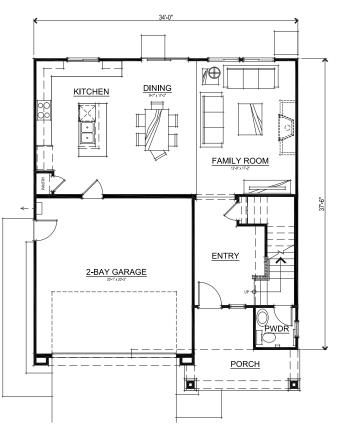
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FIRST FLOOR PLAN



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SECOND FLOOR PLAN

SQUARE FOOTAGES		
FIRST FLOOR	831 SQ. FT.	
SECOND FLOOR	1181 SQ. FT.	
TOTAL LIVING	2012 SQ. FT.	
2-BAY GARAGE	424 SQ. FT.	
PORCH 'A'	112 SQ. FT.	

EXTERIOR MATERIALS

SPANISH ELEVATION

CEMENT PLASTER FINISH CONCRETE S-TILE ROOFING CLAY TILE GABLE ACCENT DECORATIVE SHUTTERS WROUGHT IRON POTSHELF FOAM WINDOW TRIM DECORATIVE GARAGE DOOR

CEMENT PLASTER FINISH FIBER CEMENT SHAKE SIDING COMP. SHINGLE ROOFING DECORATIVE CORBEL w/ KICKER FOAM WINDOW TRIM WOOD WINDOW TRIM CEMENT PLASTER PORCH COLUMNS DECORATIVE GARAGE DOOR

CRAFTSMAN ELEVATION

ITALIANATE ELEVATION

CEMENT PLASTER FINISH STONE VENEER CONCRETE FLAT TILE ROOFING DECORATIVE SHUTTERS FOAM WINDOW TRIM DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

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PLAN 3 FRONT ELEVATIONS



A14



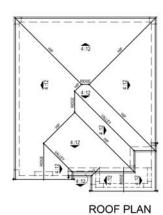
REAR ELEVATION



LEFT ELEVATION











RIGHT ELEVATION

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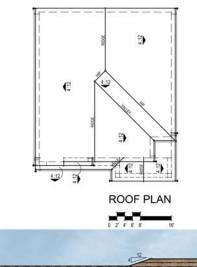




LEFT ELEVATION





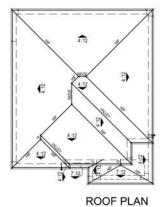




RIGHT ELEVATION

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RIGHT ELEVATION

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REAR ELEVATION

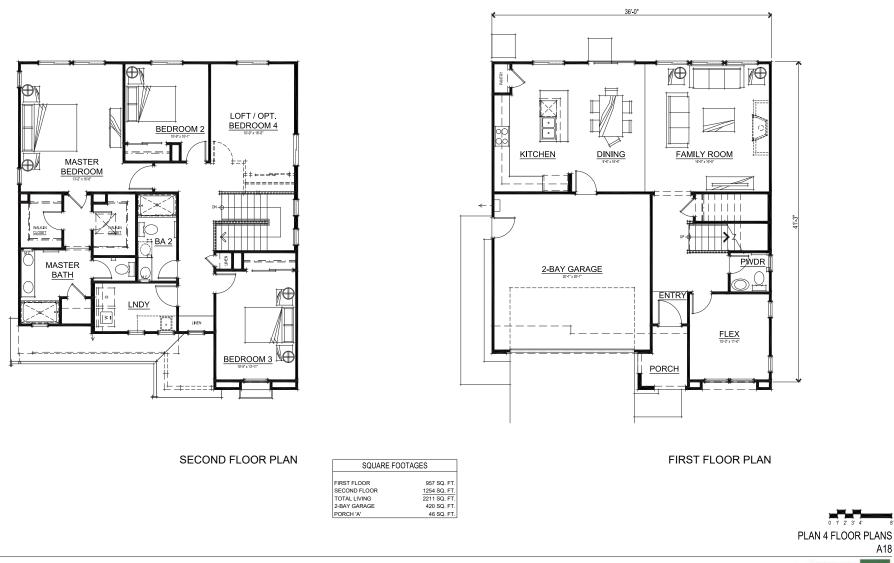


LEFT ELEVATION

PLAN 3 ITALIANATE EXTERIOR ELEVATIONS A17







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A18

EXTERIOR MATERIALS

SPANISH ELEVATION

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CEMENT PLASTER FINISH FIBER CEMENT SHAKE SIDING COMP. SHINGLE ROOFING DECORATIVE CORBEL w/ KICKER FOAM WINDOW TRIM WOOD WINDOW TRIM

DECORATIVE GARAGE DOOR

CRAFTSMAN ELEVATION

ITALIANATE ELEVATION

CEMENT PLASTER FINISH STONE VENEER CONCRETE FLAT TILE ROOFING DECORATIVE SHUTTERS FOAM WINDOW TRIM DECORATIVE GARAGE DOOR



SPANISH



ITALIANATE



CRAFTSMAN

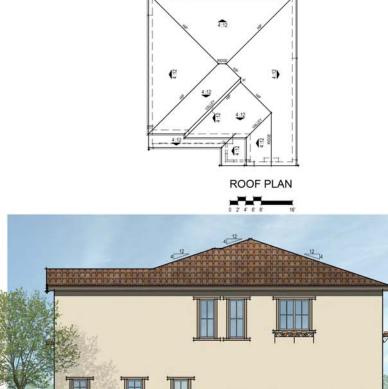


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PLAN 4 FRONT ELEVATIONS





REAR ELEVATION



LEFT ELEVATION

1 PLAN 4 SPANISH EXTERIOR ELEVATIONS A20

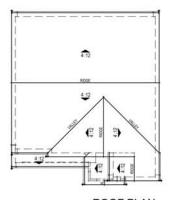
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RIGHT ELEVATION



ROOF PLAN



RIGHT ELEVATION



REAR ELEVATION



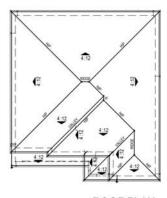
LEFT ELEVATION

PLAN 4 CRAFTSMAN EXTERIOR ELEVATIONS A21



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ROOF PLAN



RIGHT ELEVATION

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REAR ELEVATION



LEFT ELEVATION

.... PLAN 4 ITALIANATE EXTERIOR ELEVATIONS A22



SPANISH COLOR SCHEME 1



Roof Boral Roofing HBCS 6464 - California Mission Blend



Shutters & Entry Door SW 2802 Rookwood Red (309)

SPANISH COLOR SCHEME 2



Body 1 & Garage Door SW 7532 Urban Putty (285-C3)

Trim & Fascia SW 7568 Neutral Ground (261-C5)

> Shutters & Entry Door SW 6209 Ripe Olive ()217-C7)

SPANISH COLOR SCHEME 3



Body 1 & Garage Door SW 6155 Rice Grain (210-C1)

Trim & Fascia SW 6152 Superior Bronze (207-C6)

Shutters & Entry Door SW 6251 Outerspace (225-C7)

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SPANISH COLOR SCHEME

A23

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CRAFTSMAN **COLOR SCHEME 4**



CRAFTSMAN COLOR SCHEME 5



Body 2 & Garage Door SW 6103 Tea Chest (201-C6)

Shutters & Entry Door SW 2839 Roycroft Copper Red (313)

Trim & Fascia SW 6083 Sable (198-C7)



CRAFTSMAN

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CRAFTSMAN COLOR SCHEME

A24

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ITALIANATE COLOR SCHEME 7





Trim & Fascia 7525 Tree Branch (288- C7)

Shutters & Entry Door SW 7675 Sealskin (277-C7)



Culture Stone by BORAL Bucks Country Country Ledgestone



ITALIANATE COLOR SCHEME 8



Body 1 & Garage Doors SW 7037 Balanced Beige (249-C2)
Trim & Fascia SW 7039 Virtual Taupe (249-C5)
Shutters & Entry Door SW 7749 Laurel Woods (237-C7)

Cultured Stone by BORAL Hudson Bay Country Ledgestone

ITALIANATE **COLOR SCHEME 9**



Roof Boral Roofing 1ACS 1132 - Charcoal Brown Blend



Body 1 & Garage Doors SW 6102 Portabello (201-C5)

Trim & Fascia SW 6108 Latte (204-C3)

Shutters & Entry Door SW 7069 Iron Ore (251-C7)



Culture Stone by BORAL Aspen Country Ledgestone



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ITALIANATE COLOR SCHEME



A25



2x FIBER

CEMENT TRIM

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SHE PLAT LET IN PRAHING & SH' O.C.

ADPORT DRIVER D

SEE ROOT PLAN

ICALLED PER HER NOTICE

- SOM DRUF EDIGE FLADHING 4/ BALDING FELT - 2x BARGE BD 18 ELEVATIONS

SHILOH

OAKLEY, CALIFORNIA

PLANTING NOTES

- CONTRACTOR SHALL ERIFY ALL UTILITIES, GRADES, E ISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK: ALL DISCREPANCIES OR UESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE RACHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CUBB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN VILLESS OTHERWISE NOTED ON THE DRAWINGS. ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF BUILDING.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CUR ES AND ALL TRANSITIONS BETWEEN CUR ES AND STRAIGHT EDGES SHALL BE SMOOTH
- ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB.

LAYOUT NOTES

- WHENE ER BOTTOM OF WALL BW ELE ATION IS GI EN, IT IS FINISH PA EMENT OR GRADE ELE ATION AT FACE OF WALL
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO E UAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. E PANSION JOINTS IN SIDEWALKS SHALL BE 20'ON CENTER MA IMUM. E PANSION IOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MA IMUM.
- 10. BUILDING LAYOUT AND LOCATION. SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CI IL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR
- ANY E TRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND E PENSES BASIS AND PAID FOR BY THE CONTRACTOR
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM RE UIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEE ESTO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- PRO IDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PA ING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PA ING OR MOW BAND. ALL CONCRETE PA EMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GO ERN.
- 17 ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.

18.

- ANY AND ALL WORK WITHIN CITY RIGHT OF WAY SHALL CONFORM TO ALL CITY STANDARD DETAILS AND SPECIFICATIONS.
- A LLE GTISK CUTLITES AND IMPRO EMENTS ARE SHOWN IN THER APPRO EMATL DO ATIONS BASED UNCNIEGOED INCOMMINDA. ADUBLETO THE USIGNEED AT THE THE OF APENALTION OF THE DECIMAL COLOR INCOMMINDA. ADUBLETO THE USIGNEED AT THE THE OF APENALTION OF THE DECIMAL COLOR INCOMMENTS AND ADUBLETO THE USIGNEED AT THE THE OF APENALTION OF THE DECIMAL COLOR INCOMMENTS AND ADUBLETO THE USIGNEED AT THE THE OF APENALTION OF THE DECIMAL COLOR INCOMMENTS AND ADUBLETO THE USIGNEED AT THE THE OF APENALTION OF THE DECIMAL COLOR INCOMES THE OF THE INFORMATION DAYS IN AD ANEL OF CONSTRUCTION TO FILED BERPOSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXTREME ADUBLICATION OF THOSE UTILITIES HOWN ON THE EXTREME AND GO REDUCED THE FELDER YLCOLOTINO GTI EXTREME UTILITIES HOWN ON THE EXTREME AND GO REDUCED THE FELDER YLCOLOTINO GTI EXTREME UTILITIES HOWN ON THE PLANS OR INDICATED IN THE FELDER YLCOLOTINO GTI EXTREME UTILITIES HOWN ON THE EXTREME AND GO REDUCED THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE CONTRACTOR ADUBLETO THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE CONTRACTOR ADUBLETOR OF THE DESIDE OF THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE CONTRACTOR ADUBLETOR OF THE THE DESIDE OF THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE CONTRACTOR ADUBLETOR OF THE THE DESIDENT OF THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE CONTRACTOR ADUBLETOR OF THE THE DESIDENT OF THE FELDER YLCOLOTINO GTI EXTREME THE DESIDENT OF THE OF THE OFFICE ADUBLE OF THE OFFICE ADUBLE OFFICE ADUBLETOR OF THE FELDER ADUBLE OFFICE ADUBLETOR OFFICE A CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS E UIPMENT, ETC.. IN DECORATI E PA EMENT, ASPHALT PA ING, DECOMPOSED GRANITE, CONCRETE PA ING, AND PLANTERS SHALL BE HELD BELOW GRADE.
 - ALL E ISTING ITEMS TO REMAIN SHALL BE PROTECTED AS RE UIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S E PENSE TO THE FULL SATISFACTION OF THE 20. FULLY R
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS 21.
 - 22 ALL LIANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS
 - ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT 23. LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE E ERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL RE UEST CLARIFICATION TO ANY ITEMS INCLUDING BUT NOT LIMITED TO PA ING. WALLS, FINISHES COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID

SCA AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY SOFA HAS HAD AN OPPORTUNITY TO E ALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEFINED INCESSARY. WATER CONSER ATION STATEMENT

THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL RE UIREMENTS AS NECESSARY.

- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSER ATION IN MIND WHILE ACHIE ING THE GOAL OF EFFECTI ELY AND EFFICIENTLY PRO IDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SHRUBS/GROUNDCO ER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIE E AN E EN LE EL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. 16. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATI E THERETO IS NOT SUFFICIENTLY DETAILED OR E "FUNNED ON THISE PLANS, THE CONTRACTOR SHALL CONTACT GATES ASSOCIATES AT '95 75-861/5F OR SUCH FURTHER E PLANATIONS AS MAY BE NECESSARY. 4.
 - A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH ALL E GROUPED PER INDI IDUAL HYDROZONE BASED ON PLANT TYPE AND E POSURE

CONSTRUCTION DETAILS

LAYOUT LEGEND

RE UIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION

OWNER.

GENERAL NOTES

CONTRACTOR AND RE UIRED BY THE OWNER.

THE CONTINUITION AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONTINUITION PROTICITY OF ADDRESS THAT THE AUTOMOTIVE OF ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND RESTORED AND ADDRESS AND APPORTATION THAT ADDRESS AND ADDRESS

ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, E EMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.

2 E. CA. ATIONS SHALL READE LIATELY SHORED BRACED AND SHEETED SO THAT THE EARTH WILL NOT

ALL APPLICABLE RE UIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ERRORS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE

THE CONTRACTOR SHALL TAKE EFFECTI. E ACTION TO PRE. ENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR FAILURE TO DO

THE CONTRACTOR MUST PRO IDE FOR SAFE ACCESSIBLE INGRESS AND EGRESS FOR ADJACENT PROPERTY

DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMERGENCY EHICLE AC PUBLIC SAFETY AND SAFETY OF E ISTING STRUCTURES. THE CONTRACTOR SHALL PRO IDEALL IS SIGNS, FENCING, BARRICADES, TRAFFIC CONTROLS, FLAGGERS, SHORINGS, BRACING AND GUYS OR

OTHER DE ICES NECESSARY TO PRO IDE FOR SAFETY IN ACCORDANCE WITH ALL NATIONAL, STATE SPECS AND LOCAL SAFETY ORDINANCES.

8 THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE FIRE AMRULANCE AND

THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE ICINITY OF IOB SITE

UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR I CINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL RE UIREMENTS OF THE UTILITY COMPANY REPRESENTATI E INCLUDING FEES. BONDS. PERMITS AND

12 THE CONSTRUCTION OF ALL GRA. ITY UNDERGROUND LINES, STORM DRAINS, SHALL REGIN AT THE

IF ARCHEOLOGICAL MATERIALS ARE UNCO ERED DURING GRADING, TRENCHING OR OTHER E CA. ATION, BARTHWORK WITHIN S0 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL RRCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOL STUDY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGIST BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGISTICOGIST

15. THE CONTRACTOR MUST MEET AND IMPLEMENT ALL NPDES. SWPPP, AND EROSION CONTROL

10ST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPRO ED BY ENGINEER OR BY THE

14. THE USE OR INSTALLATION OF ANY MATERIAL OR E. UIPMENT WHICH IS MADE FROM, OR WHICH CONTAINA SASSITOS FOR USE IN THE CONSTRUCTION OF THESE MMMO EMENTS. IS NETTHER SPECIFIED NOR RECOMMENDE. ANY FARTY SUID NO. ANY FARTY SUID (HATERIALS OR E UIPMENT 2. SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH "WITERIALS OR E UIPMENT."

WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO E PENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS,

10. ALL E ISTING UTILITIES AND IMPRO EMENTS THAT BECOME DAMAGED DURING CONSTRUCTIK BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATI E, AT THE CONTRACTORS SOLE E PENSE.

OWNERS AND E A THROUGH OLT THE PRIDO OF CONSTRUCTION. TEMPORARY THROUGH ACCESS FOR THE CENERAL PUBLIC DUE TO CONSTRUCTION STAGNIC OR LIMITATIONS MUST BE FULLY RE IEVED AND APPRO E DB YTHE OWNER PRIOR TO IMPLEMENTATION. ALL ACCESS MUST BE SAFE, SECURED, FLAGGED, SIGNED, AND ACCESSIBLE PER THE 47PRO ED STA CACCESS PLAN SUBMITTED BY THE 13.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.



	SHEET LIST TABLE			
	SHEET NUMBER	SHEET TITLE		
2	L1.0	NOTES AND LEGEND		
L4.2	LI.I	PLANT PALETTE		
(4)	L2.0	O ERALL TREE AND FENCING PL4		
L42	L2.1	ENTRY ENLARGEMENTS		
	L3.1	PROTOTYPICAL FRONT YARD		
(3)	L4.1	PLANTING DETAILS		

L4.2

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE IPER ISION OF A LIALIEIED PLANTING FOREI
 - ALL UANTITIES AND PLANT COUNTS ARE FOR THE CON ENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GO ERN.
- THE LANDSCAPE ARCHITECT RESER ES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS, UPON APPRO ALL BY THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY E UITABLE ADJUSTMENTS IN THE CONTRACT PRICE, WHEN NECESSARY. 3.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD. NECESSARY TO SCREEN UTILITIES, BUT SHALL NOT BLOCK WINDOWS, BLOCK SIGNS NOR IMPEDE ACCESS.
- THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AN ATTRACTI E MATURE LANDSCAPE 5 PPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, AND IN SOME CASI REMO AL OF TREES AND SHRUBS AS AN ON-GOING MAINTENANCE PROCEDURE.
- ALL PLANTING AREA MUST BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED AND OPERATIONAL WITH FULL CO. ERAGE PRIOR TO PLANTING.
- CONTRACTOR TO RE IEW ALLE ISTING, PROPOSED, AS BUILT UTILITY PLANS PRIOR TO CONSTRUCTION. CONTRACTOR TO TAKE PRECAUTIONS IN E CA ATION OF ALL TREE PLANTING PITS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY CONVELCTS FOUND DURING
- 8 CONTRACTOR MUST RE IEW ALL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION AND MAINTAIN THE FOLLOWING CLEARANCES FOR ALL TREE PLANTINGS. CONTRACTOR TO TAKE PRECAUTION IN ALLE CA ATION ACTI ITY, NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS
 - PRIOR TO INSTALLATION FIRE HYDRANTS AND PL S: 3' MINIMUM LIGHT POLES: 10' MINIMUM
 - UTILITIES: 3' MINIMUM BUILDING ROOF EDGE: 5' MINIMUM
- CONTRACTOR TO PRO IDE AND ARRANGE FOR PLANT MATERIAL THRU CONTRACT GROW, PLANT BROKERS, OR DIRECT PURCHASE AS RE: UIRED FOR THE FULL IMPLEMENTATION OF THE PROJECTS PLANTING PLAN. CONTRACTOR MUST SUBMIT WITHIN 30 DAYS AFTER AWARD OF A BID A DETAILED NURSERY LIST OF SECURED PLANT MATERIAL. CONTRACT GROW PLANT MATERIAL, AND ANY SUBSTITUTION RE UESTS. CONTRACTOR SHALL ARRANGE AND SECURE ALL PLANT MATERIAL WITHIN 80 DAYS OF BID. UPON DELI ERY, PLANT MATERIAL THAT DOES NOT MEET NURSERY STANDARDS, IS JU UNTO VI BUL, UTOVU ELLI ENY, FLANT MATERIAL THAT DOES NOT HEET NURSERY STANDARDS, S NOOTBOUND, O'NOON, ULLIT, HALTH, SUBSTANDARDS SEZ, AND (ORS, NOT AMRO, DE BY THE NOT SCUCKED AND SI, UNA, ALARLE IN THE SZZ SPECIFIED SHALL BE UNSZEZ), IF A ALARLE ALL REPLACIENT MATERIAL, SUBSTITUTIONS OF UNSZEZ SPECIFIED SHALL BE UNSZEZ), IF A ALARLE ALL REPLACEMENT MATERIAL, SUBSTITUTIONS OF UNSZEZ SPECIFIED SHALL BE UNSZEZ), IF A ALARLE ALL REPLACEMENT MATERIAL, SUBSTITUTIONS OF UNSZEZ DAVIN MATERIAL HAUST BE FRO D EDD AS RE URED FOR THE FULL IMPLEMENTATION OF THE FLANTING PLAN AT NO ADDITIONAL COST TO THE CONTROL FLAND OWNER.
- PROCUREMENT OF PLANT MATERIAL SHALL NOT BE LIMITED TO NORTHERN CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRUCKING, INSPECTIONS, AND INCIDENTALS FOR PRO IDING PLANT 10 MATERIAL FROM SOURCES OUT OF STATE AS RE UIRED BY THE PROJECT PLANTING PLAN.
- F ISTING PLANT MATERIAL

SOILS

2

- ALL E ISTING PLANT MATERIAL, TREES, OR LAWN TO REMAIN MUST BE PROTECTED AND MAINTAINED IN PLACE BY THE CONTRACTOR.
- ANY DAMAGED MATERIAL MUST BE FULLY REPLACED TO MATCH E ISTING BY THE CONTRACTOR AT NO 7. ADDITIONAL COST TO THE CONTRACT AND OWNER.
- CONTRACTOR MUST MAINTAIN ANY FUSTING IRRIGATION SYSTEMS OR PROJIDE TEMPORARY IRRIGATION SYSTEMS AS RE UIRED TO ALL E ISTING PLANTING AREAS TO REMAI
- THE CONTRACTOR MUST PRO IDE AN AGRICULTURAL SUITABILITIES ANALYSIS FOR ALL SOILS E ISTING
- TICKETS FOR COMPOST AND FERTILIZERS FOR ERIFICATION. ALL SOILS IMPORTED ONTO THE SITE FOR ANY PURPOSE SUCH AS GRADING, NON E PANSI E FILL, FILL OR FOR ANY GENERAL PURPOSE MUST BE TESTED FOR PLANT SUITABILITY PRIOR TO PLACEMENT. ALL IMPORT SOILS SHALL BE NON-DETRIMENTAL TO PLANT MATERIAL AND SOILS ANALYSIS SUBMITTED TO THE LANDSCAPE ARCHITECT FOR RE IEW AND APPRO AL. PRO IDE I TEST PER 500 CY OF MATERIAL
- SOIL IS TO BE AMENDED, AT THE RATE INDICATED BY THE SOIL ANALYSIS, TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3-5 BY DRY WEIGHT, AND A MINIMUM OF 2' OF UALITY RECYCLED COMPOST, ON ALL PLANTING RABE.
- ALL PLANTERS IN AREAS WHICH HA E BEEN COMPACTED, SUCH AS ADJACENT TO BUILDINGS AND IN PARKING LOTS, SHALL BE CROSS RIPPED TO THE FOLLOWING DEPTHS: PLANTERS LESS THAN THREE 3 FEET WIDE SHALL HA E COMPACTION RELIE ED TO A MINIMUM DEPTH OF TWENTY-FOUR 24 INCHES BELOW SUBGRADE. PLANTERS THREE TO TEN 3-10 FEET WIDE MUST HA E COMPACTION RULES THAN THE STREET OF THE STREET OF THE STREET AND THE COMPACTION RELIE ED TO A MINIMUM DEPTH OF 18' BELOW SUBGRADE, PLANTERS MORE THAN 10' WIDE SHALL HA E COMPACTION RELIE ED TO A MINIMUM DEPTH OF 12' BELOW SUBGRADE. AREAS SHALL BE PROTECTED AFTER DECOMPACTION.
- CONTRACTOR SHALL PERFORM A PERCOLATION TEST AT THE BEGINNING OF CONSTRUCTION AT I LOCATION PER ACRE MA OF 4 TO DETERMINE THE DRAINAGE CAPACITY OF THE E ISTING SITE SOIL FOR TREE HEALTH. NOTIFY THE LANDSCAPE ARCHITECT IP DRAINAGE ISES THAN 2' PER HOUR.
- AN TREES
 - ALL TREES SHALL BE SPECIMENS UNLESS SPECIFICALLY NOTED.
 - ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DIAGRAMS. BRANCHING 2 HEIGHT OF TREES SHALL BE A 6'-0' MINIMUM ABO E FINISH GRADE. ALL TREES IN A FORMAL GROUP

- PLANT TREES 3'-0' MINIMUM FROM FACE OF CURB AT PARKING, AND FROM EDGES OF PA. ING. ALL TREES WITHIN 5' OF PA. ING AREAS AND BUILDINGS MUST HA. E ROOT BARRIERS INSTALLED. SEE ROOT BARRIER DETAIL. DEEP ROOT BARRIER MODEL NO. UB.24.2. 415 344-1464. INSTALL PER MANUFACTURERS SPECIFICATIONS. WHERE WATER BARRIERS AND ROOT BARRIERS ARE RE UIRED, USE CENTURY PRODUCTS DUAL PURPOSE WATER/ ROOT BARRIER CR-PE24-20, 714 632-7083, S.C.D. FOR OCATIONS OF WATER BARRIER
- PRO. IDE 4" BERM AROUND TREE FOR WATER BASIN. SEE TREE STAKING DETAIL. BERM TO BE REMO. ED IN LAWN AREA AFTERINITAL MAINTENANCE PERIOD. MULCH TREE WELL WITH 3" LAVER OF RECYCLED CHIPPED MULCH. KEEP MULCH AWAY FROM TREE TRUNK. HOLD LAWN AND HYDROSEED 2 CLEAR FROM TRUNKS, TYP.
- TREES MUST HALE AN UNCUT LEADER THAT HAS A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. O ERGROWN OR ROOT BOUND TREES ARE NOT ACCEPTABLE.
- FOR ALL TREES IN STORMWATER INFILTRATION ZONES HOLD FG OF ROOTBALL 4" ABO E FG OF FLOWLINE, ADJUST ADJACENT GRADE OF SOIL TO BLEND UNIFORMLY AROUND ROOTBALL AND ALLOW UNIMPEDED FLOW OF WATER.

SHRUBS, GROUNDCO ERS AND INES

- GROUNDCO ER MUST BE PLANTED AS SHOWN ON THE PLAN, INCLUDING UNDER SHRUBS AND IN
- SHRUBS AND PERENNIALS MUST HALE ADE LUATE SETBACK FROM THE ADJACENT SIDEWALK AND EDGES OF PARKING LOT CURBS. NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF PLANT MATERIAL MAY PROTRUDE INTO THE PATH OF TRA EL.
- THE CONTRACTOR IS TO SECURE ALL INES TO TRELLISES WITH APPRO ED FASTENERS, ALLOWING FOR TWO 2 YEARS GROWTH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT

ACCESSORIES

- ALL PLANTING NOT BOUINDED BY CONCRETE OR A HARDSCAPE EDGE SHALL BE COMPLETELY SURROUNDED BY HEADERS. ALL ASPHALT AND DECOMPOSED GRANITE AREAS TO BE COMPLETELY SURROUNDED BY HEADERS OR ADJACENT CONCRETE WORK.
- ALL PLANTING AREAS MUST BE TOP-DRESSED WITH 3' LAYER OF RECYCLED CHIPPED MULCH. COLOR: BROWN, SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPRO AL PRIOR TO ORDERING.
- SAMPLE FOR RE IEW AND APPRO AL
- ALL STORMWATER CURB CUTS MUST BE REINFORCED WITH A MINIMUM 12" WIDE 16" LONG 6" DEEP BAND OF COBBLE. COBBLE SHALL BE 40. 4"-6" AND 60. 2"-3" NOIYO COBBLE. PRO IDE 24" WIDE BY DEPTH OF COBBLE AROUND ALL CATCH BASING LOCATED IN DRAINAGE AREAS. SUBMIT SAMPLE FOR RE IEW AND APRO AL.
- ALL RAINWATER LEADERS DISCHARGING INTO LANDSCAPE AREAS MUST HA E SPLASH BLOCKS. MODEL: CDI 16 24". COLOR: TO MATCH PA ING. 800 279-2278.

SUBMITTALS

- CONTRACTOR MUST SUBMIT ALL TESTS, PRODUCTS, ACCESSORIES, CUT SHEETS OF ALL ITEMS SPECIFIED FOR RE IEW AND APPRO AL PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL MUST BE RE IEWED AND APPRO ED BY THE LANDSCAPE ARCHITECT PRIOR TO DELI ERY. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL SHRUBS, GROUND CO ERS, INES, AND TREES FOR PRELIMINARY RE IEW AND APPRO AL.

PLANT MATERIAL NOT APPRO ED BY THE LANDSCAPE ARCHITECT MAY BE SUBJECT TO REMO AL AND REPLACEMENT WITH APPRO ED PLANT MATERIAL AT NO ADDITIONAL COST TO THE CONTRACT OR



NOT FOR

CONSTRUCTION

ISSUE: DESCRIPTION:

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PROIECT NUMBER: 5412 # DRAWN LM/TZ CHECK EG DATE 02/27/2019 SCALE:



NOTES AND LEGEND





GATES

+ASSOCIATES

LANDSCAPE ARCHITECTURE

LAND PLANNING + URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583

SHILOH

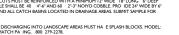
ENTITLEMENT

SET

OAKI FY

CALIFORNIA





- ALL SLOPES GREATER THAN 2.5: I MUST BE CO ERED WITH EROSION CONTROL NETTING PER THE MANUFACTURERS SPECIFICATIONS. O ERLAP ALL EDGES A MINIMUM OF 12° AND SECURE AS RE U WITH METAL STAPLES. EROSION CONTROL NETTING TO BE WESTERN E CELSIOR, E CEL CS-3 OR APPRO EDE UAL. A ALLABLE FROM REED _ GRAHAM 888-381.6800.
- SEE SPECIFICATIONS FOR ALL FERTILIZER RE UIREMENTS

PLANT LIST

STREET TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
PIS	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BO	L WUCOLS I	
PLA	PLATANUS ACERIFOLIA COLUMBIA	LONDON PLANE TREE	24"BO	M WUCOLS I	
TIL	TILIA CORDATA	LITTLELEAF LINDEN	24"BO	M WUCOLS I	
ULM	ULMUS PAR IFOLIA	CHINESE ELM	24"BO	M WUCOLS I	
ACCENT TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
CHI	CHITALPA TASHKENTENSIS	CHITALPA	24"BO	L WUCOLS I	
COT	COTINUS COGGYGRIA PURPUREUS	SMOKE TREE	24"BO	L WUCOLS I	
DOD	DODONAEA ISCOSA PURPUREA	PURPLE LEAFED HOPSEED BUSH	24"BO	L WUCOLS I	
LAG	LAGERSTROEMIA TUSCARORA	CRAPE MYRTLE CORAL PINK	24"BO	L WUCOLS I	
PHO	PHOTINIA FRASERI STANDARD	PHOTINIA	24"BO	M WUCOLS I	
RHA	RHAPHIOLEPIS MAJESTIC BEAUTY	MAGESTIC BEAUTY INDIAN HAWTHORN	24"BO	L WUCOLS I	
FOUNDATION SHRUBS		COMMON NAME	SIZE	WATER USE	SPACING
BG	BU US SEMPER IRENS GRAHAM BLANDY	GRAHAM BLANDY ENGLISH BO WOOD	15 GAL	M WUCOLS I	24° o
BU	BU US GREEN MOUNTAIN	BO WOOD	15 GAL	M WUCOLS I	36" o
СК	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS	IGAL	M WUCOLS I	36° o
cc	CARPENTERIA CALIFORNICA	BUSH ANEMONE	I GAL	M WUCOLS I	48" o
СН	CHAMAECYPARIS LAWSONIANA BLUE SURPRISE	PORT ORFORD CEDAR	15 GAL	M WUCOLS I	24° o
CR	COPROSMA REPENS RAINBOW SURPRISE	MIRROR PLANT	5 GAI	M WUCOLST	48" o
D	DIFTES GRANDIFI ORA ARIFGATA	STRIPED FORTNIGHT LILY	5 GAL	L WUCOLS I	36° o
DI	DIFTES EGETA	AFRICAN IRIS	5 GAL	L WUCOLS I	48" o
EG	EUONYMUS FORTUNEI EMERALD GAIETY	EMERALD GAIETY EUONYMUS	5 GAL	M WUCOLS I	36° o
FM	FESTUCA MAIRFI	ATLAS FESCUE	I GAL	L WUCOLS I	36" o
FC	FRANGULA CALIFORNICA MOUND SAN BRUNO	CALIFORNIA BUCKTHORN	5 GAL	L WUCOLS I	60° o
LS	LIGUSTRUM SINFINSE SUNSHINE	SUNSHINE LIGUSTRUM	5 GAL	L WUCOLS I	36" o
IB	LOMANDRA LONGIEOLIA BREEZE	DWARE MAT RUSH	5 GAL	L WUCOISI	30" o
LP	LOMANDRA LONGIFOLIA PLATINUM BEAUTY	MAT RUSH	5 GAL	L WUCOLS I	30" o
тс	TEUCRIUM FRUTICANS COMPACTA	BUSH GERMANDER	5 GAL	L WUCOLS I	36° o
ACCENT SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
c	COPROSMA KIRKII ARIEGATA	CREEPING MIRROR PLANT	GAI	L WUCOLS I	36" 0
CP.	CISTUS PUI ERUI ENTUS SUNSET	ROCKROSE	FLAT		
EK	ERIGERON KAR INSKIANUS	FLEABANE	I GAL	L WUCOLS I	30° o
ER	FRIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	I GAL	L WUCOLSI	18" 0
EH	EUONYMUS FORTUNEI HARLE UINN	HARLE UINN EUNONYMUS	I GAL	M WUCOLSI	18" 0
U	LIRIOPE MUSCARI SIL FRY SUNPROOF	SIL ERY SUNPROOF BLUE LILYTURF	IGAL	M WUCOLSI	24" o
SB	SAL IA LEUCANTHA SANTA BARBARA	ME_LICAN BUSH SAGE	5 GAI	I WUCOISI	36" 0
STORM WATER SHRUB	BOTANICAL NAME CHONDROPETALUM TECTORUM	COMMON NAME CAPE RUSH	SIZE	WATER USE	SPACING 36" o
P	IUNCUS PATENS	CALIFORNIA GRAY RUSH	IGAL	L WUCOLSI	30° o
JP LC					
LC MR	LEYMUS CONDENSATUS CANYON PRINCE MUHI ENBERGIA RIGENS	NATI E BLUE RYE DEFR GRASS	I GAL	L WUCOLSI	36" o
	ITUTILEINDERGIA RIGEINS	DEER GRASS	IGAL	L WUCOLS I	48" o

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STREET TREES

ACCENT TREES

CHITALPA TASHKENTENSIS

COPROSMA REPENS

RAINBOW SURPRISE

RUBESCENS

SAL IA LEUCANTHA SANTA BARBARA





A REAL PROPERTY OF A





RHAPHIOLEPIS MAJESTIC BEAUTY



GATES

+ASSOCIATES LANDSCAPE ARCHITECTURE LAND PLANNING + URBAN DESIGN 2671 CROW CANYON RD. SAN RAMON, CA 94583 T 925-736-8176 www.dgates.com

SHILOH

ENTITLEMENT

OAKLEY CALIFORNIA

BU US SEMPER IRENS GRAHAM BLANDY BU US GREEN MOUNTAIN

FOUNDATION SHRUBS

COLUMBIA









ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION





CHECK: EG 02/27/2019



LEYMUS CONDENSATUS CANYON PRINCE

PLANT PALETTE





FRANGULA CALIFORNICA MOUND SAN BRUNO SUNSHINE

ACCENT SHRUBS









EUONYMUS FORTUNEI HARLE UINN



LOMANDRA LONGIFOLIA BREEZE

LIRIOPE MUSCARI SIL ERY SUNPROOF





























EUONYMUS FORTUNEI EMERALD GAIETY







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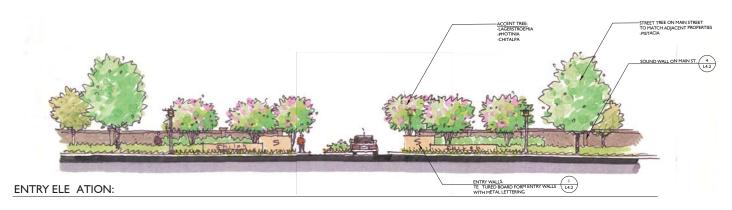
LOMANDRA LONGIFOLIA PLATINUM BEAUTY COMPACTA

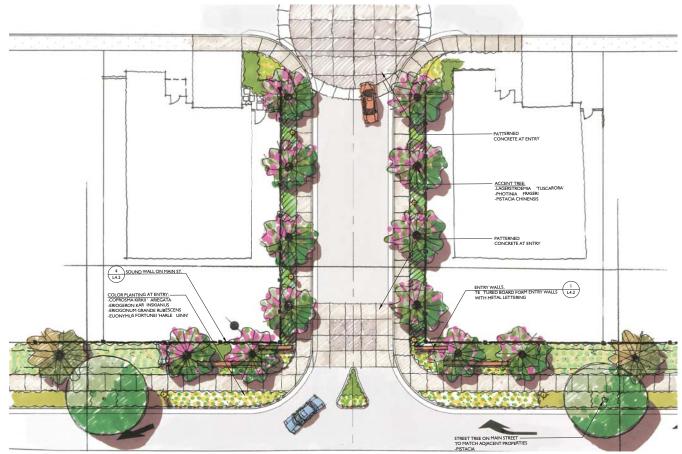


PROIECT NUMBER:

5412# LM/TZ









OAKLEY CALIFORNIA

DATE:

ISSUE: DESCRIPTION:

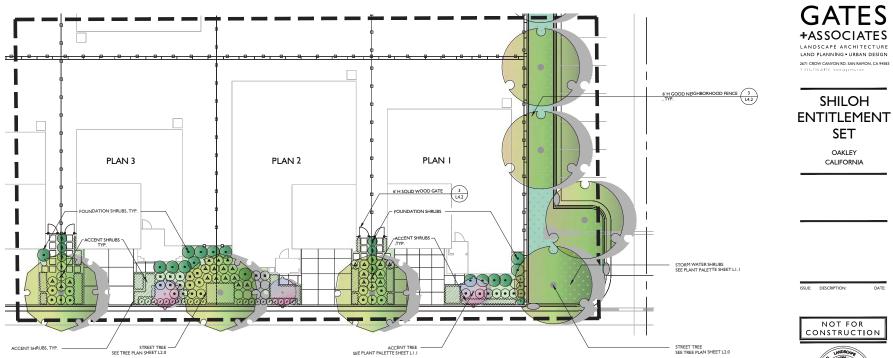




ENTRY ENLARGEMENTS







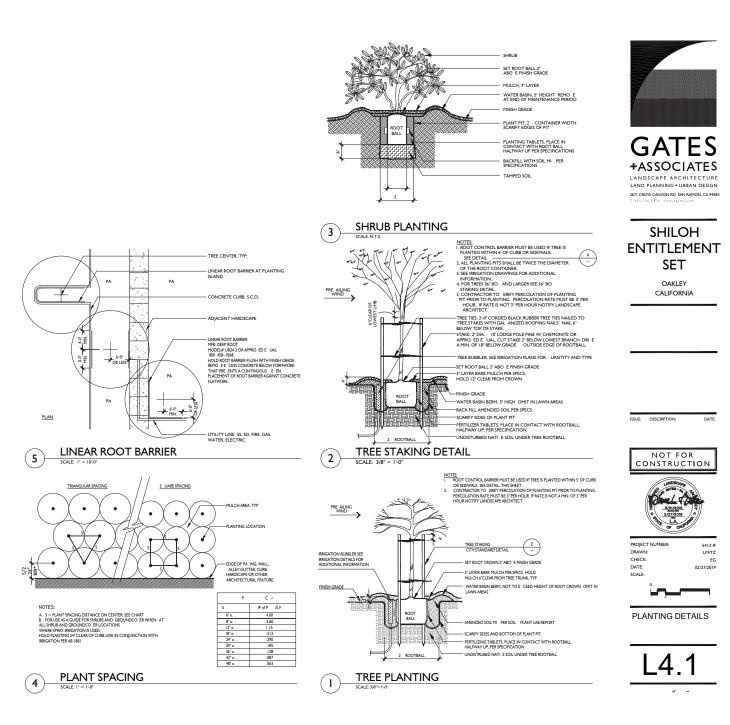


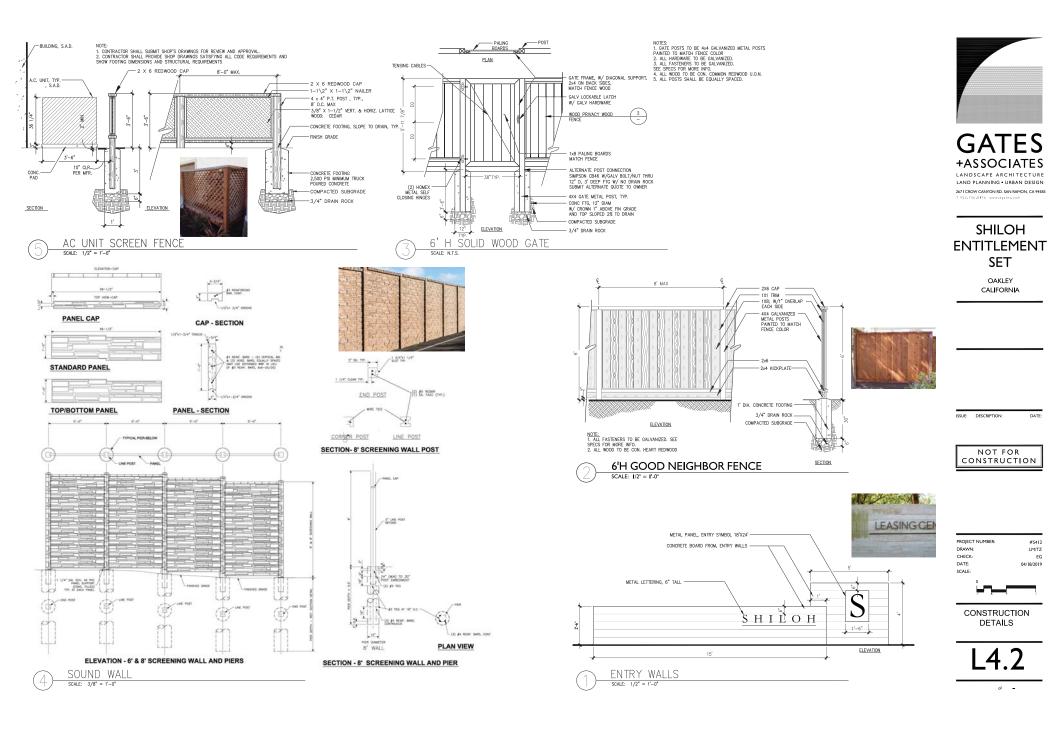
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PROJECT NUMBER: 5412 # LM/TZ DRAWN: CHECK: EG DATE: SCALE: 02/27/2019 1" = 10'-0"

PROTOTYPICAL FRONT YARD







OC 32 (25) 3 - 0 OC 35 (25) 3 - 0<	GENERAL NOTES: 1. OWNER/DEPER KB HOME SOD DECUTIVE PARKWAY, SUITE 125 SNR RAMCK, CA 94583 2. APPUCNT: KB HOME SOD DECUTIVE PARKWAY, SUITE 125 SNR RAMCK, CA 94583 3. OWL ENGNEEE: CAR SON, RAMEET & GESON, NC. 2531 SCHMOR AND, SUITE 235 SNR RAMCK, CA 94583 4. GEOTECHMICAL ENGNEEE: CAR SON, RAMEET & GESON, NC. 2012 SMR, CA 94583 4. GEOTECHMICAL ENGNEEE: PORTO, NC. 2017 SCHWA, CA 94583
034-241-008' 50.00' 50.0	5 LAND AREA SUMMARY: LOT AREA = 657 AC NOT TO SCALE
	PAREIS = 0.43 AC N-TRACT STREETS = 2.29 AC TOTAL AREA = 9.29 AC
PARCELF, 100 92	COTAL NUMBER OF LOTS = 68 LOTS DENSITY = 7.43 D.U. / GROSS AGRE LAN USE EXISTING - AGROLUTIVAL TOROCOLO - DANALE FAMILY RESIDENTIAL ZONING: P-1 (SINGLE FAMILY RESIDENTIAL, UNW DENSITO) GONERAL PLAN: M. (MULTI-FAMILY RESIDENTIAL) SUBJECT REFLIXION OF LEADER SHOWLON THIS MAR. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS WHITH THE DEVELOPED AREAS TO BE REMOVED. HAIL TREES, FENCES AND BUILDINGS AREAS TO BUSKAWER ARE MAP PARALL DI SIZE AND BUILDINGS AREAS TO BUSKAWER AREAS AND BU
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	TYPICAL LOT SETBACK DETAIL SCALE: 1°=30' TYPICAL LOT SETBACK DETAIL SCALE: 1°=30'
	SHILOH PROPERTY
54.97 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00' 50.00'	DIMENSION PLAN
	SUBDIVISION 8975
PARCEL D 3.007 SEE PARCEL A 3.007 SEE PARCEL A	CITY OF OAKLEY CONTRA COSTA COUNTY CALIFORNIA
	120' 160' SHEET NO.
	DATE: APRIL 29, 2019 CML ENGINEERS SAN FRANCO • (925) 986-0322 CML ENGINEERS SAN FRANCO • (946) 375-1877 WWW.CBANGG.COM • SURVEYORS • PLANNERS 0 • 3 SHEETS • SURVEYORS • PLANNERS 0 • 3 SHEETS

