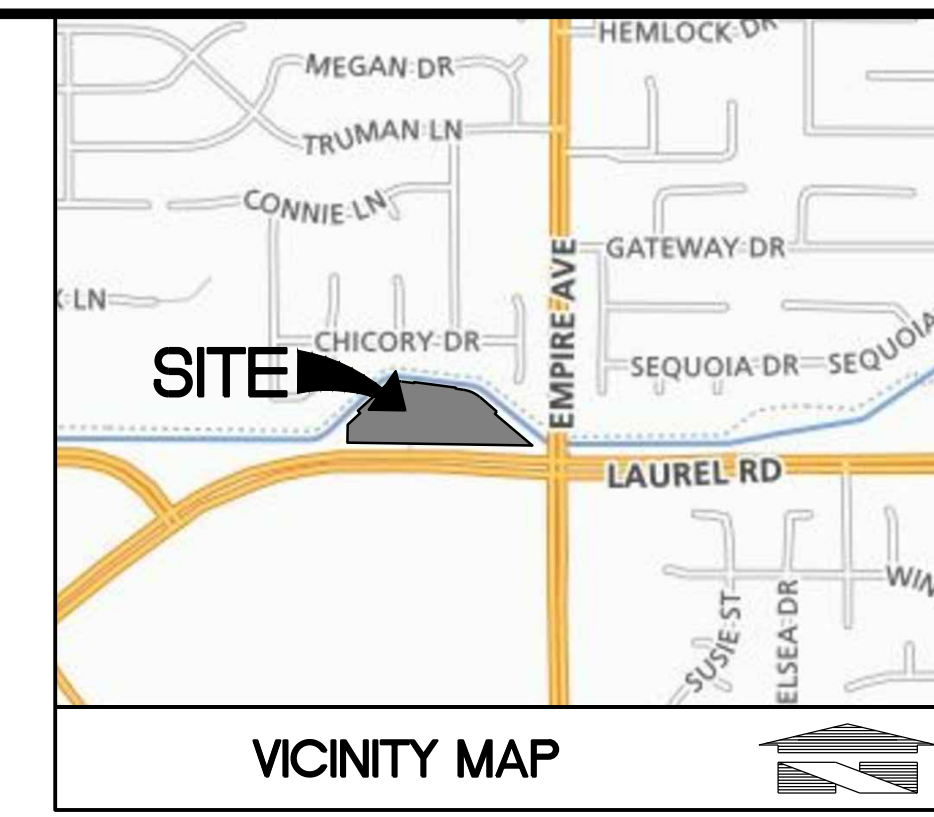
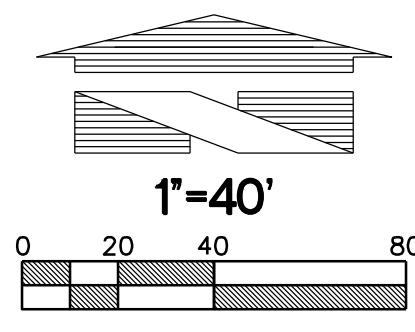


ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-OVERALL DEVELOPMENT



CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
2		
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13		
14		
15		

SEAL:

DEVELOPMENT INFORMATION:

ARCO NTI

3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:

NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

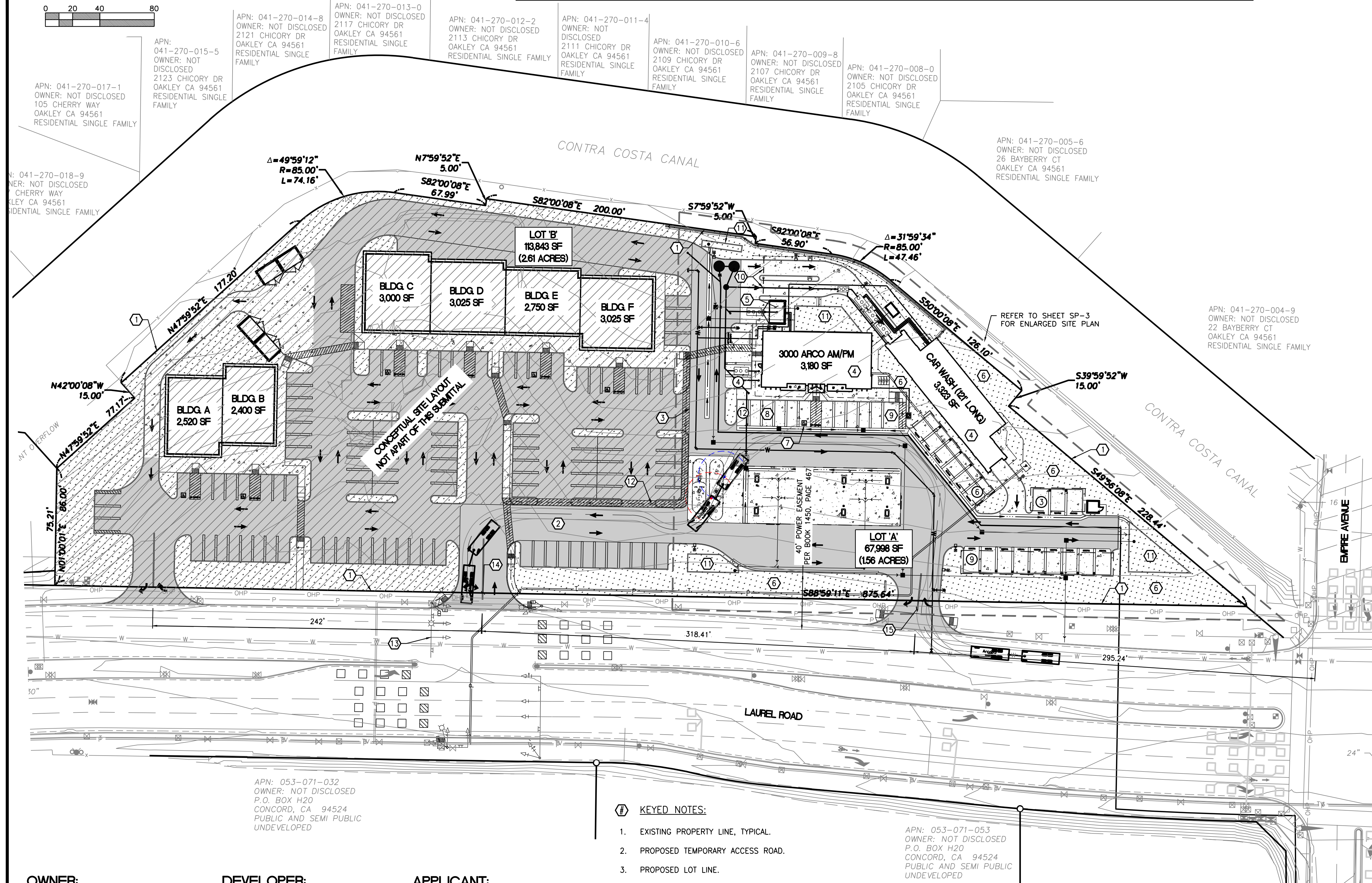
FACILITY #TBD

DESIGNED BY: JAH ALLIANCE TEAM:
CHECKED BY: HPG BP REPM:
DRAWN BY: JAH ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
**PRELIMINARY SITE
PLAN-OVERALL
DEVELOPMENT**

SHEET NO:

SP-1



PROJECT DATA:

LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE

A.P.N.: 041-042-002

ZONING DESIGNATION: GENERAL COMMERCIAL (C)

GENERAL PLAN DESIGNATION: COMMERCIAL

LOT AREA:
LOT 'A': 67,998 SF (1.56 ACRES)
LOT 'B': 113,843 SF (2.61 ACRES)

BUILDING SETBACKS:
FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
REAR YARD: 20' WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS:

LOT 'A':

C-STORE: 1 SPACE PER 400 SF + 1 PER EMPLOYEE + 1 AIR
3,180 SF / 400 SF = 8 SPACES
4 EMPLOYEE = 4 SPACES
1 AIR/WATER = 1 SPACE

TOTAL PARKING SPACES REQUIRED: 13 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 16 PARKING SPACES

VACUUM SPACES PROVIDED: 18

ACCESSIBLE PARKING SPACES REQUIRED: 1 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED: 1 PARKING SPACE

* ONE SPACE IS REQUIRED TO BE DESIGNATED FOR CLEAN AIR VEHICLE AND/OR CARPOOL USE

** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION

*** NUMBER OF PARKING STALLS IN ISOLATED AREA: 1

LOT 'B' (SCHEMATIC LAYOUT):

RETAIL: 1 SPACE PER 250 SF
5,775 SF = 23 SPACES
RESTAURANT: 1 SPACE PER 150 SF (NET CUSTOMER AREA)
10,945 SF = 73 SPACES

TOTAL PARKING SPACES REQUIRED: 96 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 110 PARKING SPACES

ACCESSIBLE PARKING SPACES REQUIRED: 6 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED: 6 PARKING SPACE

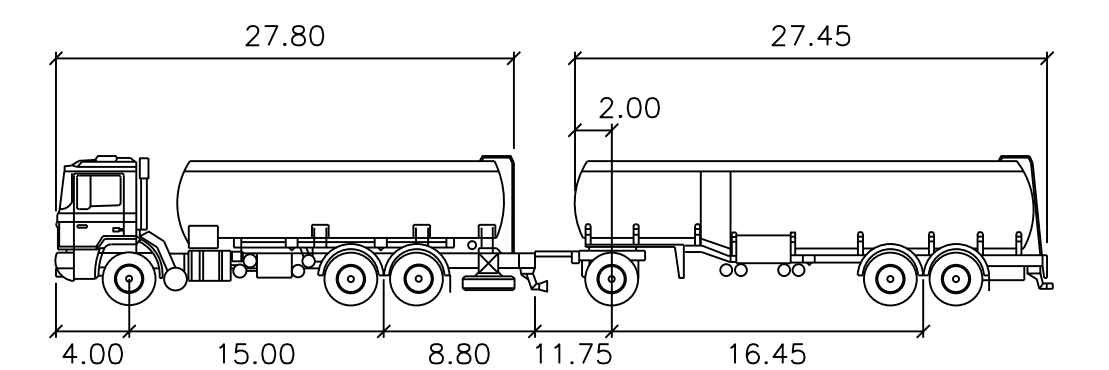
LOADING ZONE: 1 REQUIRED (10' X 35')

- KEYED NOTES:**
- EXISTING PROPERTY LINE, TYPICAL.
 - PROPOSED TEMPORARY ACCESS ROAD.
 - PROPOSED LOT LINE.
 - PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED SOLID WASTE ENCLOSURE; REFER TO ARCHITECTURAL PLANS.
 - PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
 - PROPOSED ACCESSIBLE PARKING SPACE.
 - PROPOSED STANDARD PARKING SPACE, TYPICAL.
 - PROPOSED LOCATION OF FUTURE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION COMPLYING WITH ALL REQUIREMENTS OF SECTION 5.106.5.3 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND SECTION 11B-812 OF THE 2016 CALIFORNIA BUILDING CODE.
 - PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED LOCATION OF BIORETENTION FACILITIES.
 - PROPOSED TEMPORARY ACCESSIBLE ROUTE TO RIGHT-OF-WAY, TYPICAL.
 - PROPOSED INTERSECTION IMPROVEMENTS, TYPICAL.
 - PROPOSED FULL ACCESS DRIVEWAY.
 - PROPOSED RIGHT-IN/RIGHT-OUT DRIVEWAY.

- SHEET INDEX:**
- SP-1 - PRELIMINARY SITE PLAN-OVERALL DEVELOPMENT
 - SP-2 - PRELIMINARY SITE PLAN-OVERALL (LOT A)
 - SP-3 - PRELIMINARY SITE PLAN-ENLARGED (LOT A)
 - SM-1 - PRELIMINARY DEMOLITION PLAN
 - SGM-1 - PRELIMINARY GRADING AND DRAINAGE PLAN
 - MCP-1 - STORMWATER CONTROL PLAN
 - D-1 - CIVIL DETAILS
 - D-2 - CIVIL DETAILS
 - L-1 - PRELIMINARY LANDSCAPE AND IRRIGATION SET
 - L-2 - PRELIMINARY LANDSCAPE AND IRRIGATION SET
 - L-3 - PRELIMINARY LANDSCAPE AND IRRIGATION SET
 - L-4 - PRELIMINARY LANDSCAPE AND IRRIGATION SET

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ADA STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ADA REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ADA REQUIREMENTS (SECTION 11B-705) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ADA STANDARDS.



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

OWNER:
THE CARDINALE COMPANY
ORTC 1000 BURNETT AVE; SUITE 400
CONCORD, CA 94520
TEL: (925) 519-6671
FAX: (925) 240-6918
CONTACT: GEORGE CARDINALE

DEVELOPER:
WOODCREEK OAKS PETROLEUM, INC.
301 NATOMA STREET, SUITE 102
FOLSOM, CA 95630
TEL: (281) 995-5679
CONTACT: MARC STRAUCH

ARCHITECT:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: DANIEL B. GOALWIN, A.I.A.

ENGINEER:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: HAL P. GRUBB, P.E.

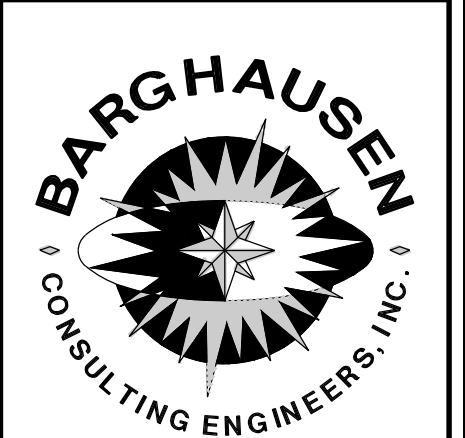
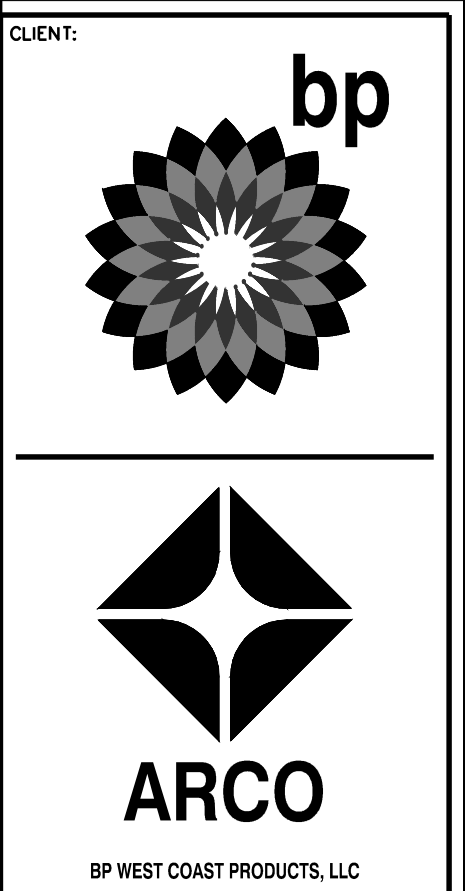
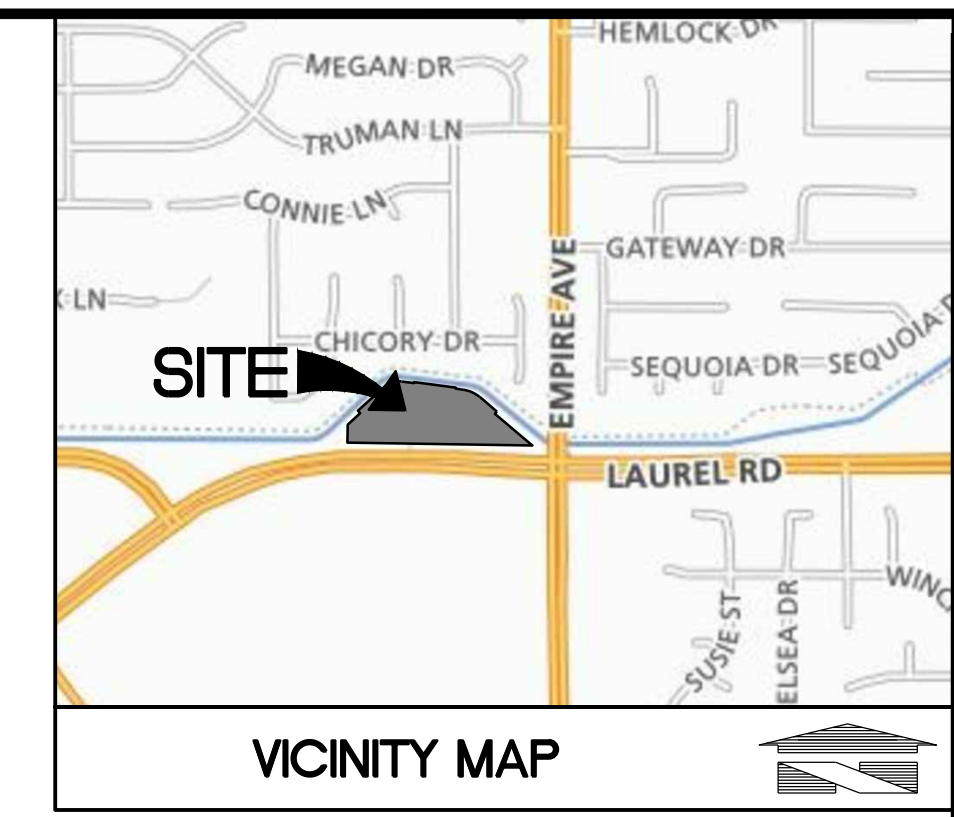
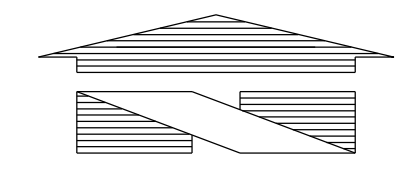
APPLICANT:
BARGHAUSEN CONSULTING ENGINEERS, INC.
915 HIGHLAND POINTE DRIVE, SUITE 250
ROSEVILLE, CA 95678
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: LESLIE BURNSIDE

LANDSCAPE:
BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: JEFFREY VARLEY, R.L.A.

DEVELOPMENT PHASING NOTE:

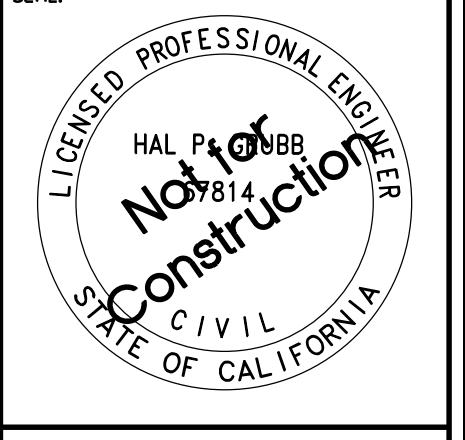
ALL DEPICTED IMPROVEMENTS ON LOT 'B' ARE SCHEMATIC IN NATURE AND ARE SHOWN FOR REFERENCE ONLY. A SEPARATE ENTITLEMENT FOR SUBMITTAL FOR THE PROPOSED DEVELOPMENT OF LOT 'B' WILL BE MADE IN THE FUTURE.

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-OVERALL (LOT A)



18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX
CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL



PROJECT DATA:

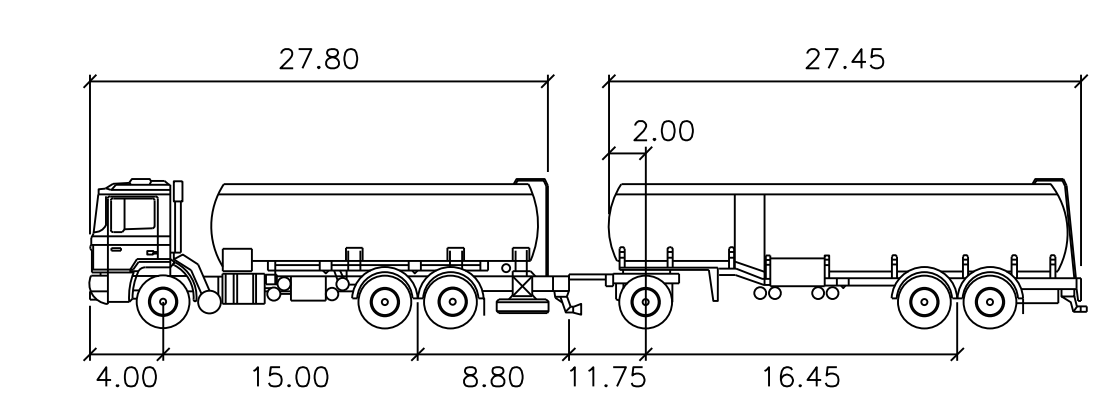
LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE
A.P.N.: 041-042-002
ZONING DESIGNATION: GENERAL COMMERCIAL (C)
GENERAL PLAN DESIGNATION: COMMERCIAL
LOT AREA:
LOT 'A': 67,998 SF (1.56 ACRES)
LOT 'B': 113,843 SF (2.61 ACRES)
BUILDING SETBACKS:
FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
REAR YARD: 20' WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS:

LOT 'A':
C-STORE: 1 SPACE PER 400 SF + 1 PER EMPLOYEE + 1 AIR
3,180 SF / 400 SF = 8 SPACES
4 EMPLOYEE = 4 SPACES
1 AIR/WATER = 1 SPACE
TOTAL PARKING SPACES REQUIRED: 13 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 16 PARKING SPACES
VACUUM SPACES PROVIDED: 18
ACCESSIBLE PARKING SPACES REQUIRED: 1 PARKING SPACE
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** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
*** NUMBER OF PARKING STALLS IN ISOLATED AREA: ①

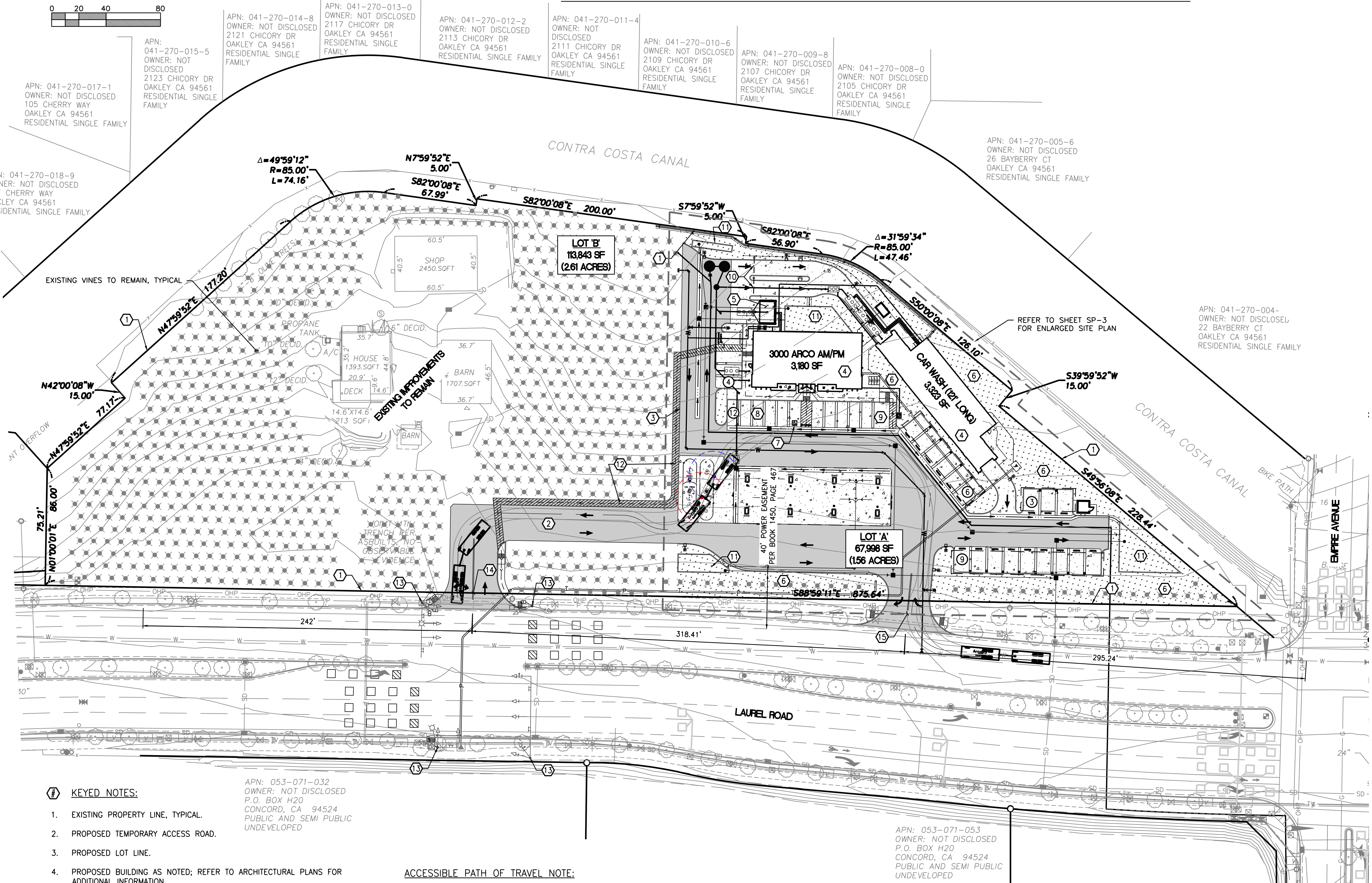
LOT 'A' SUMMARY:

MAXIMUM ALLOWED BUILDING HEIGHT: 30'
MAXIMUM PROPOSED BUILDING HEIGHT: ±27'
PROPOSED GROUND COVER SUMMARY:
BUILDINGS: 6,650 SF (9.8%)
PARKING AND MANEUVERING: 38,702 SF (56.9%)
WALKWAYS: 2,428 SF (3.6%)
LANDSCAPE: 20,218 SF (29.7%)
TOTAL: 67,998 SF (100.0%)
FLOOR AREA RATIO (MAXIMUM ALLOWED): 1.00
FLOOR AREA RATIO (PROVIDED): 0.10



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		



KEYED NOTES:

- EXISTING PROPERTY LINE, TYPICAL.
- PROPOSED TEMPORARY ACCESS ROAD.
- PROPOSED LOT LINE.
- PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED SOLID WASTE ENCLOSURE; REFER TO ARCHITECTURAL PLANS.
- PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED ACCESSIBLE PARKING SPACE.
- PROPOSED STANDARD PARKING SPACE, TYPICAL.
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- PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED LOCATION OF BIORETENTION FACILITIES.
- PROPOSED TEMPORARY ACCESSIBLE ROUTE TO RIGHT-OF-WAY.
- PROPOSED INTERSECTION IMPROVEMENTS, TYPICAL.
- PROPOSED FULL ACCESS DRIVEWAY.
- PROPOSED RIGHT-IN/RIGHT-OUT DRIVEWAY.

ACCESSIBLE PATH OF TRAVEL NOTE:

WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE. A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% GROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ADA STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ADA REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ADA REQUIREMENTS (SECTION 11B-705) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ADA STANDARDS.

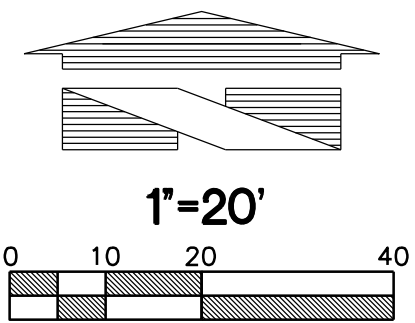
DEMOLITION NOTE:

REFER TO DEMOLITION PLAN FOR ADDITIONAL PRELIMINARY INFORMATION.

APN: 053-071-032
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524
PUBLIC AND SEMI PUBLIC UNDEVELOPED

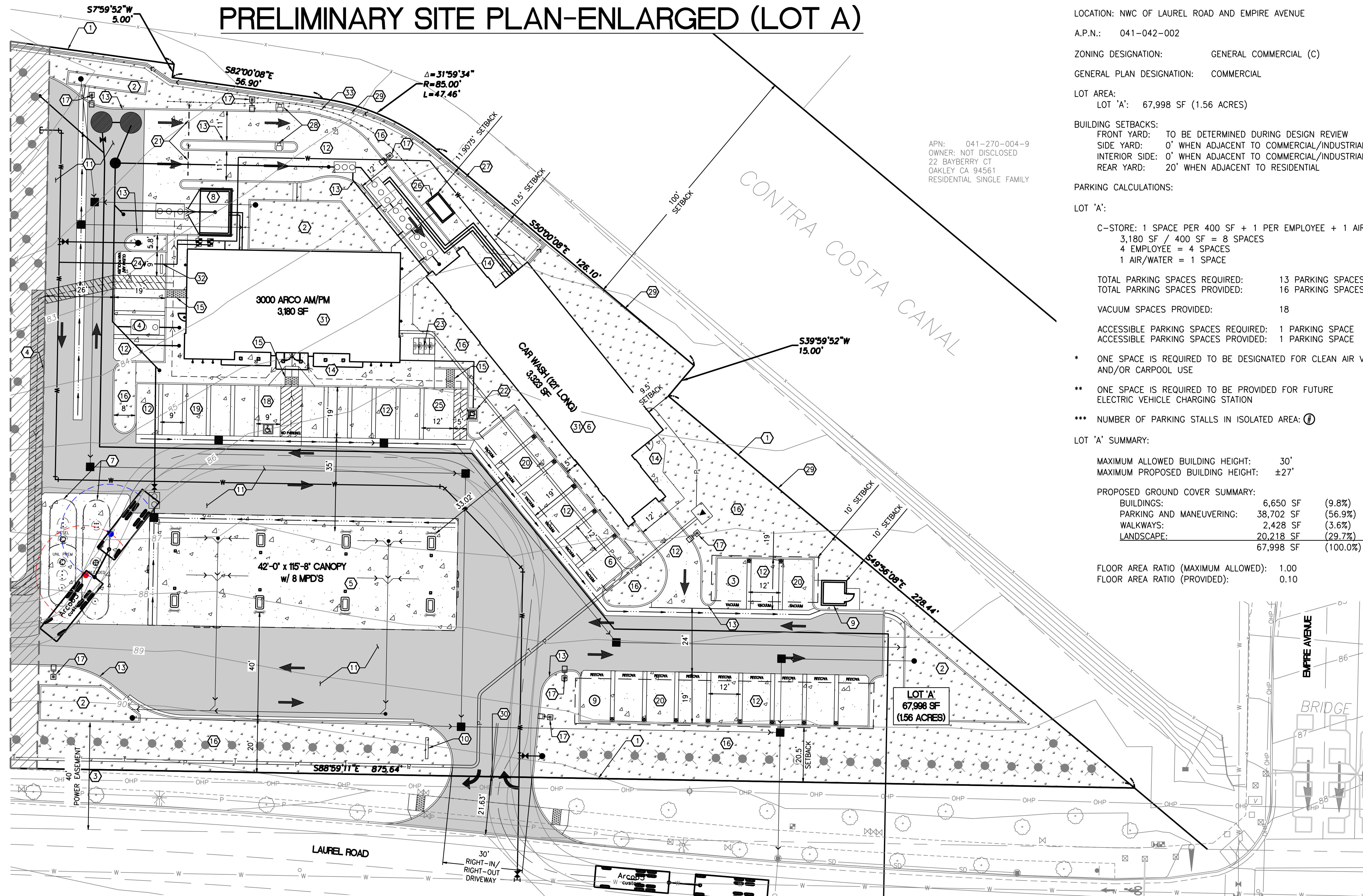
APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524
PUBLIC AND SEMI PUBLIC UNDEVELOPED

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-ENLARGED (LOT A)



- KEYED NOTES:**
1. EXISTING PROPERTY LINE, TYPICAL.
 2. PROPOSED BIORETENTION FACILITY
 3. EXISTING EASEMENT, WIDTH AND DESCRIPTION AS NOTED, TYPICAL.
 4. PROPOSED LOT LINE.
 5. PROPOSED FUEL ISLAND WITH OVERHEAD CANOPY; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 6. PROPOSED CAR WASH; CAR WASH TUNNEL SHALL BE GATED AND SECURED WHEN NOT OPERATIONAL, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 7. PROPOSED UNDERGROUND STORAGE TANKS.
 8. PROPOSED SOLID WASTE ENCLOSURE (12'x18'), REFER TO ARCHITECTURAL PLANS.
 9. PROPOSED VACUUM EQUIPMENT ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 10. PROPOSED DOUBLE-SIDED PRICE SIGN; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 11. PROPOSED ASPHALT PAVING, TYPICAL.
 12. PROPOSED CONCRETE PAVING, TYPICAL.
 13. PROPOSED CONCRETE CURB, TYPICAL.
 14. PROPOSED CONCRETE SIDEWALK, WIDTH VARIES, TYPICAL.
 15. PROPOSED ACCESSIBLE COMPLIANT CURB RAMP, TYPICAL.
 16. PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
 17. PROPOSED SITE LIGHTING, TYPICAL.
 18. PROPOSED ACCESSIBLE COMPLIANT PARKING SPACE.
 19. PROPOSED STANDARD PARKING SPACE, TYPICAL OF 16.
 20. PROPOSED VACUUM PARKING SPACE, TYPICAL OF 18.
 21. PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 22. PROPOSED LOCATION OF AIR/WATER UNIT.
 23. PROPOSED BICYCLE PARKING SPACE (2'x6'), TYPICAL OF 4.
 24. PROPOSED LOCATION OF CLEAN AIR/VAN POOL/EV PARKING SPACE COMPLYING WITH SECTION 5.106.5.2 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS.
 25. PROPOSED LOCATION OF FUTURE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION COMPLYING WITH ALL REQUIREMENTS OF SECTION 5.106.5.3 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND SECTION 11B-812 OF THE 2016 CALIFORNIA BUILDING CODE.
 26. PROPOSED LOCATION FOR ATTENDANT BOOTH.
 27. PROPOSED LOCK-LOAD RETAINING WALL; REFER TO DETAIL THIS SHEET.
 28. PROPOSED CAR-WASH PAY STATION.
 29. PROPOSED 6' CHAIN LINK FENCE.
 30. PROPOSED RIGHT-IN/RIGHT-OUT DRIVEWAY.
 31. PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 32. PROPOSED WHEEL STOP.
 33. PROPOSED GUARD RAIL.

DEMOLITION NOTE:
REFER TO DEMOLITION PLAN FOR ADDITIONAL PRELIMINARY INFORMATION.



APN: 041-270-004-9
OWNER: NOT DISCLOSED
22 BAYBERRY CT
OAKLEY CA 94561
RESIDENTIAL SINGLE FAMILY

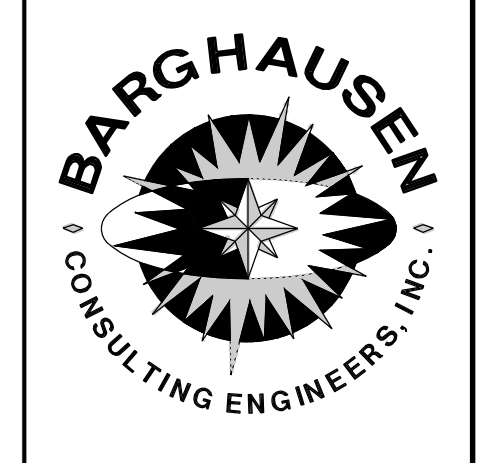
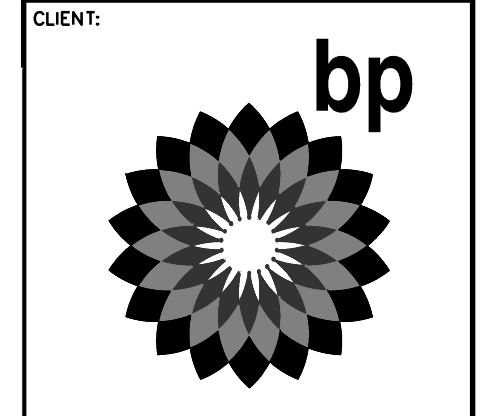
APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524

PROJECT DATA:
LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE
A.P.N.: 041-042-002
ZONING DESIGNATION: GENERAL COMMERCIAL (C)
GENERAL PLAN DESIGNATION: COMMERCIAL
LOT AREA:
LOT 'A': 67,998 SF (1.56 ACRES)
BUILDING SETBACKS:
FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
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PARKING CALCULATIONS:
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ACCESSIBLE PARKING SPACES REQUIRED: 1 PARKING SPACE
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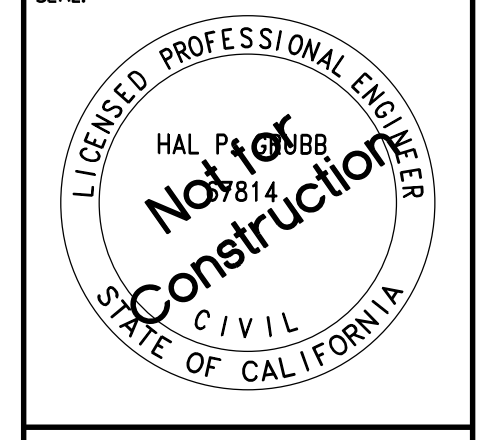
* ONE SPACE IS REQUIRED TO BE DESIGNATED FOR CLEAN AIR VEHICLE AND/OR CARPOOL USE
** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
*** NUMBER OF PARKING STALLS IN ISOLATED AREA: ①

LOT 'A' SUMMARY:
MAXIMUM ALLOWED BUILDING HEIGHT: 30'
MAXIMUM PROPOSED BUILDING HEIGHT: ±27'
PROPOSED GROUND COVER SUMMARY:
BUILDINGS: 6,650 SF (9.8%)
PARKING AND MANEUVERING: 38,702 SF (56.9%)
WALKWAYS: 2,428 SF (3.6%)
LANDSCAPE: 20,218 SF (29.7%)
67,998 SF (100.0%)
FLOOR AREA RATIO (MAXIMUM ALLOWED): 1.00
FLOOR AREA RATIO (PROVIDED): 0.10



18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX
CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD'S
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

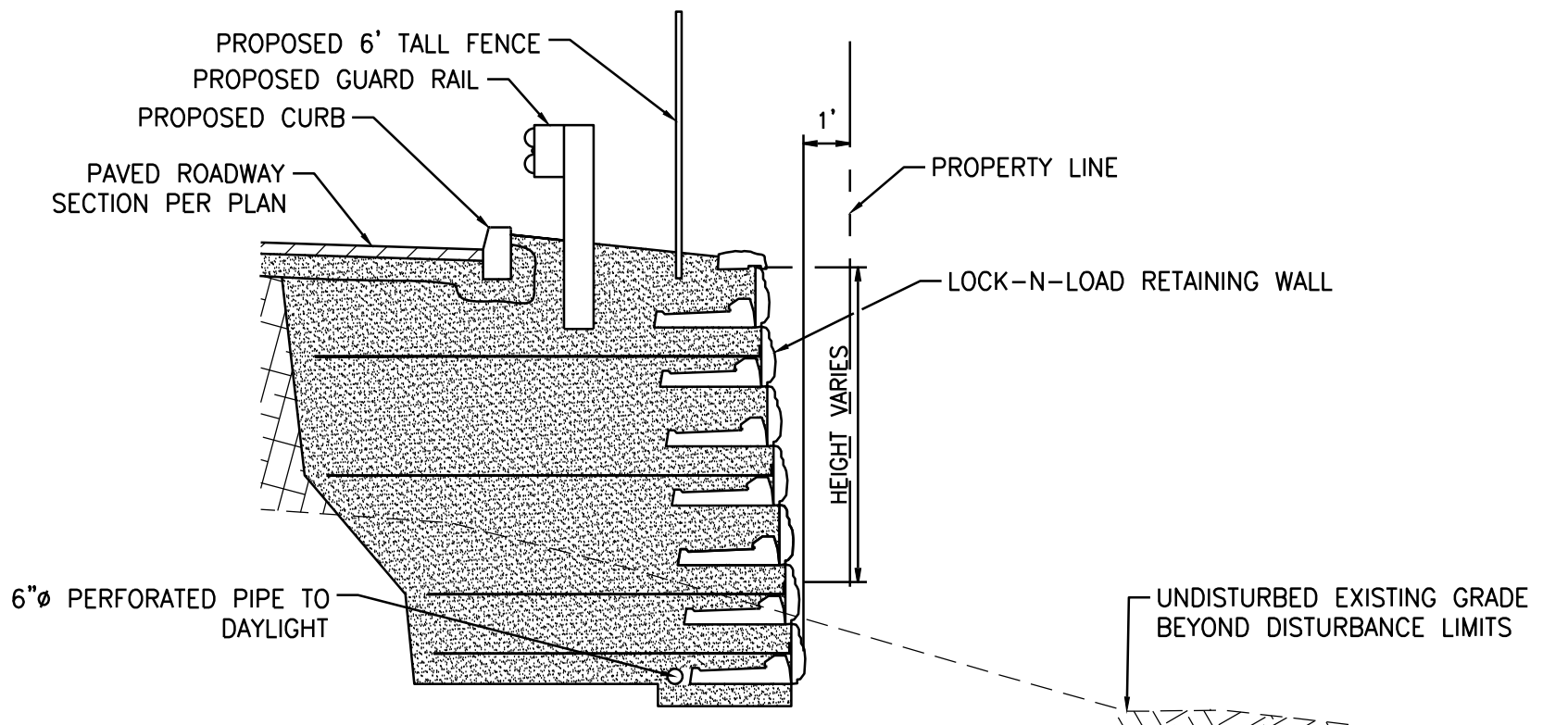
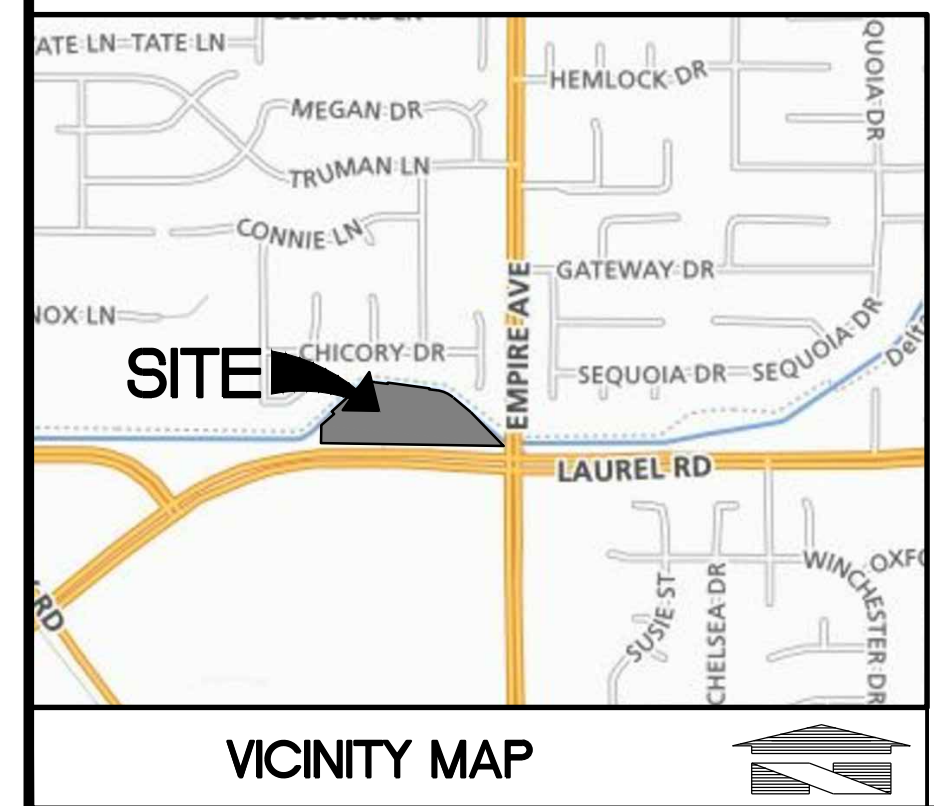
FACILITY #TBD

DESIGNED BY: MRS ALLIANCE Z&M:
CHECKED BY: JAH BP REPM:
DRAWN BY: MRS ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
PRELIMINARY SITE PLAN
- ENLARGED (LOT A)

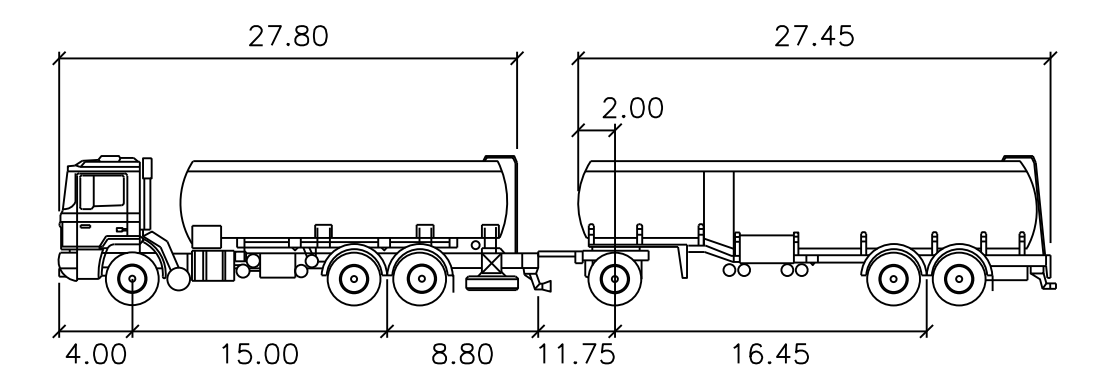
SHEET NO:

SP-3



TYPICAL WALL SECTION - WITH FILL
NOT TO SCALE

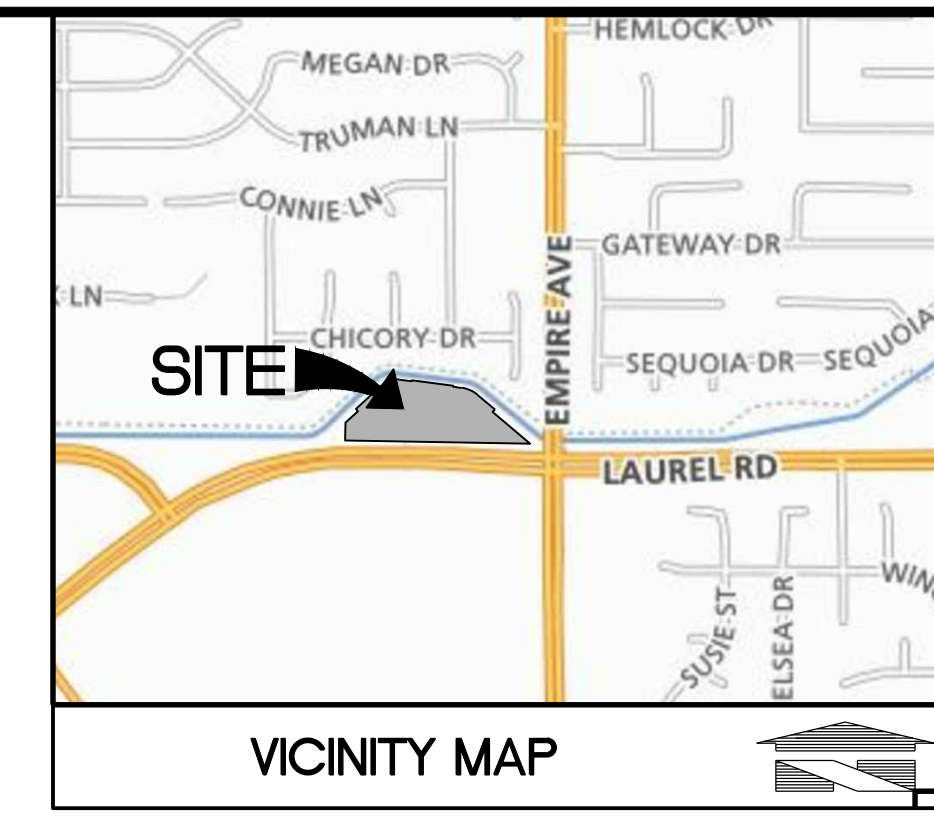
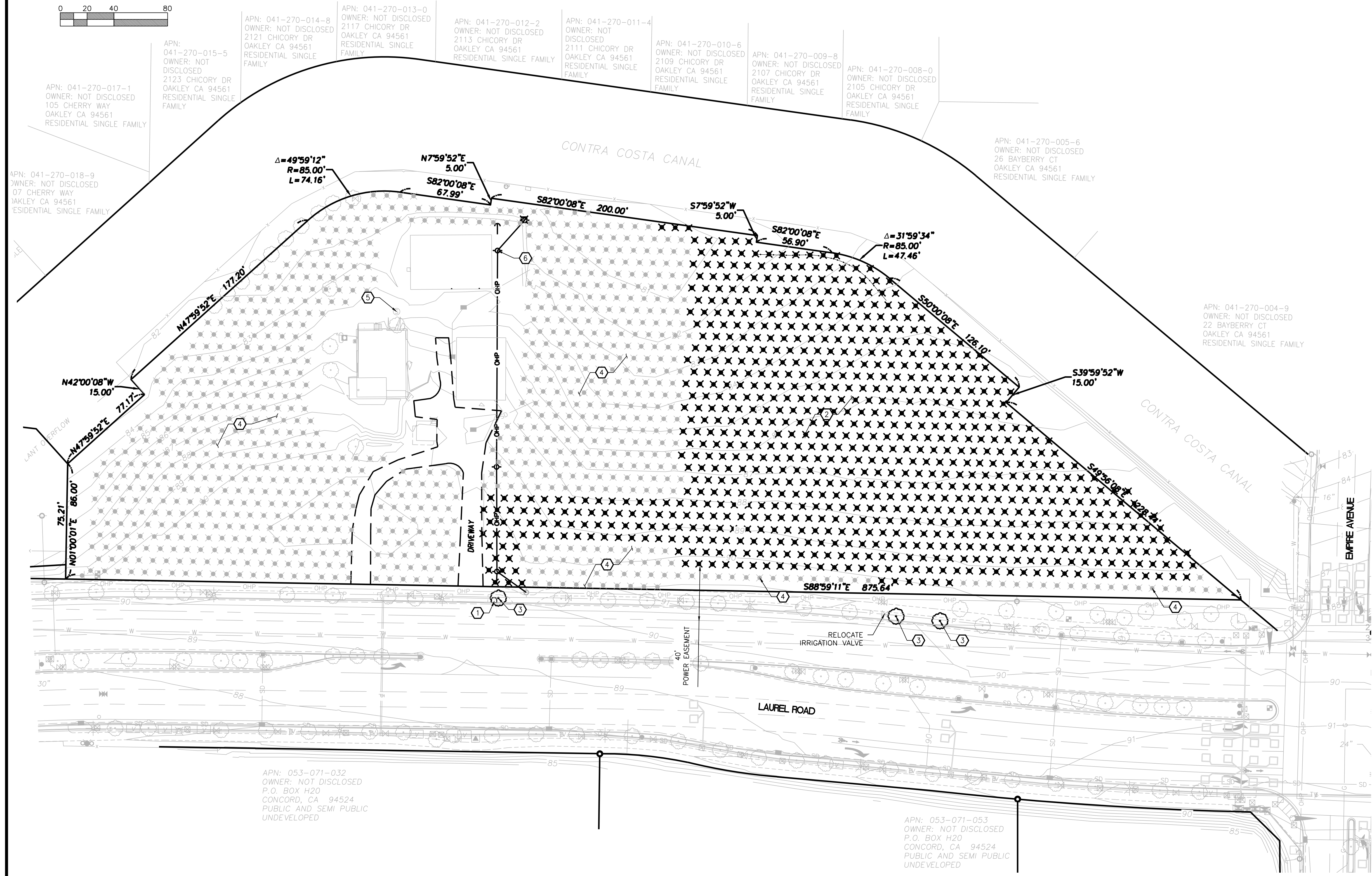
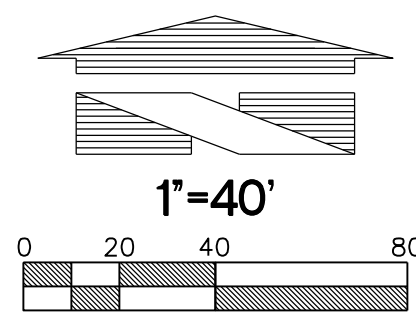
ACCESSIBLE PATH OF TRAVEL NOTE:
WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ADA STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ADA REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ADA REQUIREMENTS (SECTION 11B-705) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ADA STANDARDS.



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY DEMOLITION PLAN



CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
2		
3		
4		
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- DEMOLITION NOTES:**
- EXISTING MAILBOX TO BE RELOCATED.
 - EXISTING GRAPE VINES TO BE REMOVED TO ACCOMMODATE PROPOSED IMPROVEMENTS, TYPICAL.
 - EXISTING TREE TO BE REMOVED.
 - EXISTING GRAPE VINES TO REMAIN (PROTECT IN-PLACE), TYPICAL.
 - EXISTING SEPTIC TANK LOCATION.
 - EXISTING OVERHEAD POWER TO BE REMOVED.

UTILITY SERVICE NOTE:

EXISTING WATER AND SEWER SERVICE LOCATION NOT LOCATED AT TIME OF SURVEY. SERVICES TO REMAIN UNTIL TIME OF DEVELOPMENT. SERVICES TO BE DECOMMISSIONED IN ACCORDANCE WITH JURISDICTION REQUIREMENTS.

SEAL:

DEVELOPMENT INFORMATION:

ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:

NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY: JAH ALLIANCE Z&M:
CHECKED BY: HPG BP REP:
DRAWN BY: JAH ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:

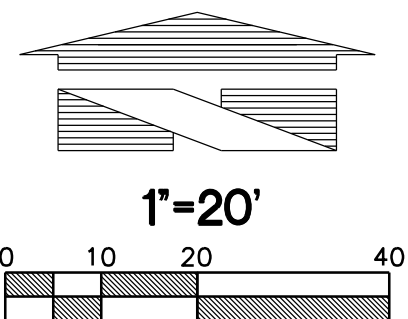
**PRELIMINARY
DEMOLITION PLAN**

SHEET NO:

SN-1

File:PA\180005\18299\preliminary\18299_SN-1.dwg Date/Time:12/6/2017 5:05 PM Scale:1" = 1' MSCOTT Xref: -----

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY GRADING AND DRAINAGE PLAN



STORM DRAIN CONSTRUCTION NOTES:

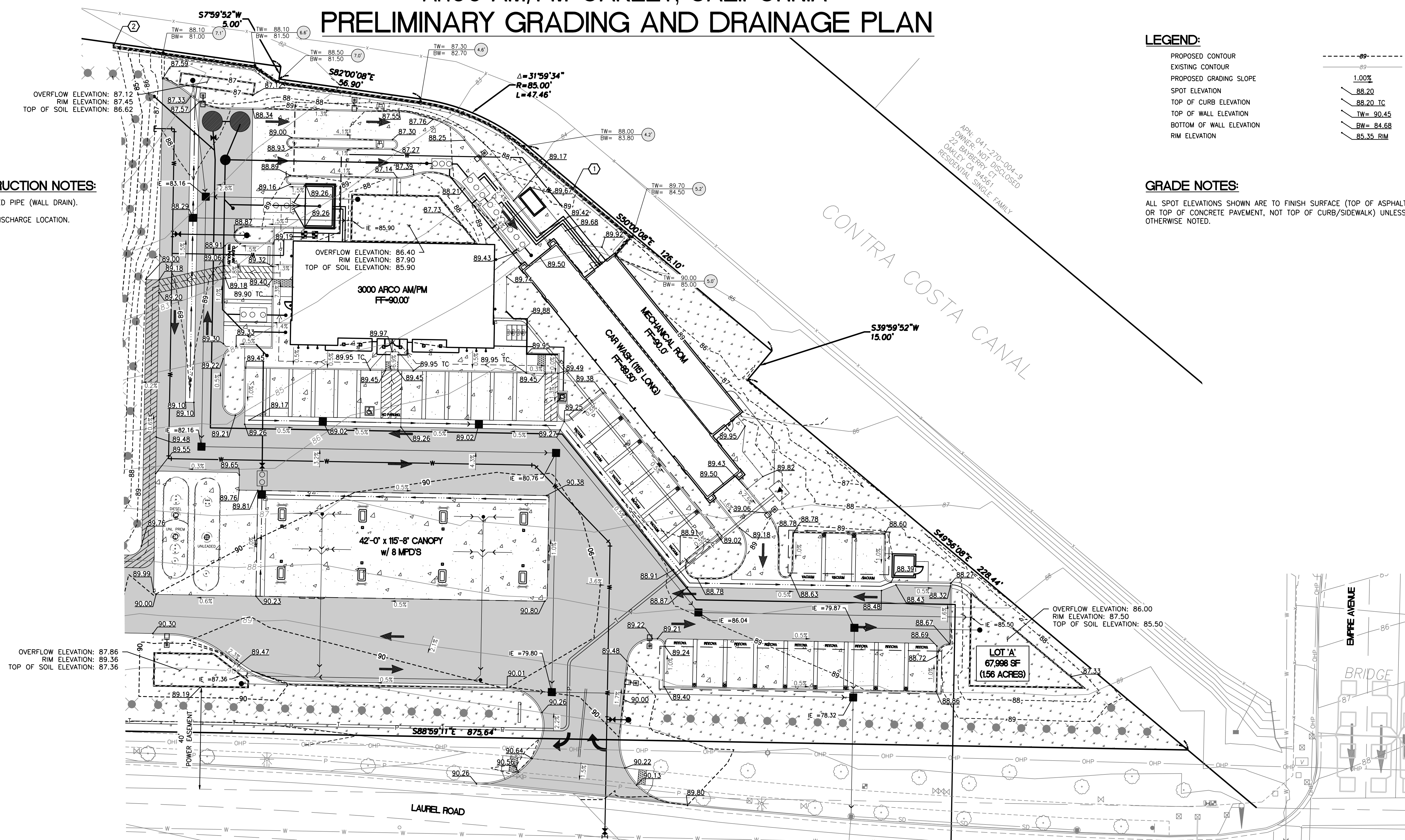
- APPROXIMATE LOCATION OF 6" PERFORATED PIPE (WALL DRAIN).
- APPROXIMATE LOCATION OF WALL DRAIN DISCHARGE LOCATION.

LEGEND:

- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED GRADING SLOPE
- SPOT ELEVATION
- TOP OF CURB ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- RIM ELEVATION

GRADE NOTES:

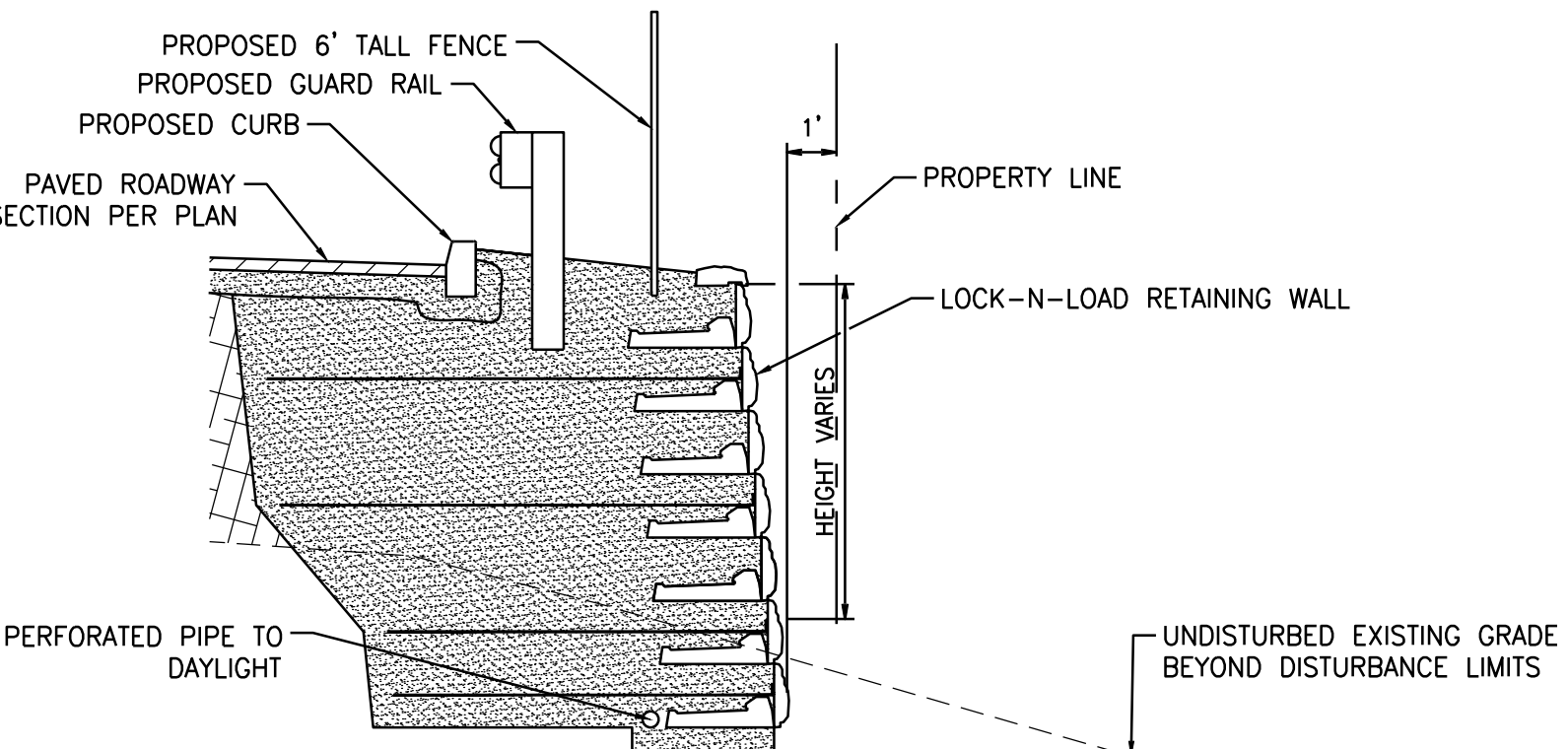
ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.



OVERFLOW ELEVATION: 87.86
RIM ELEVATION: 89.36
TOP OF SOIL ELEVATION: 87.36

OVERFLOW ELEVATION: 86.40
RIM ELEVATION: 87.90
TOP OF SOIL ELEVATION: 85.90

OVERFLOW ELEVATION: 86.00
RIM ELEVATION: 87.50
TOP OF SOIL ELEVATION: 85.50



TYPICAL WALL SECTION - WITH FILL
NOT TO SCALE

APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524

ESTIMATED EARTHWORK QUANTITIES:
CUT: ±2,200 CY
FILL: ±9,300 CY
NET: ±7,100 CY (FILL)
AREA TO BE DISTURBED = ±1.81 AC

NOTE: THE ABOVE LISTED EARTHWORK VOLUMES ARE APPROXIMATE BASED UPON EXISTING GRADES AND THE PROPOSED FINISH GRADES OF THE SITE. AN ALLOWANCE FOR CUT/FILL VOLUMES HAS BEEN ASSUMED FOR THE INSTALLATION OF THE TANKS AND THE CONSTRUCTION OF THE BIOFILTRATION FACILITIES. THESE QUANTITIES MAY BE SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION DOCUMENT PREPARATION.

CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

BARGHAUSEN
CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL

SEAL: **HAL P. NBB**
Not for Construction
LICENSED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA

DEVELOPMENT INFORMATION:
ARCO NTI
 3000 am/pm
 FUEL CANOPY w/ 8 MPD's
 24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
 @ EMPIRE AVENUE
 OAKLEY, CALIFORNIA

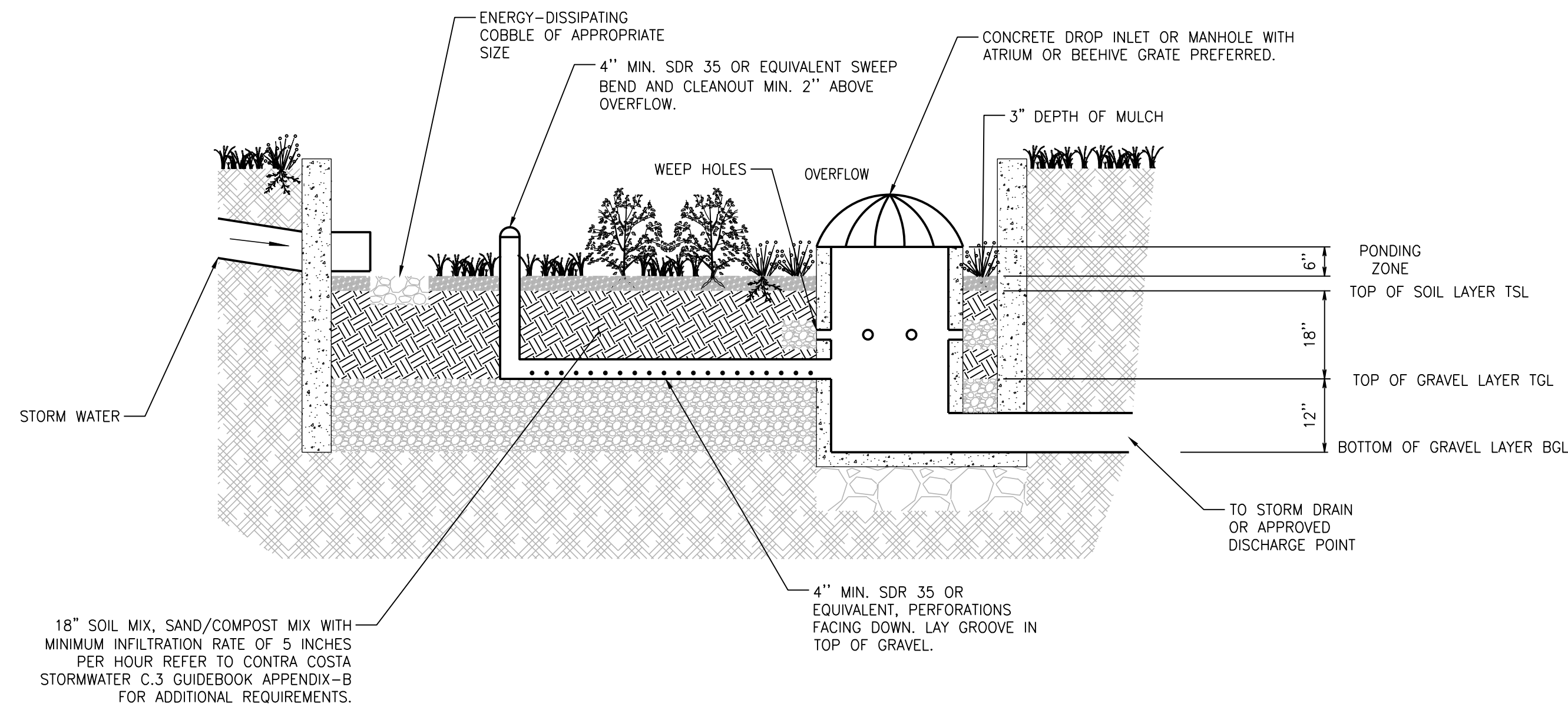
FACILITY #TBD

DESIGNED BY: MRS. ALLIANCE ZADM:
 CHECKED BY: JAH. BP REP:
 DRAWN BY: MRS. ALLIANCE PM:
 VERSION: PROJECT NO:
 18299

DRAWING TITLE:
**PRELIMINARY
 GRADING AND
 DRAINAGE PLAN**

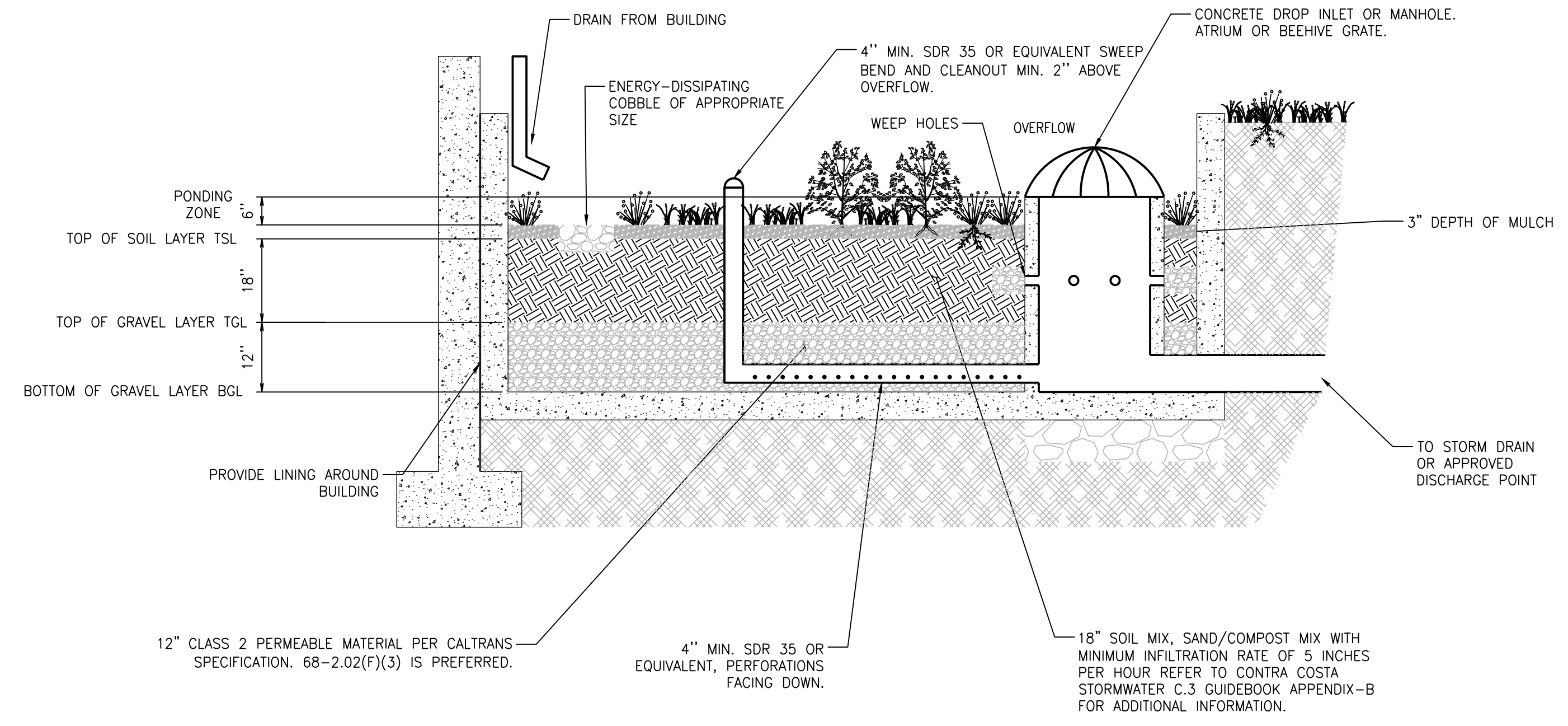
SHEET NO:
SGM-1

ARCO AM/PM-OAKLEY, CALIFORNIA CIVIL DETAILS



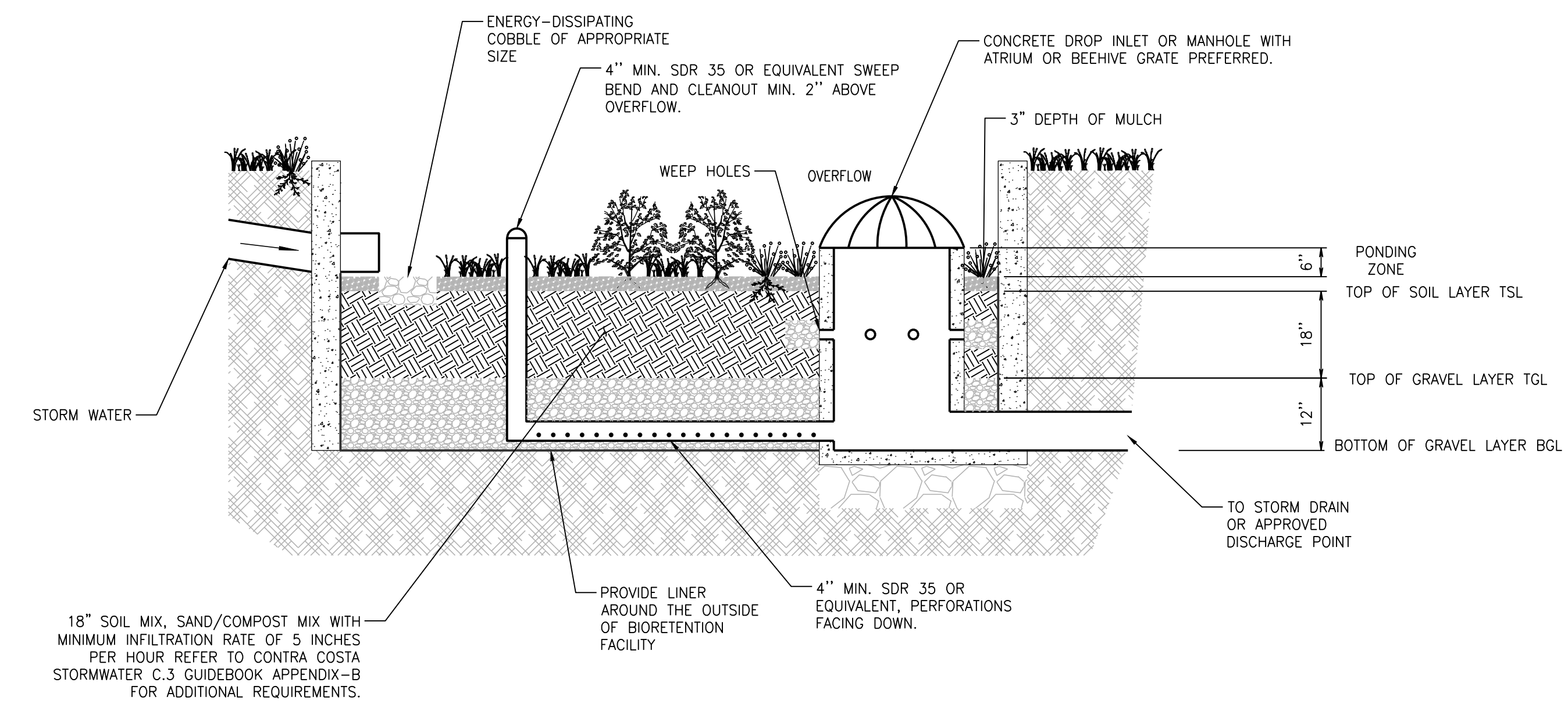
- NOTES:
1. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH.
 2. MAINTAIN BGL, TGL, TSL THROUGHOUT FACILITY AREA AT ELEVATIONS TO BE SPECIFIED ON DRAWING.
 3. CLASS 2 PERM LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET
 4. ELEVATION OF PERFORATED PIPE UNDERDRAIN IS ATOP GRAVEL LAYER.
 5. APPENDIX B (CONTRA COSTA STORMWATER C.3 GUIDEBOOK) FOR SOIL MIX SPECIFICATION, PLANTING AND IRRIGATION GUIDANCE.

1 BIORETENTION FACILITY CROSS-SECTION
NOT TO SCALE



- NOTES:
1. NO LINER, NO FILTER FABRIC, NO LANDSCAPE CLOTH.
 2. MAINTAIN BGL, TGL, TSL THROUGHOUT FACILITY AREA AT ELEVATIONS TO BE SPECIFIED ON DRAWING.
 3. CLASS 2 PERM LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET
 4. ELEVATION OF PERFORATED PIPE UNDERDRAIN IS ATOP GRAVEL LAYER.
 5. APPENDIX B (CONTRA COSTA STORMWATER C.3 GUIDEBOOK) FOR SOIL MIX SPECIFICATION, PLANTING AND IRRIGATION GUIDANCE.

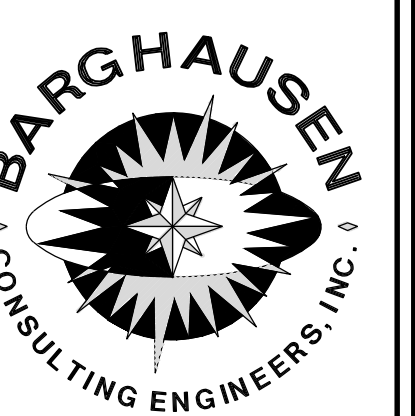
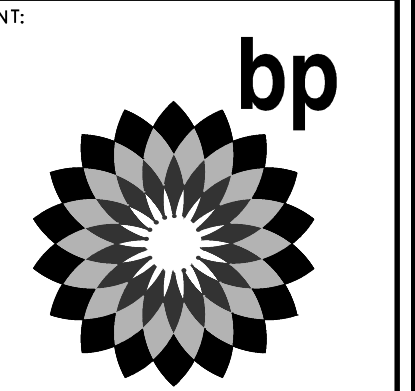
2 FLOW-THROUGH PLANTER CROSS-SECTION
NOT TO SCALE



- NOTES:
1. MAINTAIN BGL, TGL, TSL THROUGHOUT FACILITY AREA AT ELEVATIONS TO BE SPECIFIED ON DRAWING.
 2. CLASS 2 PERM LAYER MAY EXTEND BELOW AND UNDERNEATH DROP INLET
 3. ELEVATION OF PERFORATED PIPE UNDERDRAIN IS ATOP GRAVEL LAYER.
 4. APPENDIX B (CONTRA COSTA STORMWATER C.3 GUIDEBOOK) FOR SOIL MIX SPECIFICATION, PLANTING AND IRRIGATION GUIDANCE.

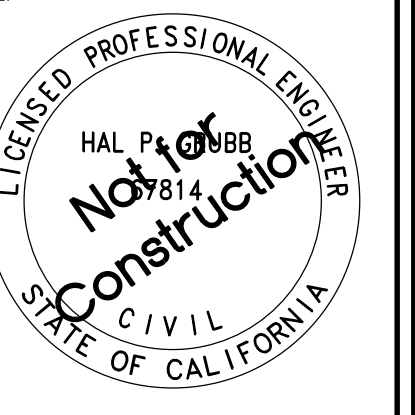
3 BIORETENTION FACILITY WITH LINER CROSS-SECTION
NOT TO SCALE

NOT FOR CONSTRUCTION



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CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
2		
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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

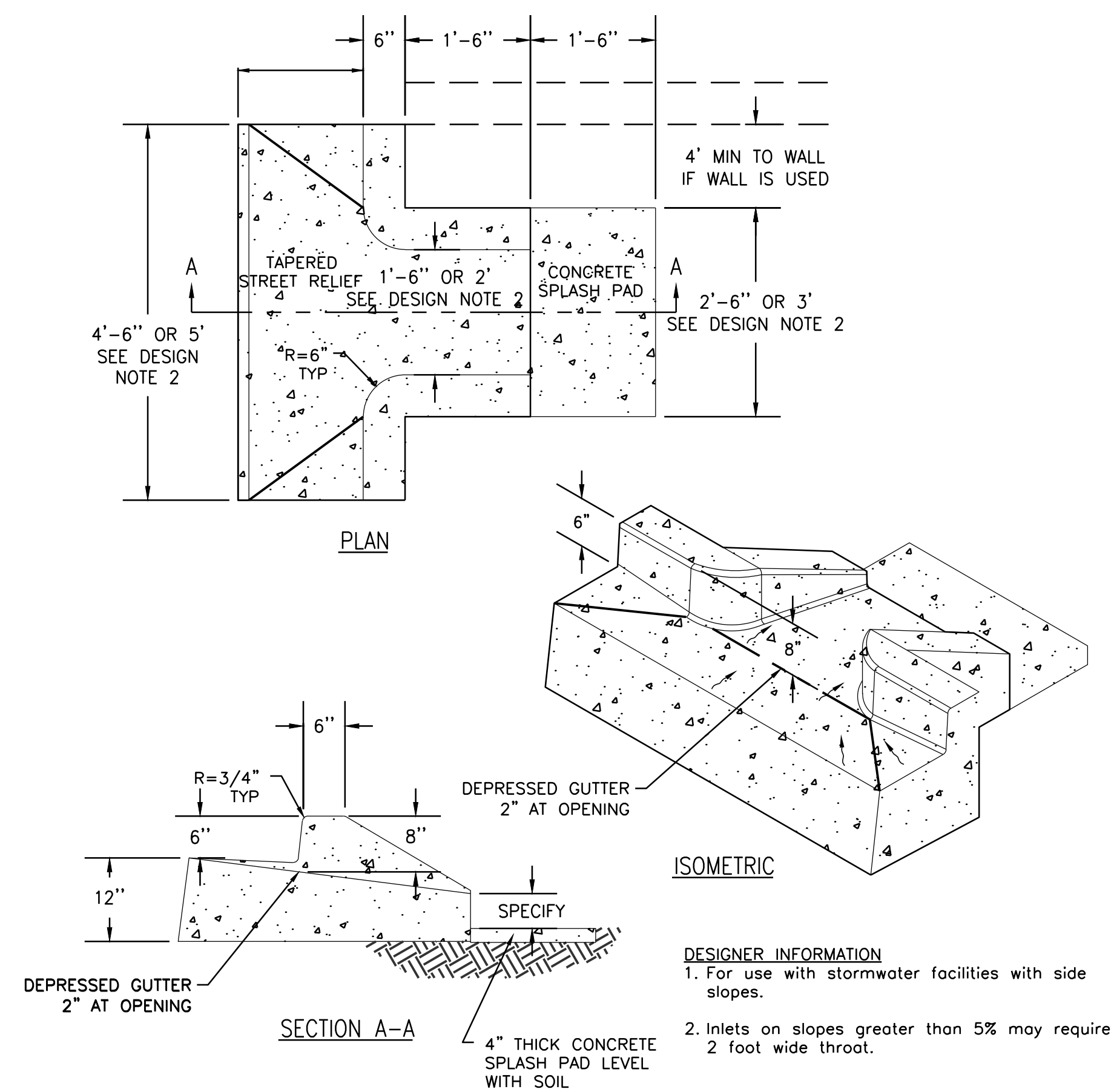
FACILITY #TBD
DESIGNED BY: MRS ALLIANCE Z&M:
CHECKED BY: JAH BP REP:
DRAWN BY: MRS ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
CIVIL DETAILS

SHEET NO:
D-1

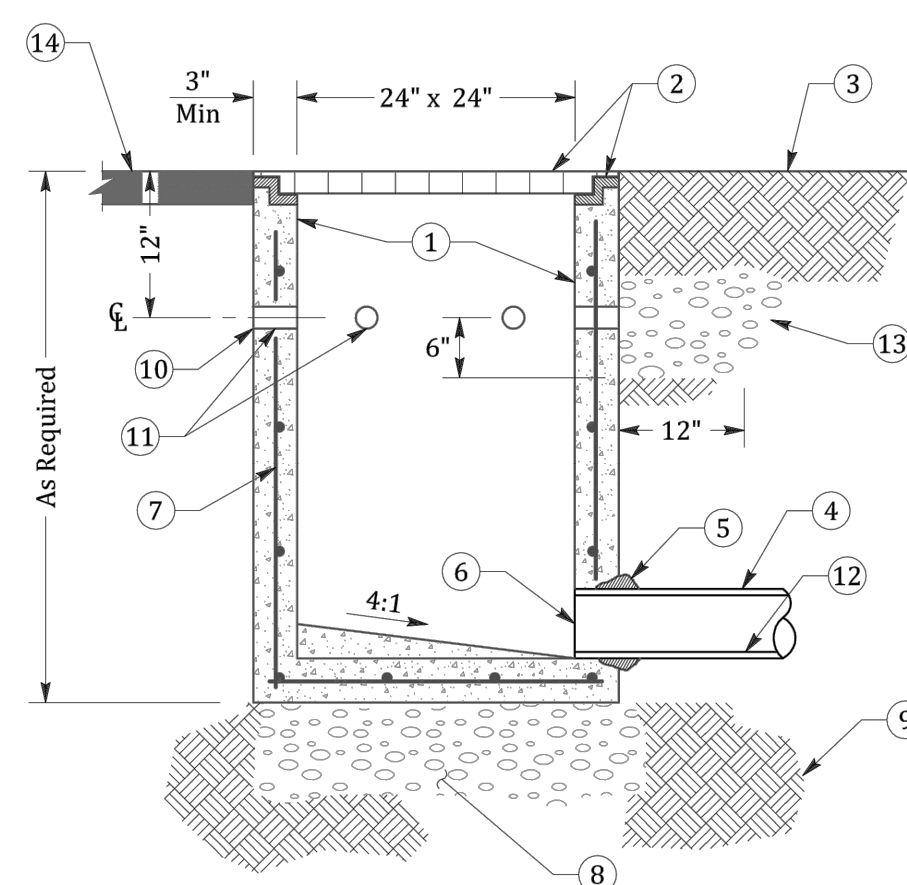
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ARCO AM/PM-OAKLEY, CALIFORNIA CIVIL DETAILS



1 Concrete Inlet with Wingwalls

NOT TO SCALE



BASIN DETAIL

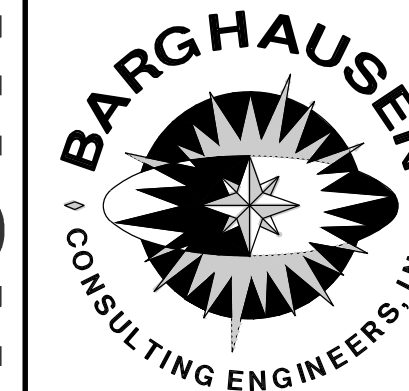
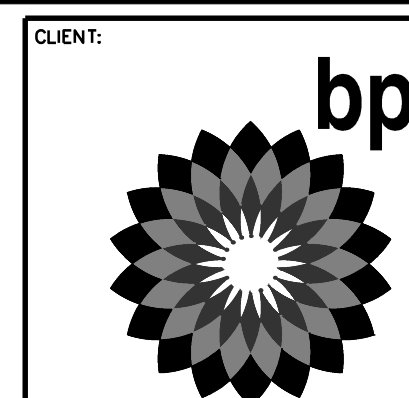
LEGEND:

- | | |
|---|---|
| 1 Precast concrete basin, per plan. | 9 Subgrade, compacted to 90% relative density. |
| 2 Grate and frame, w/grate locking device, per plan. | 10 At planting areas, 18" wide filter fabric wrapped around & glued at edges to structure where weep holes occur. |
| 3 Finish grade, flush with top of grate | 11 At planting areas, 2" weep holes at 10" O.C. |
| 4 Storm drain pipe, per plan. | 12 Invert elevation, per plan. |
| 5 Grout pipe in place. | 13 Where weep holes occur surround catch basin with drain rock, 3/4" Diameter Max size, compacted. |
| 6 Pipe openings to be cast into concrete. | 14 Finish surface, where paving occurs. |
| 7 Reinforcement per Manufacturer. | |
| 8 Aggregate base, Class II, 9" deep x basin width. Compact to 95% relative density. | |

NOT TO SCALE

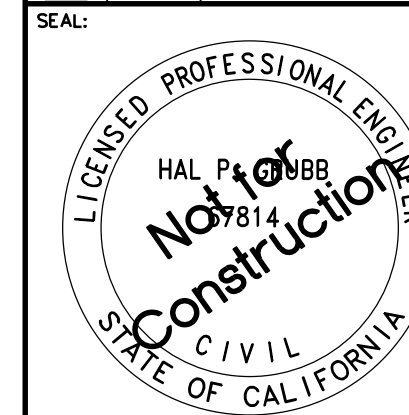
APPROVED BY	DATE	OAKLEY CALIFORNIA	TYPE III LANDSCAPE AREA INLET	STD. PLAN NO.
<i>Kevin Nelson</i>	JUNE 2016			SD-10
CITY ENGINEER				

NOT FOR CONSTRUCTION



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KENT, WA 98032
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CIVIL ENGINEERING, LAND PLANNING,
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1	09/17/17	ENTITLEMENT SUBMITTAL
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14		



DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

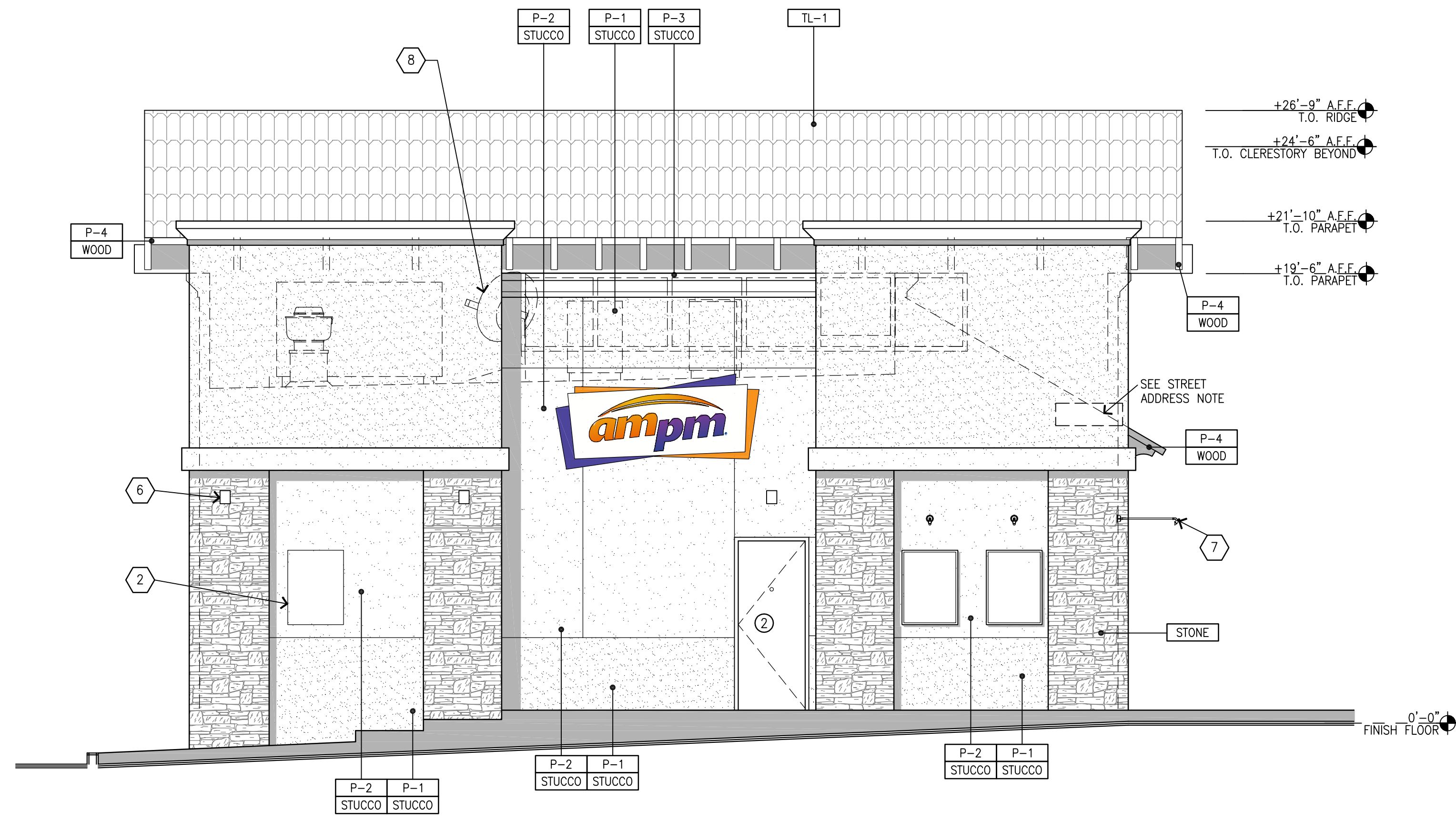
DESIGNED BY: MRS	ALLIANCE ZONE:
CHECKED BY: JAH	BP REP:
DRAWN BY: MRS	ALLIANCE PM:
VERSION: -	PROJECT NO: 18299

DRAWING TITLE:
CIVIL DETAILS

SHEET NO:

D-2

ARCO AM/PM-OAKLEY, CALIFORNIA



02 LEFT ELEVATION- EAST SIDE
SCALE: 1/4"=1'-0"



01 FRONT ELEVATION-NORTH SIDE
SCALE: 1/4"=1'-0"

GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 CAR WASH INSTRUCTIONAL SIGN
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND
- 9 24X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING
- 10 30X36 WINDOW
- 11 PROVIDE APPROVED KEY BOX PER CFC 506

COLOR LEGEND

- P-1 BENJAMIN MOORE, 1077, "GREAT PLAINS GOLD"
- P-2 BENJAMIN MOORE, 1030, "BRANDY CREAM"
- P-3 BENJAMIN MOORE, AF-655, "SILHOUETTE", HIGH GLOSS
- P-4 CABOT SEMI-TRANSPARENT STAIN, "MISSION BROWN"

MATERIAL LEGEND

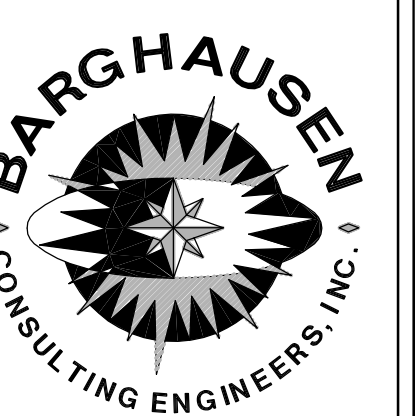
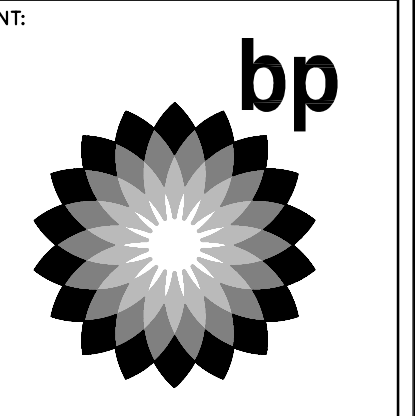
- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- S-FLEX STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER; INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STANDING SEAM METAL ROOF
MFG: MBCI, OR APPROVED EQUAL
PRODUCT: SIGNATURE 300,
LOKSEAM SERIES 16", 24 GA
MEDIUM BRONZE
- STONE MANUFACTURED STONE VENEER
MFG: ELDERADO STONE, PRODUCT: SHADOW ROCK
COLOR: CHESAPEAKE
- WOOD ROUGH-SAWN DIMENSIONAL WOOD TRIM

STREET ADDRESS POSTING

STREET ADDRESSES SHALL BE POSTED ON THE EXTERIOR OF A BUILDING SO AS TO BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

- SIZE OF NUMBERS: ADDRESS NUMBERS SHALL BE MIN (16) INCHES HIGH, W/ A MINIMUM STROKE WIDTH OF 1.5".
- NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS.
- COLOR: ADDRESS NUMBERS SHALL CONTRAST W/ THE COLOR OF THE STRUCTURE/ BUILDING.
- ILLUMINATION: NUMBERS SHALL BE VISIBLE AT ALL HOURS.
- OUT OF SIGHT: BUILDINGS/STRUCTURES OUT OF SIGHT OF A STREET OR ROAD SHALL HAVE ADDITIONAL ADDRESS NUMBER CLEARLY POSTED AT THE DRIVEWAY/ACCESS ROAD ENTRANCE LEADING TO PROPERTY.

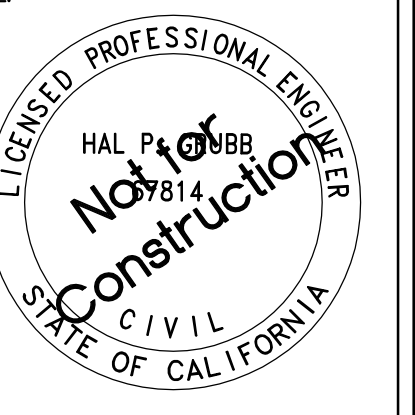
REFERENCE SECTION 505 C.F.C.



18215 72ND AVENUE SOUTH
KENT, WA 98032
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CIVIL ENGINEERING, LAND PLANNING,
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NO.	DATE	REVISION DESCRIPTION
1	09/1/17	ENTITLEMENT SUBMITTAL
2	02/19/17	FIRE REVIEW COMMENTS



DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

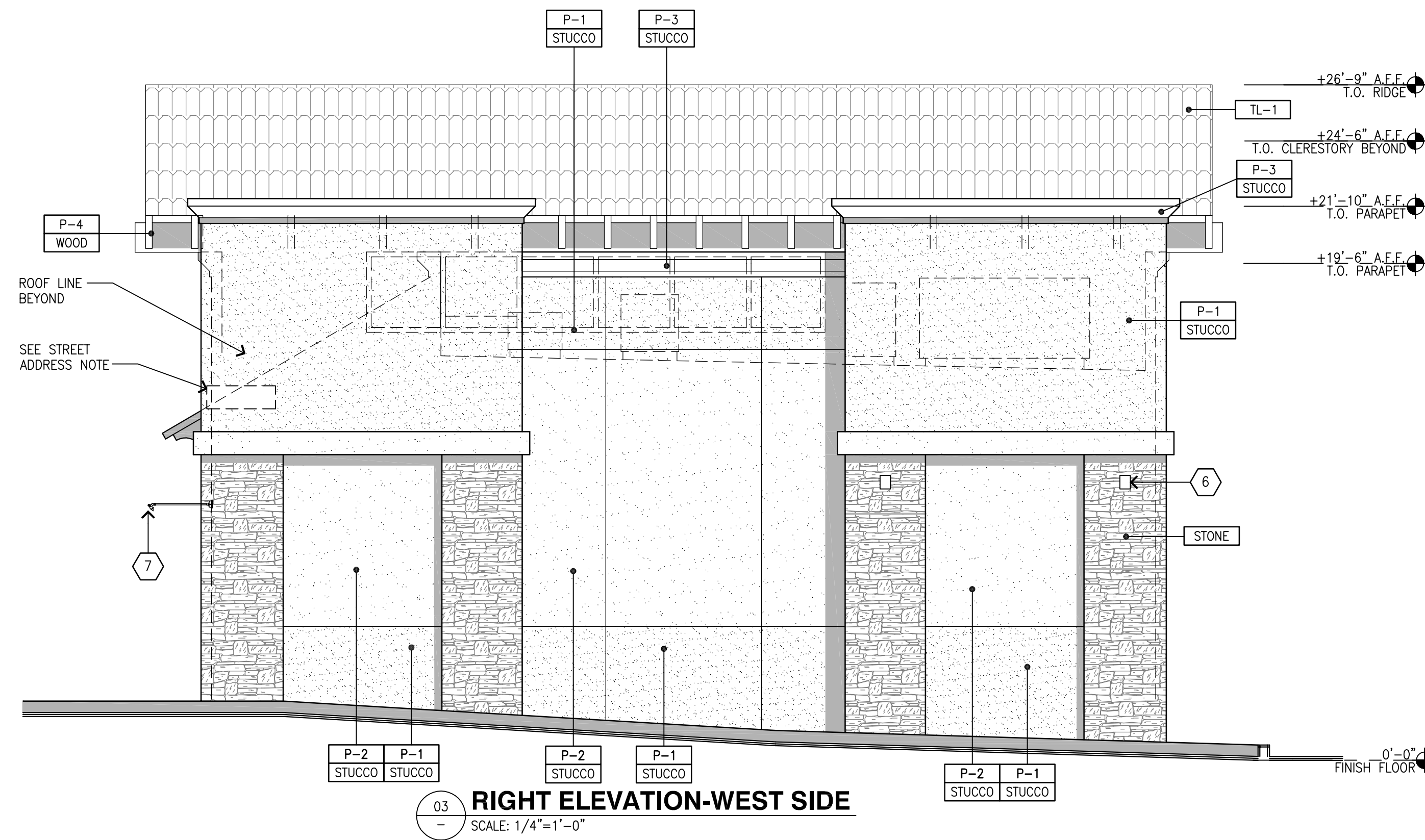
DESIGNED BY: ALLIANCE ZADM;
CHECKED BY: BP REP;
DRAWN BY: ALLIANCE PM;
VERSION: PROJECT NO: 18299

DRAWING TITLE:
EXTERIOR ELEVATIONS

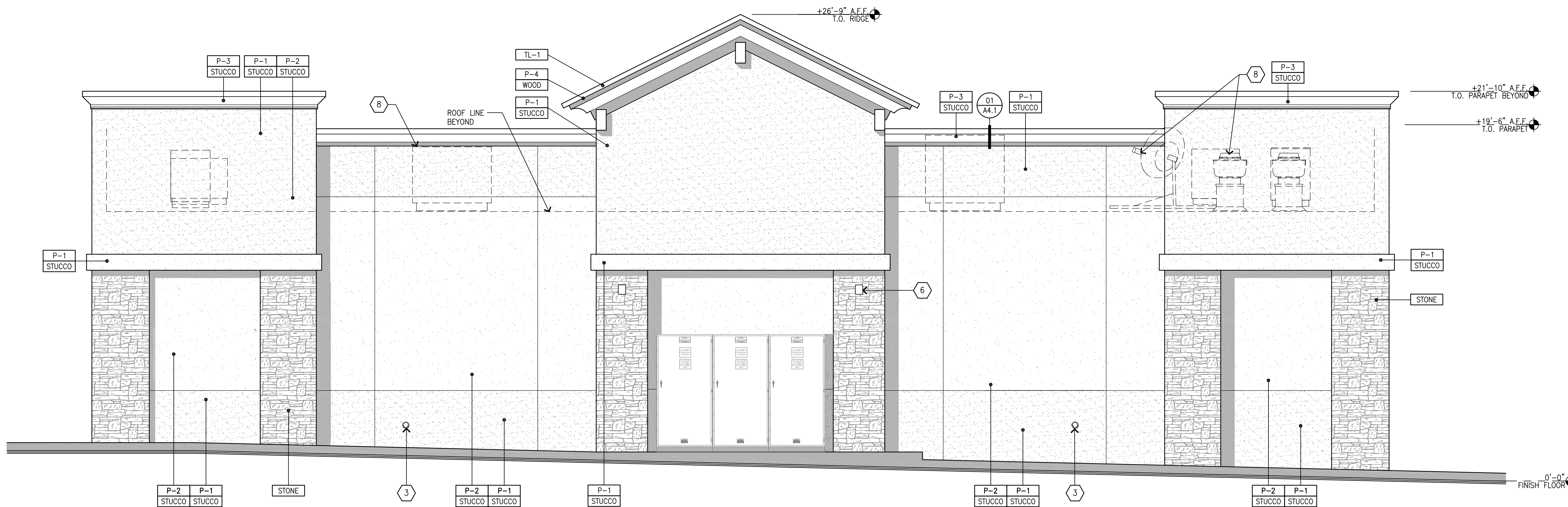
SHEET NO:
A2.1

NOT FOR CONSTRUCTION

ARCO AM/PM-OAKLEY, CALIFORNIA



03 RIGHT ELEVATION-WEST SIDE
SCALE: 1/4"=1'-0"



04 REAR ELEVATION- SOUTH SIDE
SCALE: 1/4"=1'-0"

GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

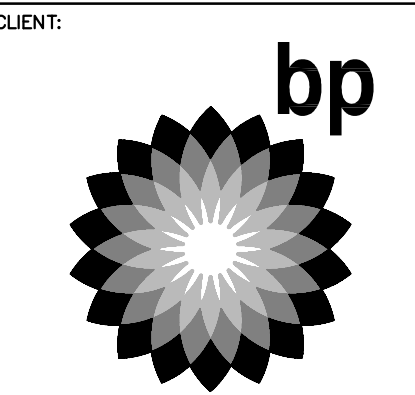
- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 NOT USED
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND
- 9 24X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING
- 10 30X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING

COLOR LEGEND

- P-1 BENJAMIN MOORE, 1077, "GREAT PLAINS GOLD"
- P-2 BENJAMIN MOORE, 1030, "BRANDY CREAM"
- P-3 BENJAMIN MOORE, AF-655, "SILHOUETTE", HIGH GLOSS
- P-4 CABOT SEMI-TRANSPARENT STAIN, "MISSION BROWN"

MATERIAL LEGEND

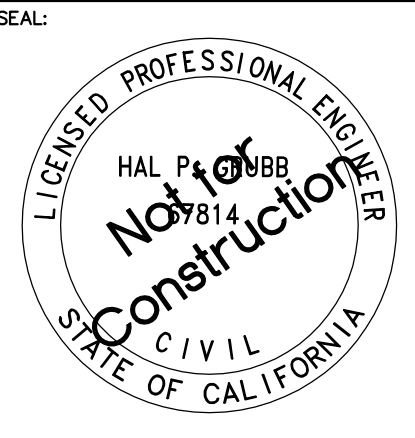
- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- S-FLEX STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STANDING SEAM METAL ROOF
MFG: MBCI, OR APPROVED EQUAL
PRODUCT: SIGNATURE 300, LOKSEAM SERIES 16", 24 GA MEDIUM BRONZE
- STONE MANUFACTURED STONE VENEER
MFG: ELBORADO STONE, PRODUCT: SHADOW ROCK
COLOR: CHESAPEAKE
- WOOD ROUGH-SAWN DIMENSIONAL WOOD TRIM



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CIVIL ENGINEERING, LAND PLANNING,
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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY: ALLIANCE ZADM:
CHECKED BY: BP REP:
DRAWN BY: ALLIANCE PM:
VERSION: PROJECT NO:
18299

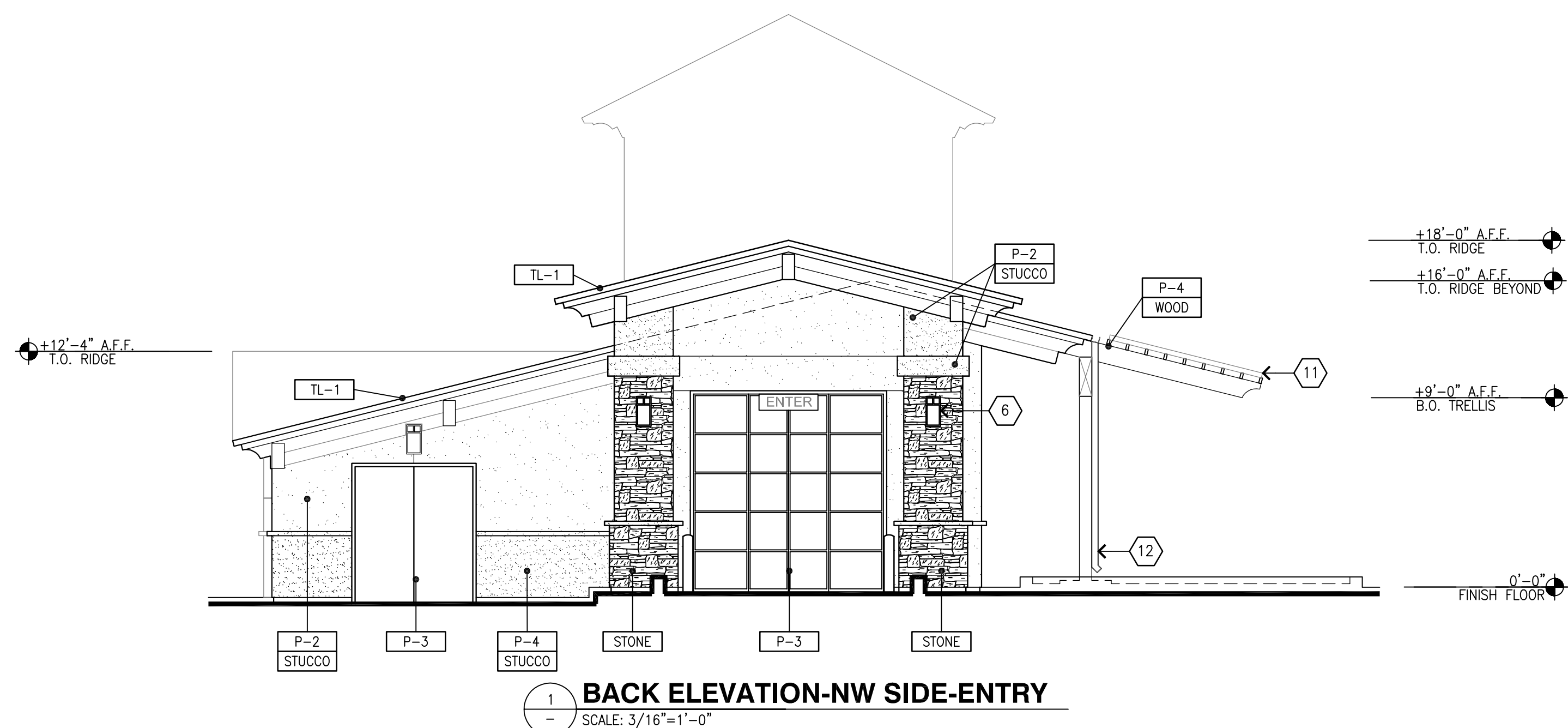
DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

A2.2

NOT FOR CONSTRUCTION

ARCO AM/PM-OAKLEY, CALIFORNIA



GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

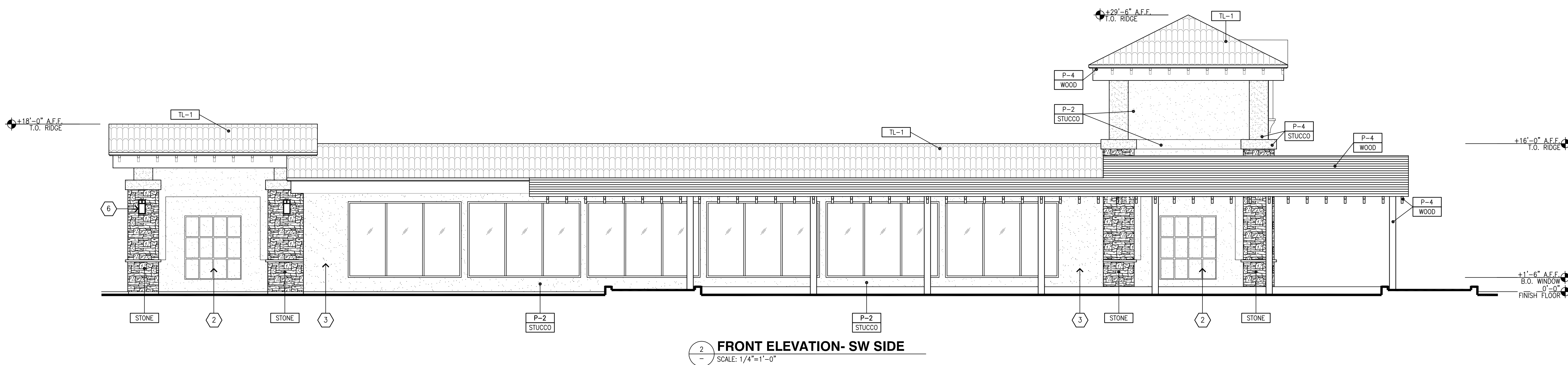
- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 EXT WALL MNT TRELLIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND
- 9 24X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING
- 10 30X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING
- 11 96X24 SOLAR PANEL
- 12 EXPOSED RAIN DOWNSPOUT

COLOR LEGEND

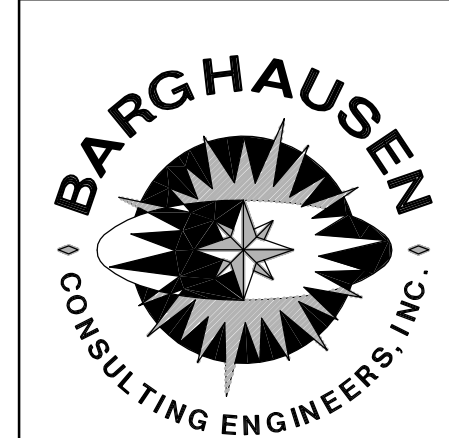
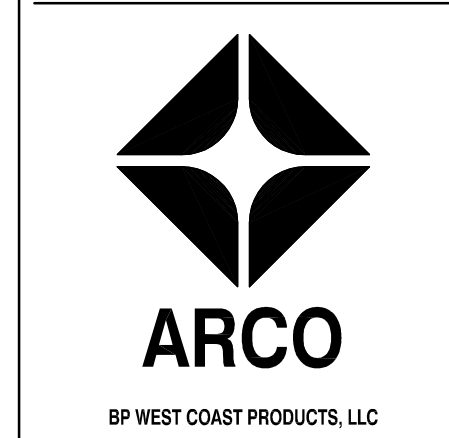
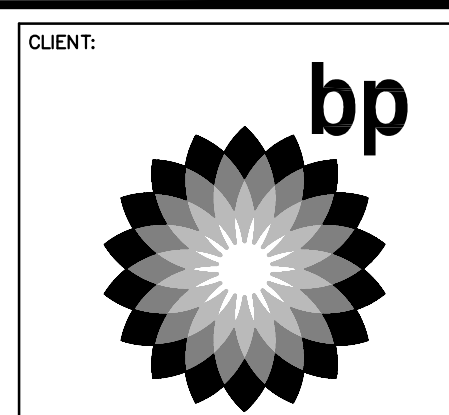
- P-1 BENJAMIN MOORE, 1077, "GREAT PLAINS GOLD"
- P-2 BENJAMIN MOORE, 1030, "BRANDY CREAM"
- P-3 BENJAMIN MOORE, AF-655, "SILHOUETTE", HIGH GLOSS
- P-4 CABOT SEMI-TRANSPARENT STAIN, "MISSION BROWN"

MATERIAL LEGEND

- STUCCO** 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- S-FLEX** STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER; INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM** CLEAR ANODIZED ALUMINUM
- STL-1** STANDING SEAM METAL ROOF
MFG: MBCI, OR APPROVED EQUAL
PRODUCT: SIGNATURE 300,
LOKSEAM SERIES 16", 24 GA
MEDIUM BRONZE
- STONE** MANUFACTURED STONE VENEER
MFG: ELDORADO STONE, PRODUCT: SHADOW ROCK
COLOR: CHESAPEAKE
- WOOD** ROUGH-SAWN DIMENSIONAL WOOD TRIM

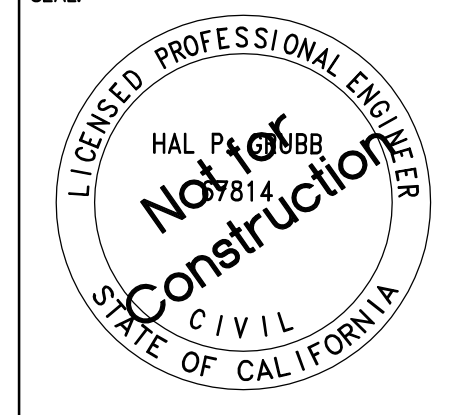


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18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX
CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL



DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY: ALLIANCE ZADM;
CHECKED BY: BP REPM;
DRAWN BY: ALLIANCE PM;
VERSION: PROJECT NO:
18299

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:
A2.3

ARCO AM/PM-OAKLEY, CALIFORNIA

GENERAL NOTES

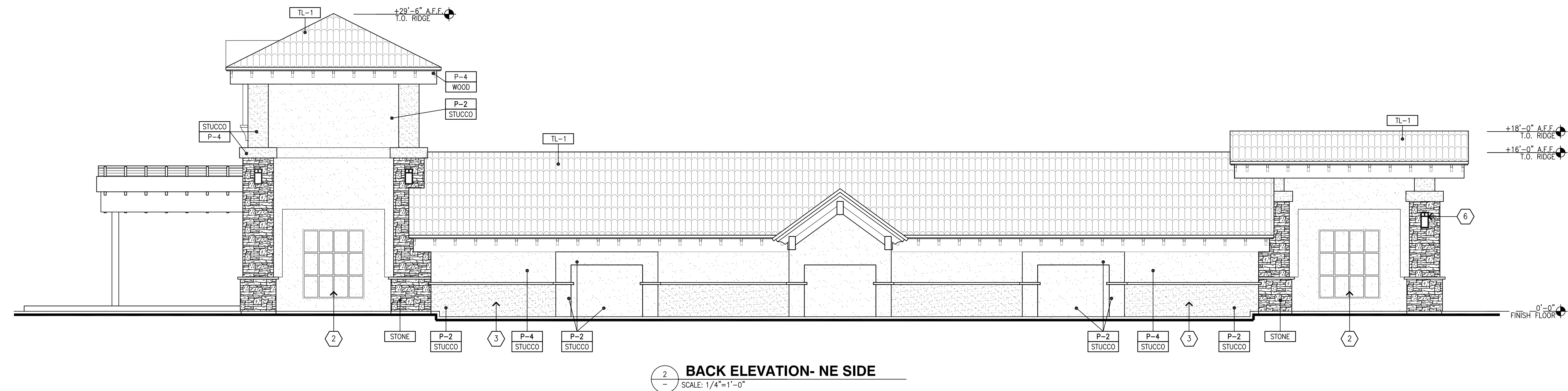
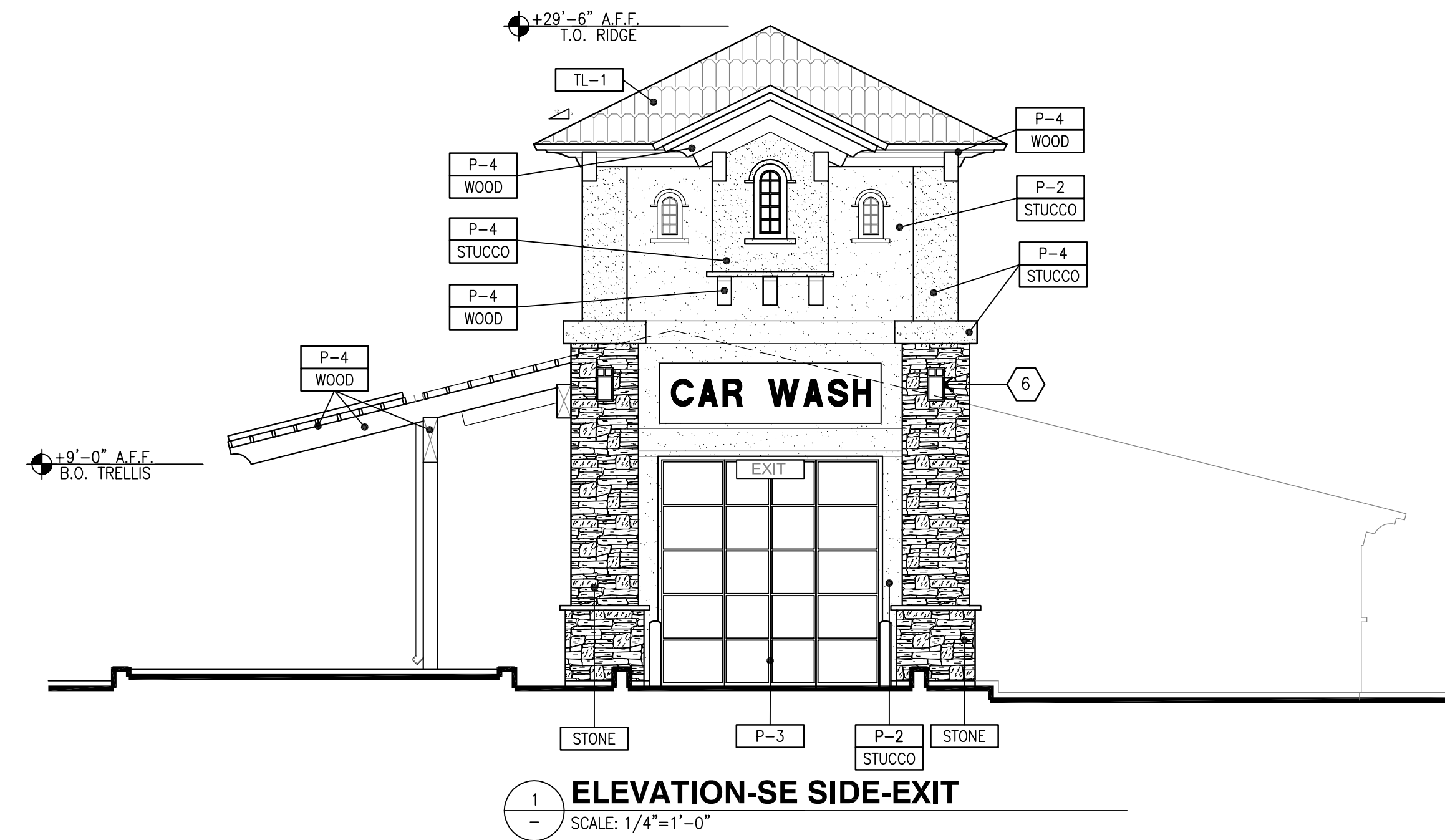
A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.3 & SPECIFICATION.
- 2 EXT WALL MOUNTED TRELLIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND
- 9 24X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING
- 10 30X36 FAUX WINDOW W/ BLACKED OUT PLYWOOD BACKING

COLOR LEGEND

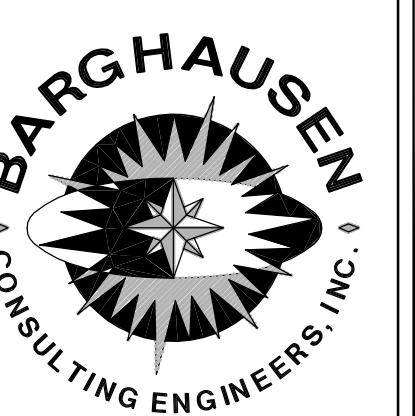
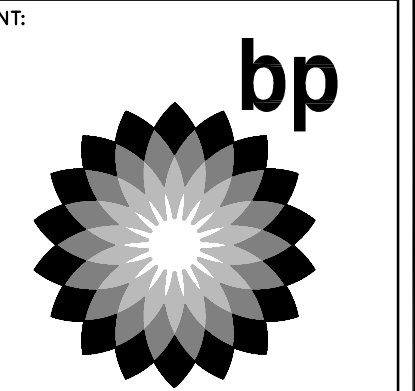
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MATERIAL LEGEND

- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS;
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- S-FLEX STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER; INSTALLED PER MFG. SPECIFICATIONS;
TEXTURE: FINE SAND FINISH
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- STL-1 STANDING SEAM METAL ROOF
MFG: MBCL OR APPROVED EQUAL
PRODUCT: SIGNATURE 300,
LOKSEAM SERIES 16", 24 GA
MEDIUM BRONZE
- STONE MANUFACTURED STONE VENEER
MFG: ELDORADO STONE, PRODUCT: SHADOW ROCK
COLOR: CHESAPEAKE
- WOOD ROUGH-SAWN DIMENSIONAL WOOD TRIM

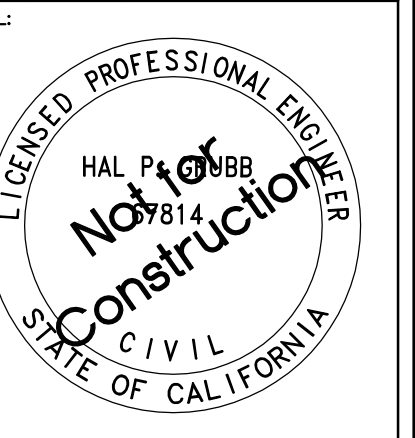
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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

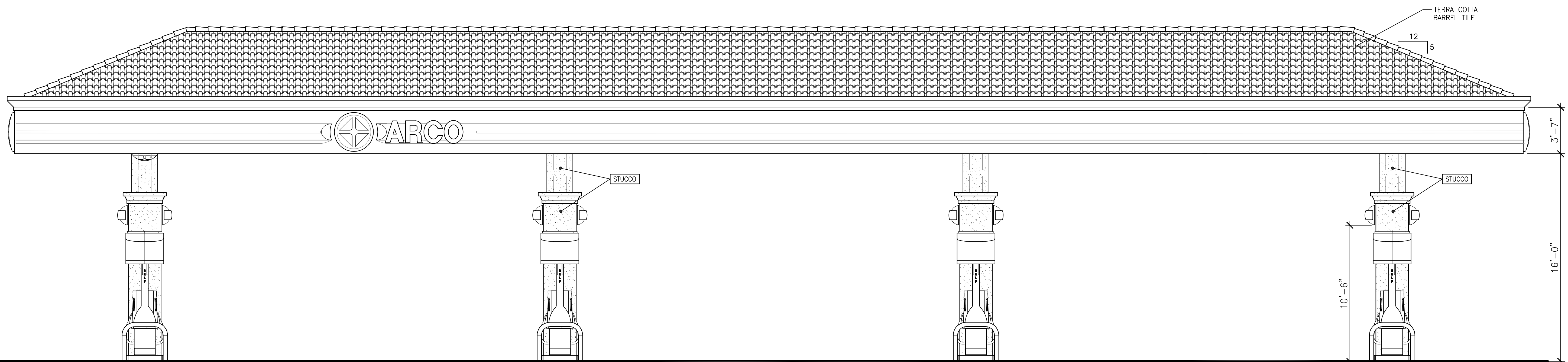
DESIGNED BY:	ALLIANCE ZADM:
CHECKED BY:	BP REPM:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO: 18299

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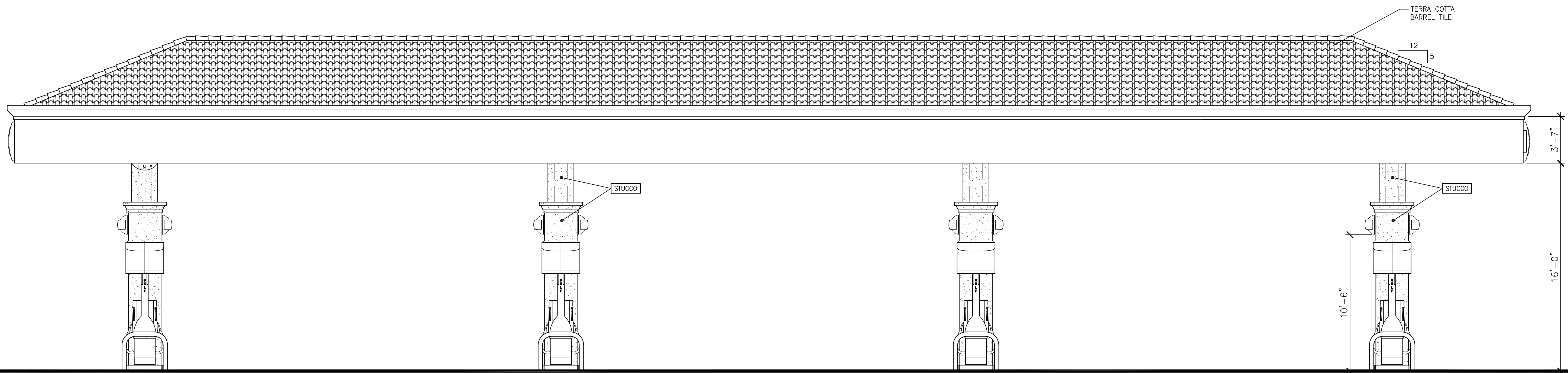
EXTERIOR ELEVATIONS

SHEET NO:

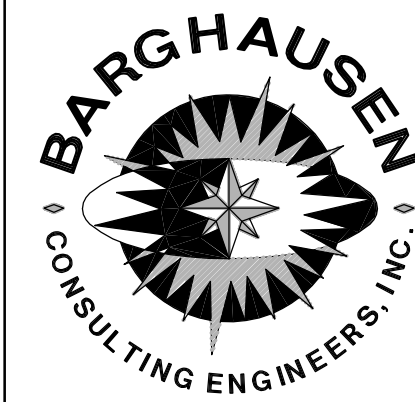
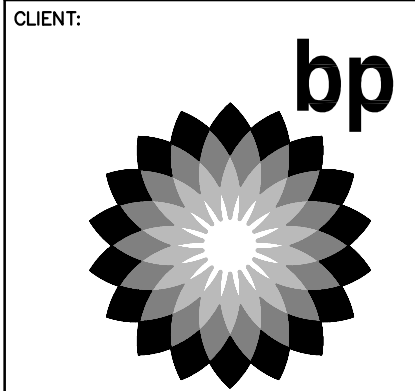
A2.4



01 SOUTH CANOPY ELEVATION (FACING LAUREL ROAD)
SCALE: 1/4"=1'-0"



02 NORTH CANOPY ELEVATION (FACING C-STORE)
SCALE: 1/4"=1'-0"



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OAKLEY, CALIFORNIA

FACILITY #TBD

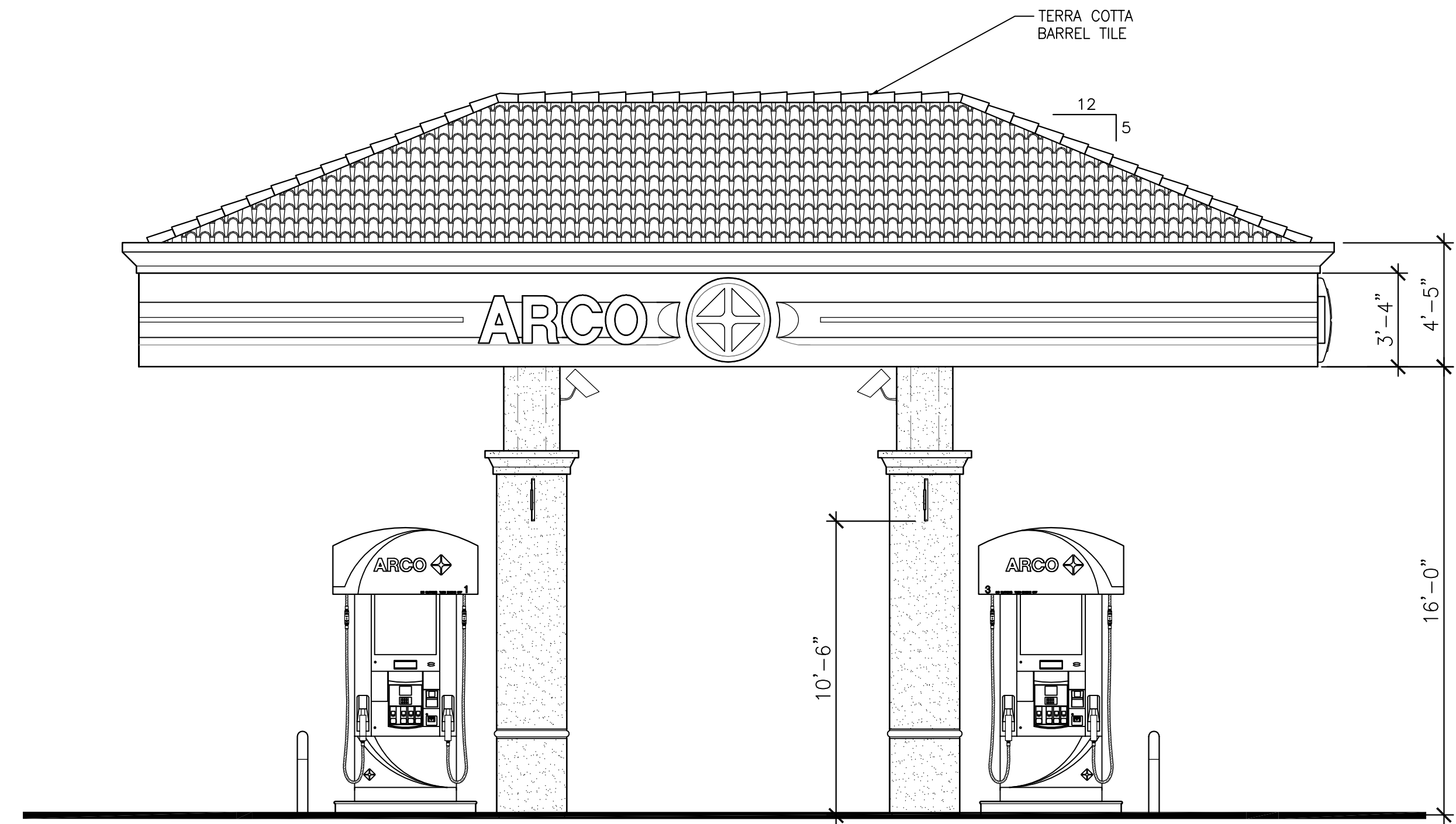
DESIGNED BY:	ALLIANCE ZADM:
CHECKED BY: PT	BP REPM:
DRAWN BY: JMW	ALLIANCE FM:
VERSION: -	PROJECT NO: 18299

DRAWING TITLE:
CANOPY ELEVATIONS

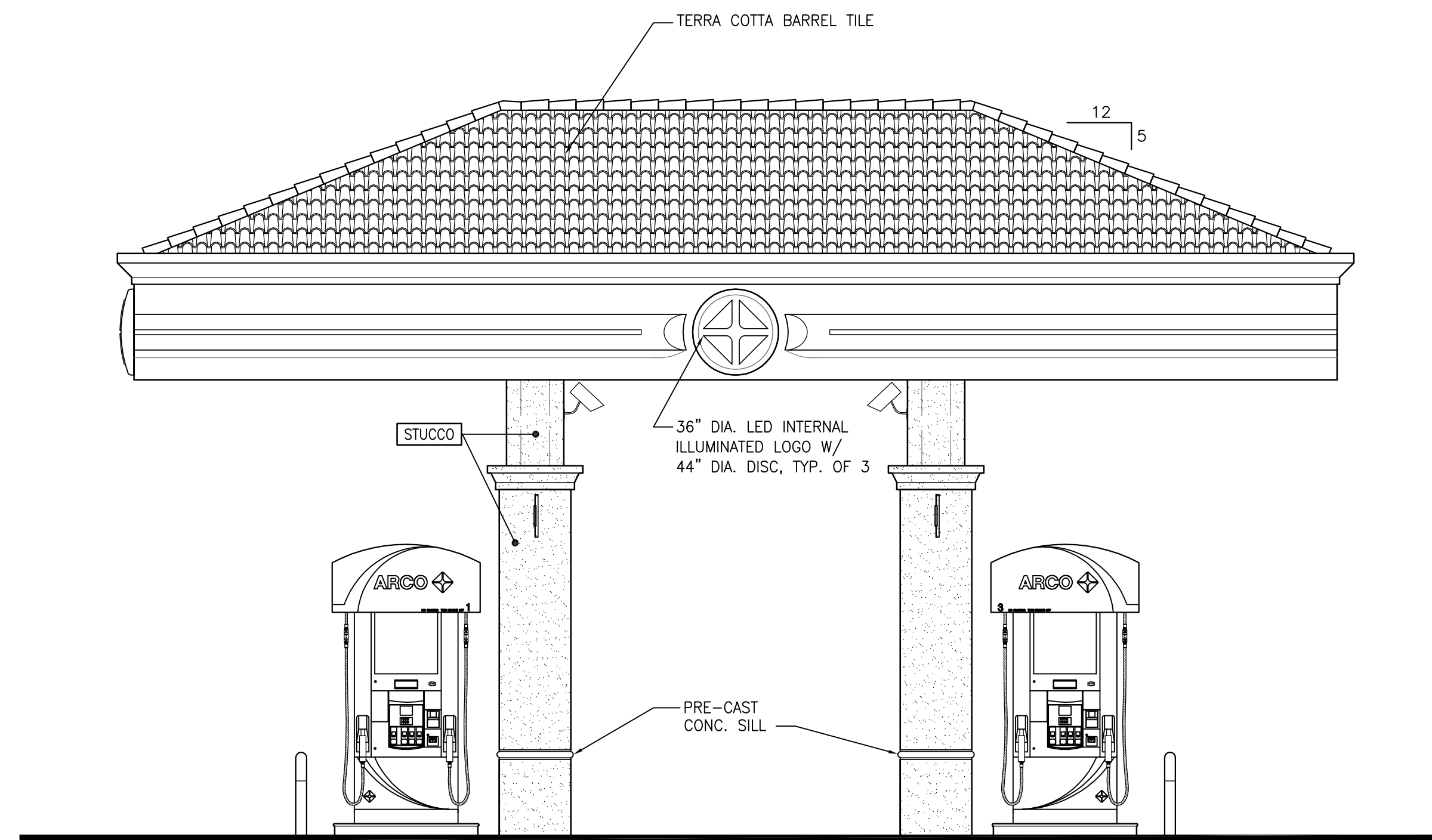
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CA2.1

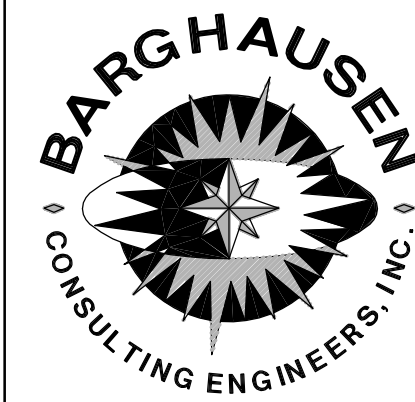
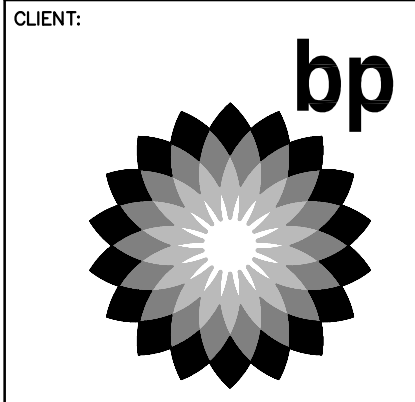
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03 EAST CANOPY ELEVATION
SCALE: 1/4"=1'-0"



04 WEST CANOPY ELEVATION
SCALE: 1/4"=1'-0"



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3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
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@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

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DESIGNED BY:	ALLIANCE ZADM
CHECKED BY: PT	BP REFM
DRAWN BY: JMW	ALLIANCE FM
VERSION: -	PROJECT NO: 18299

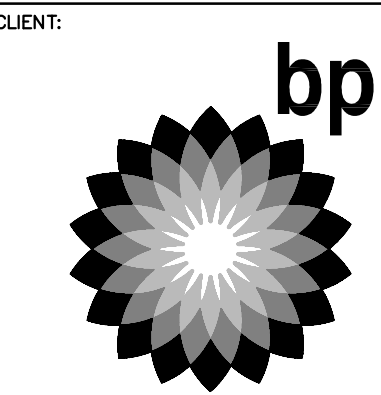
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CANOPY ELEVATIONS

SHEET NO:

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FACILITY #TBD

DESIGNED BY: ALLIANCE ZADM
 CHECKED BY: BP REPM
 DRAWN BY: ALLIANCE PM
 VERSION: PROJECT NO:
 - 18299

DRAWING TITLE:
CONSTRUCTION FLOOR PLAN

SHEET NO:

CWA1.1

DOOR NOTES / HARDWARE

- (1) EQUIPMENT EXTERIOR DOOR:
- 1-1/2" PAIR FULL MORTISED STAINLESS STEEL BUTT HINGES (4-1/2"x4-1/2" NRP)
 - HEAVY DUTY OVERHEAD CLOSER, LCN 4040
 - KICK DOWN DOOR HOLDER, HAGER 270C S1
 - 12"x40" EXTERIOR STAINLESS STEEL KICK PLATE
 - 30"x40" INTERIOR STAINLESS STEEL KICK PLATE
 - LEVER HANDLE WITH KEY OUTSIDE AND PUSH BUTTON INSIDE LOCKSET (ANSI F82/SCHLAGE D50BD LESS CORE, RHODES LEVER 625, BEST CORE W/ 625 FINISH)

DOOR SCHEDULE

TYPE	SIZE	QTY	MFR/MODEL	MATERIAL	FRAME	RATING	HARDWARE	REMARKS
①	4'-0"x7'-0"x1-3/4"	1		18 GA. INSULATED METAL	16 GA. INSULATED METAL	N/A	1	DOOR AND FRAME FACTORY PRIMED

GENERAL NOTES

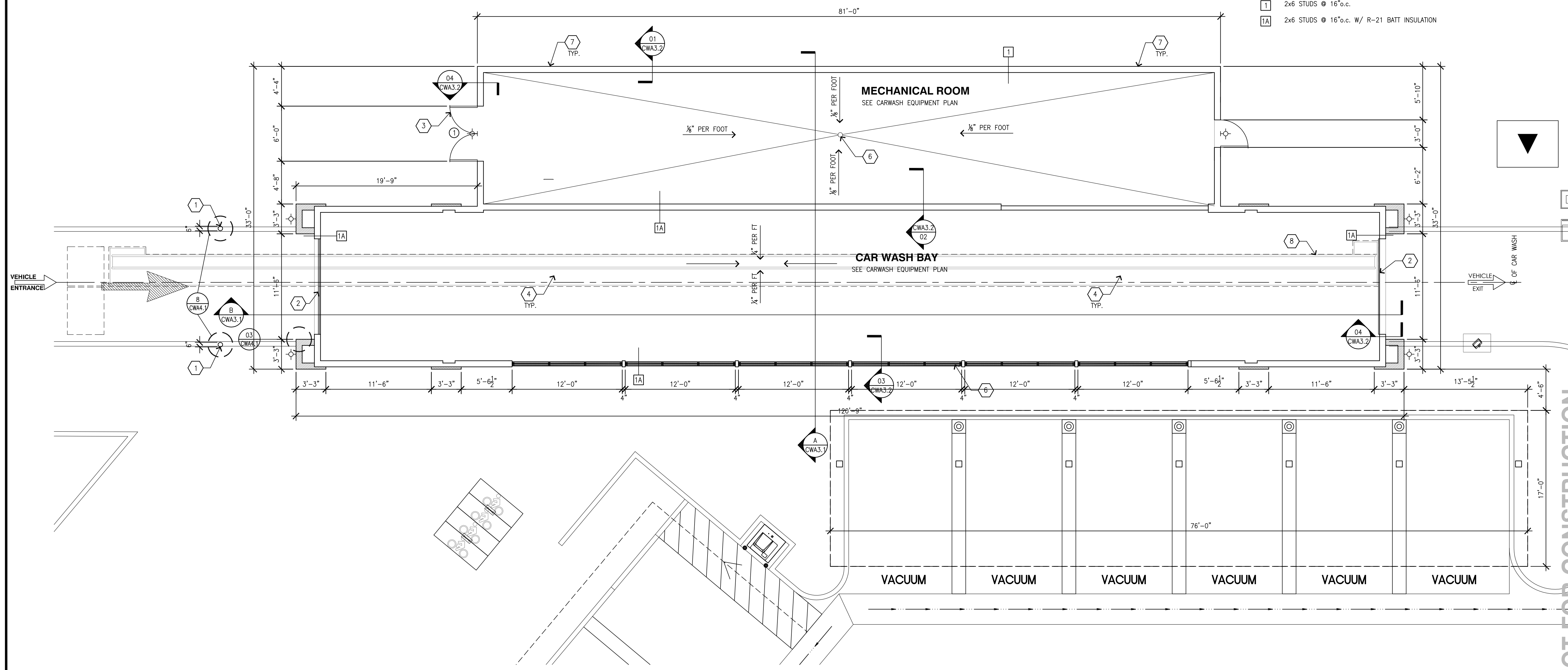
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 2x6, SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A:10B:C) SHALL BE INSTALLED AT CAR WASH BAY AND MECHANICAL ROOM. CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.

KEYED NOTES

- 4"Ø x 48" HIGH BOLLARD FILLED WITH CONCRETE, REFER TO DETAIL 05/CWA4.2
- CAR WASH BAY DOOR, REFER TO EQUIPMENT SCHEDULE ON CWQ1.1
- EQUIPMENT ROOM DOOR, REFER TO DOOR SCHEDULE
- DEPRESSED SLAB, REFER TO STRUCTURAL SLAB PLAN
- CATCH BASIN, REFER TO PLUMBING PLANS
- FLOOR DRAIN, REFER TO PLUMBING PLANS
- ROOF DRAINS, REFER TO PLUMBING PLANS
- TRENCH BY GC FOR UNDER CAR MANIFOLD, REFER TO EQUIPMENT & STRUCTURAL PLANS
- OPTIONAL**
 STEEL POINTS FOR WASH BAY WINDOWS SPECIFIED

WALL LEGEND

- WOOD FRAMED WALL
- 1 2x6 STUDS @ 16"o.c.
- 1A 2x6 STUDS @ 16"o.c. W/ R-21 BATT INSULATION



01 CONSTRUCTION FLOOR PLAN
 SCALE: 3/16"=1'-0"

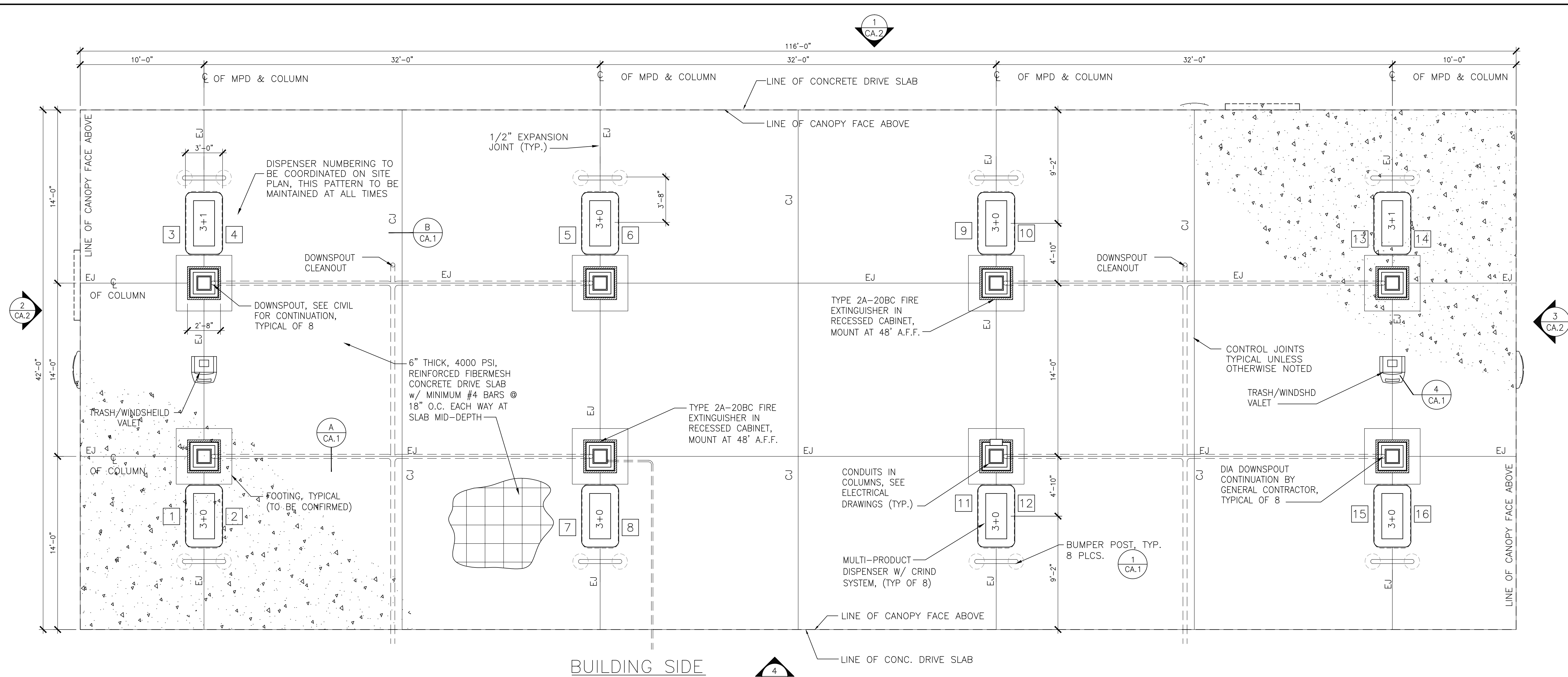
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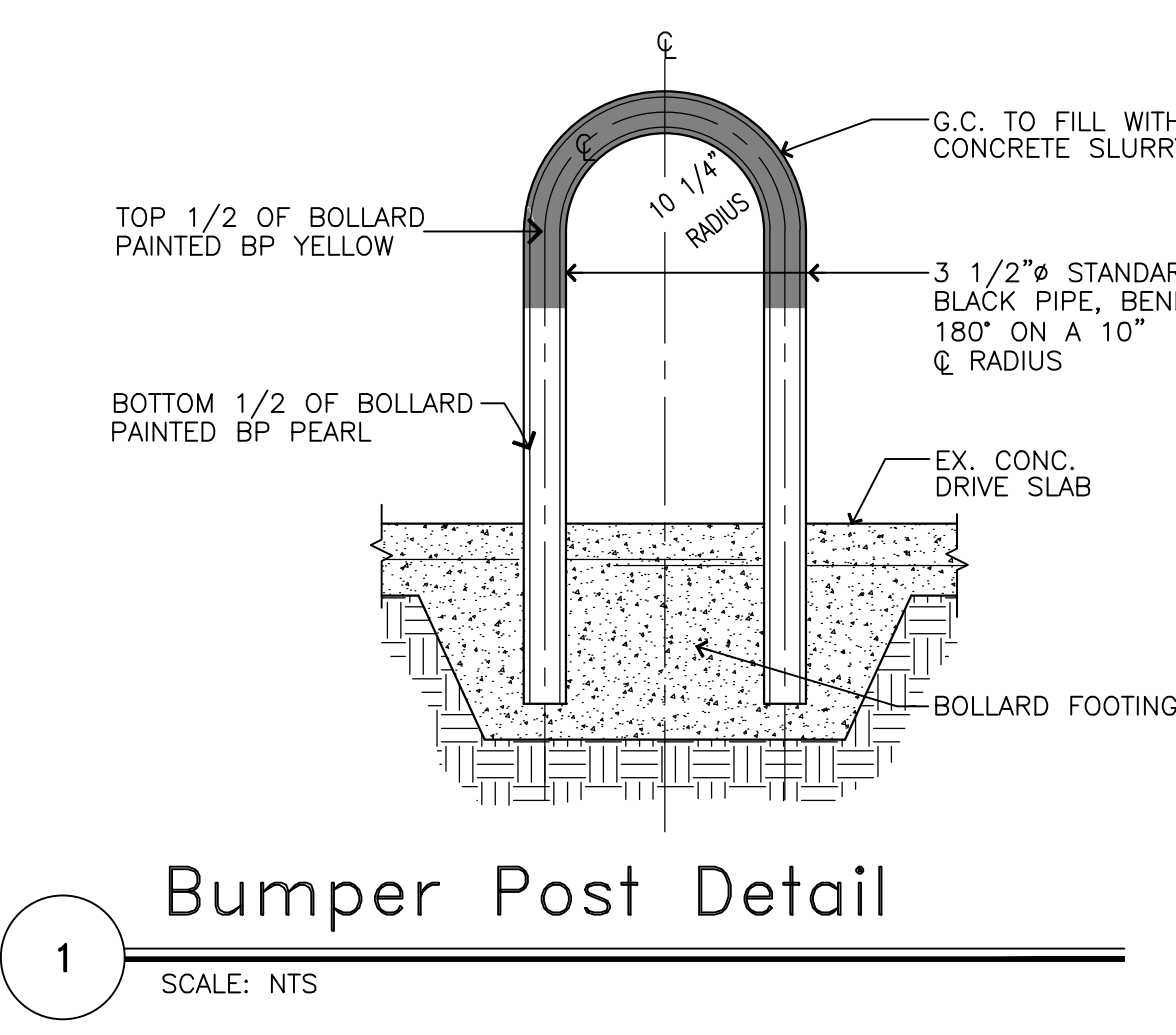
DEVELOPMENT INFORMATION:

ARCO NTI	
3000 am/pm FUEL CANOPY w/ 8 MPD's 24x48' CAR WASH	
SITE ADDRESS: NWC LAUREL ROAD @ EMPIRE AVENUE OAKLEY, CALIFORNIA	
FACILITY #TBD	
DESIGNED BY:	ALLIANCE ZADM:
CHECKED BY:	BP REPA:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO:
	18299
DRAWING TITLE:	
SHEET NO:	

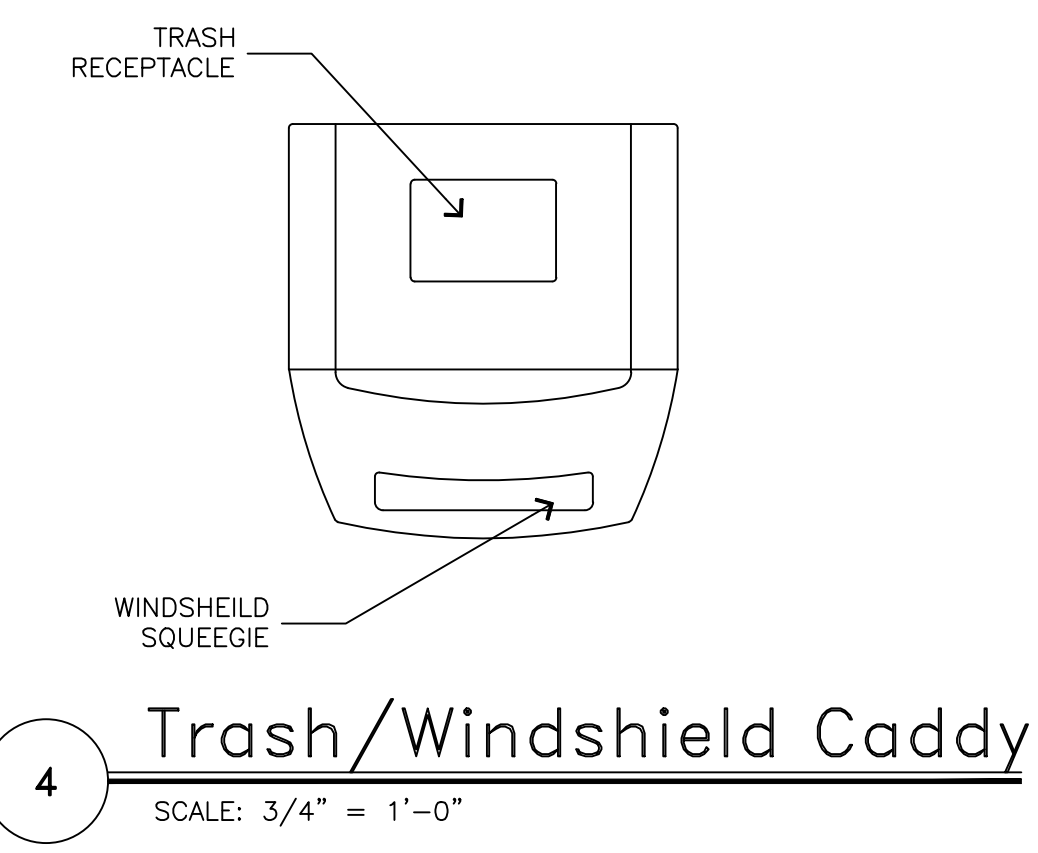


1 CANOPY SLAB PLAN
 SCALE: 1/4" = 1'-0"

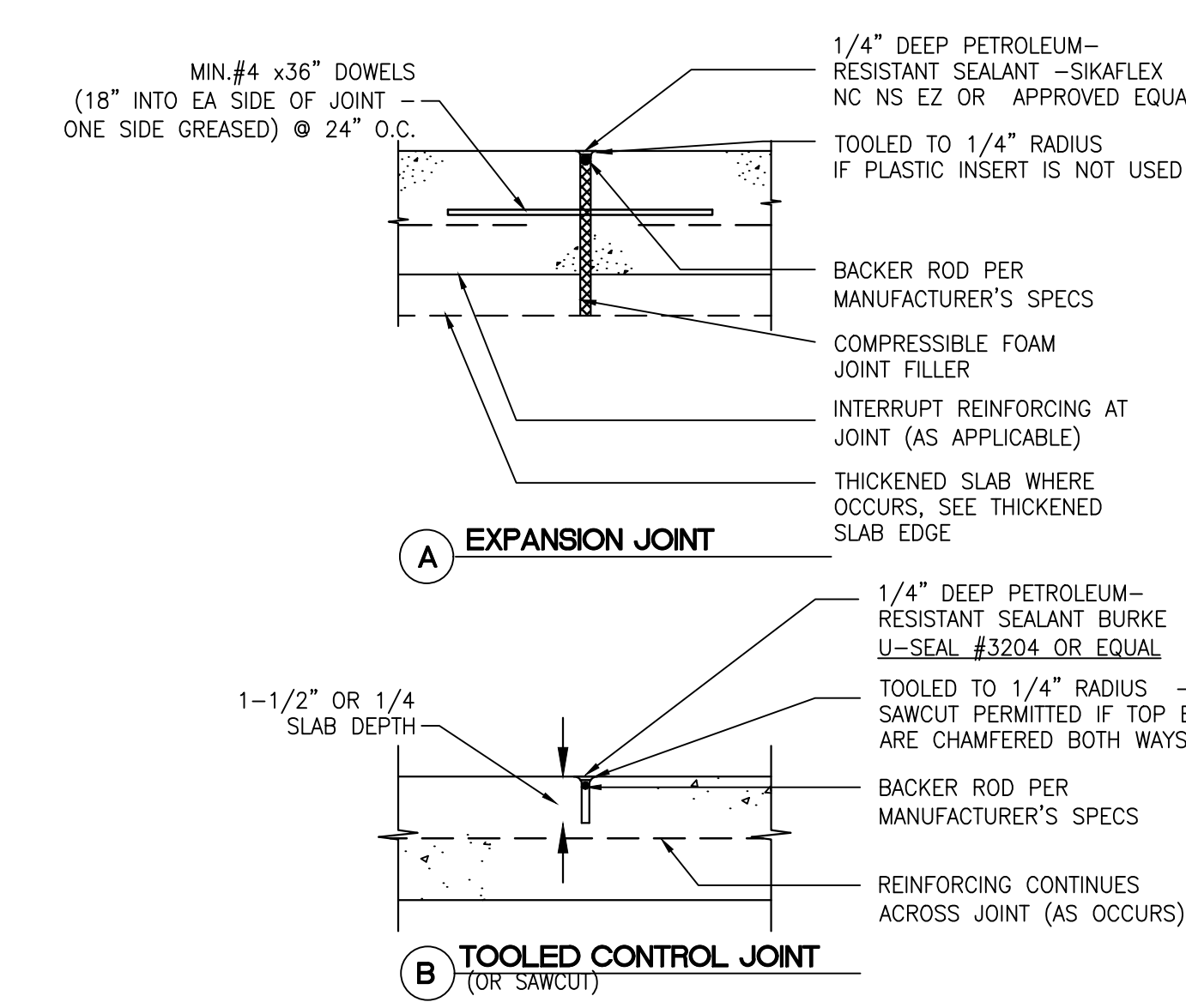
- Notes:**
- DOWNSPOUTS ARE DESIGNED TO BE TIGHTLINED TO THE SITES UNDERGROUND STORM DRAINAGE SYSTEM.
 - DRIVE SLAB SHALL BE 6" THICK REINFORCED CONCRETE w/FIBERMESH ADDITIVE OVER 6" CRUSHED ROCK OR AS SPECIFIED IN SOILS REPORT. FINISH SHALL BE A MEDIUM BROOM PERPENDICULAR TO ISLAND LAYOUT w/ EXPANSION AND CONTROL JOINTS AS SHOWN.
 - CANOPY CONTRACTOR SHALL PROVIDE DOWNSPOUTS AND CONDUITS FOR LIGHTING, SIGN, MUSIC SYSTEM, CCTV AND SOLAR IN COLUMNS WHERE SPECIFIED. COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION OF CONDUITS, AND HAND HOLES PRIOR TO FABRICATION. SEE ELECTRICAL DRAWINGS.
 - EACH PAIR OF ISLANDS HEIGHTS SHALL BE THE SAME.
 - ISLAND FORMS SHALL BE PAINTED GREY.
 - PAYMENT ISLAND CASHIER (P.I.C.) UNITS DEPICTED ARE GEN3 FRONT LOAD DOUBLE SIDED UNITS.
 - SEE SHEET CA.3 AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND IN COLUMN ELECTRICAL CONDUIT AND LIGHTING INFORMATION.
 - GRADE BREAKS AT CONCRETE DRIVE SLAB SHALL OCCUR WITHIN DRIPLINE OF CANOPY. SEE GRADING PLAN FOR SLAB DRAINAGE ISOLATION AND OIL/WATER SEPARATOR.



1 Bumper Post Detail
 SCALE: NTS

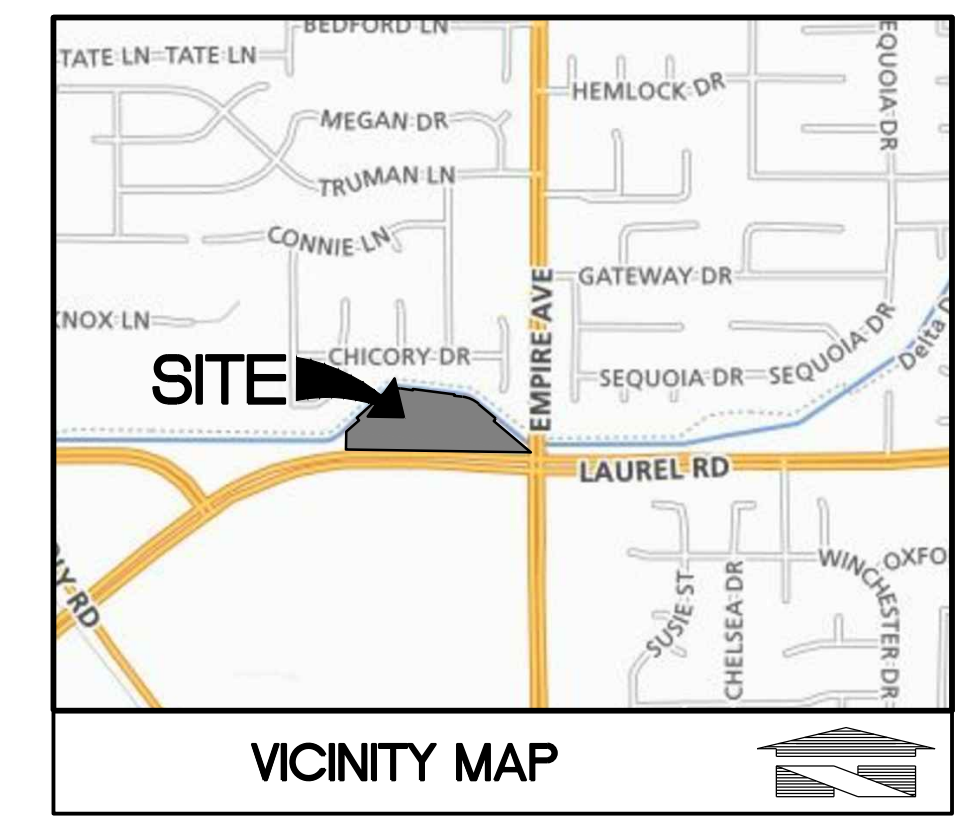
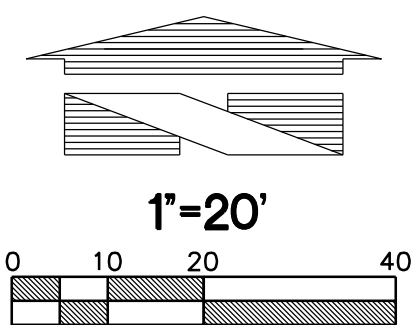
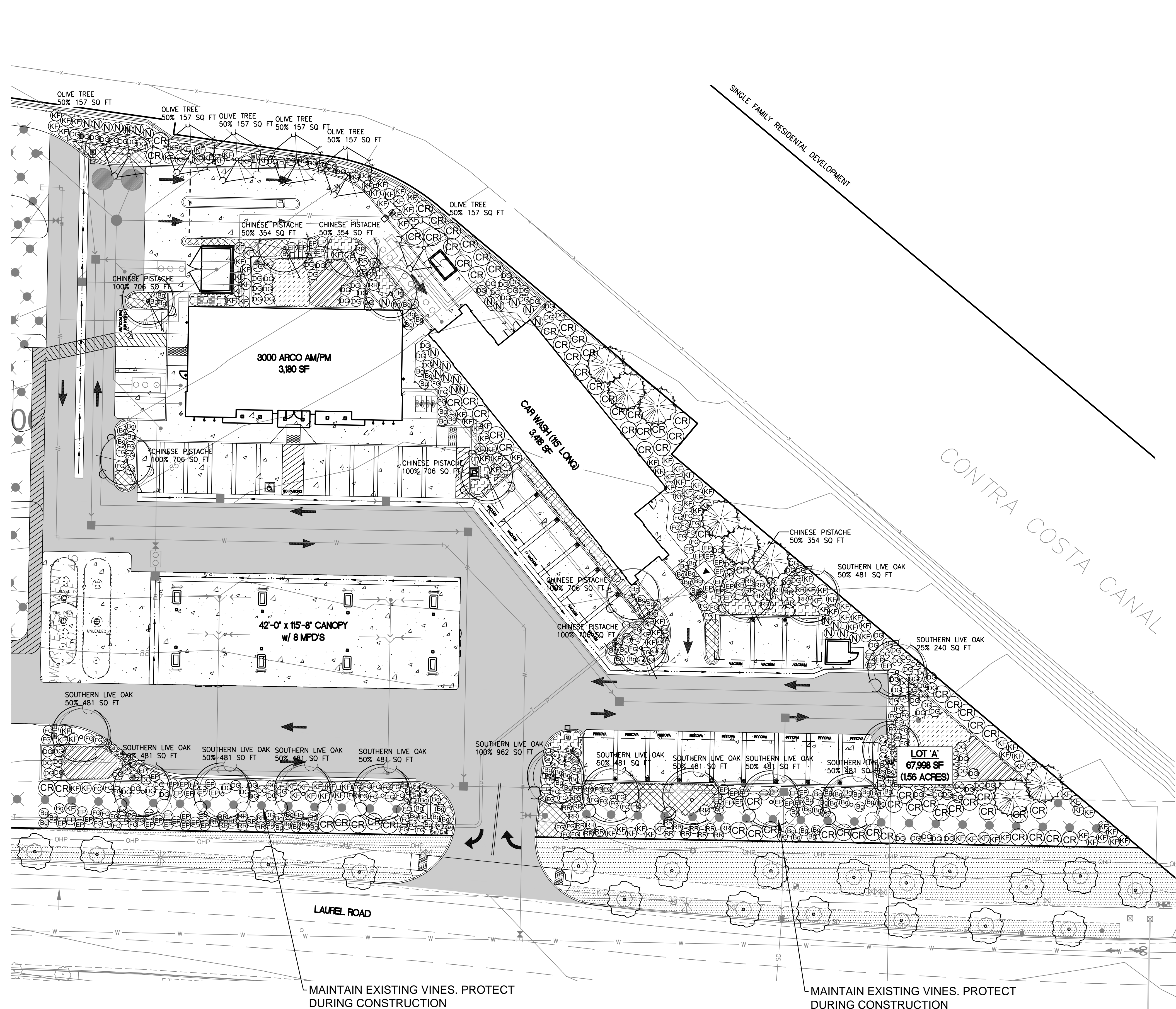


4 Trash/Windshield Caddy
 SCALE: 3/4" = 1'-0"



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PRELIMINARY LANDSCAPE and IRRIGATION SET

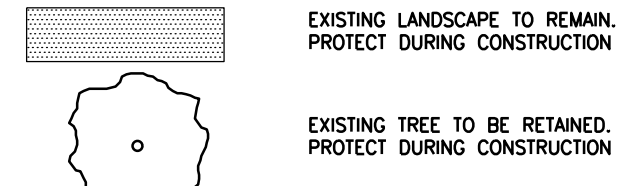


PARKING LOT SHADING REQUIREMENTS

TOTAL NET PARKING LOT SQUARE FOOTAGE: 33,377 SQUARE FEET

SYMBOL	BOTANICAL/Common NAMES	QTY AT 100%	QTY AT 75%	QTY AT 50%	QTY AT 25%	TOTAL
	PISTACHE CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE	7 AT 100% 4,942 SQ FT		3 AT 50% 1,062 SQ FT		6,004
	OLEA EUROPAEA 'SWAN HILL' / OLIVE			7 AT 50% 1,099 SQ FT		1,099
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	1 AT 100% 962 SQ FT	10 AT 50% 4,810 SQ FT	1 AT 25% 240 SQ FT		6,012
						TOTAL TREE SHADE 13,115 sq ft
						TOTAL SHADE REQ'D
						PERCENT SHADE

LANDSCAPE LEGEND



PLANT SCHEDULE

SYMBOL	BOTANICAL/Common NAMES	SIZE CONDITION	SPACING	QUANTITY	WUCOLS IV IRRIGATION CLASSIFICATION	REMARKS
TREES:						
	PISTACHE CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE	24" BOX	AS SHOWN	9	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	OLEA EUROPAEA 'SWAN HILL' / FRUITLESS OLIVE TREE	24" BOX	AS SHOWN	6	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	24" BOX	AS SHOWN	13	MODERATE	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	ARBUTUS UNEDO / STRAWBERRY TREE	15 GALLON	AS SHOWN	8	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN
SHRUBS:						
	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO	5 GALLON	AS SHOWN	26	LOW	FULL & BUSHY
	OSTIA SALVIFOLIUS 'PROSTRATUS' / SAGELEAF ROCKROSE	5 GALLON	AS SHOWN	48	LOW	FULL & BUSHY
	WESTRINGIA FRUITICOSA / COAST ROSEMARY	5 GALLON	AS SHOWN	74	LOW	FULL & BUSHY
ORNAMENTAL GRASSES and GROUNDCOVERS:						
	CALAMAGROSTIS ACUT. 'XARL FOERSTER' / FEATHER REED GRASS	1 GALLON	AS SHOWN	130	LOW	FULL & BUSHY
	MULLENBERGIA RIGENS / DEER GRASS	1 GALLON	AS SHOWN	137	LOW	FULL & BUSHY
	HELICTOTRICHON SEMP. 'SAPPHIRE' / BLUE OAT GRASS	1 GALLON	AS SHOWN	98	LOW	FULL & BUSHY
	PENNISETUM ALOPECUROIDES 'HAMELI' / FOUNTAIN GRASS	1 GALLON	AS SHOWN	84	LOW	FULL & BUSHY
	SALVIA MICROPHYLLA 'BERZERKELEY' / SALVA	1 GALLON	AS SHOWN	44	LOW	FULL & BUSHY
	EURYOPS PECTINATUS / GOLDEN SHRUB DAMSY	1 GALLON	AS SHOWN	62	LOW	FULL & BUSHY
	DYMONDIA MARGARETAE / DYMONDIA	1 GALLON	24" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	APTENIA 'RED APPLE' / BABY SUN ROSE	1 GALLON	24" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	DESCHAMPSIA CAESPITOSA 'NORTHERN LIGHTS' / TUFTED HAIR GRASS	1 GALLON	24" O.C.	AS REQ'D	LOW	FULL & BUSHY
	JUNCUS PATENS / CALIFORNIA GREY SEDGE	1 GALLON	24" O.C.	AS REQ'D	MEDIUM	FULL & BUSHY; NATIVE

CLIENT:

BP WEST COAST PRODUCTS, LLC

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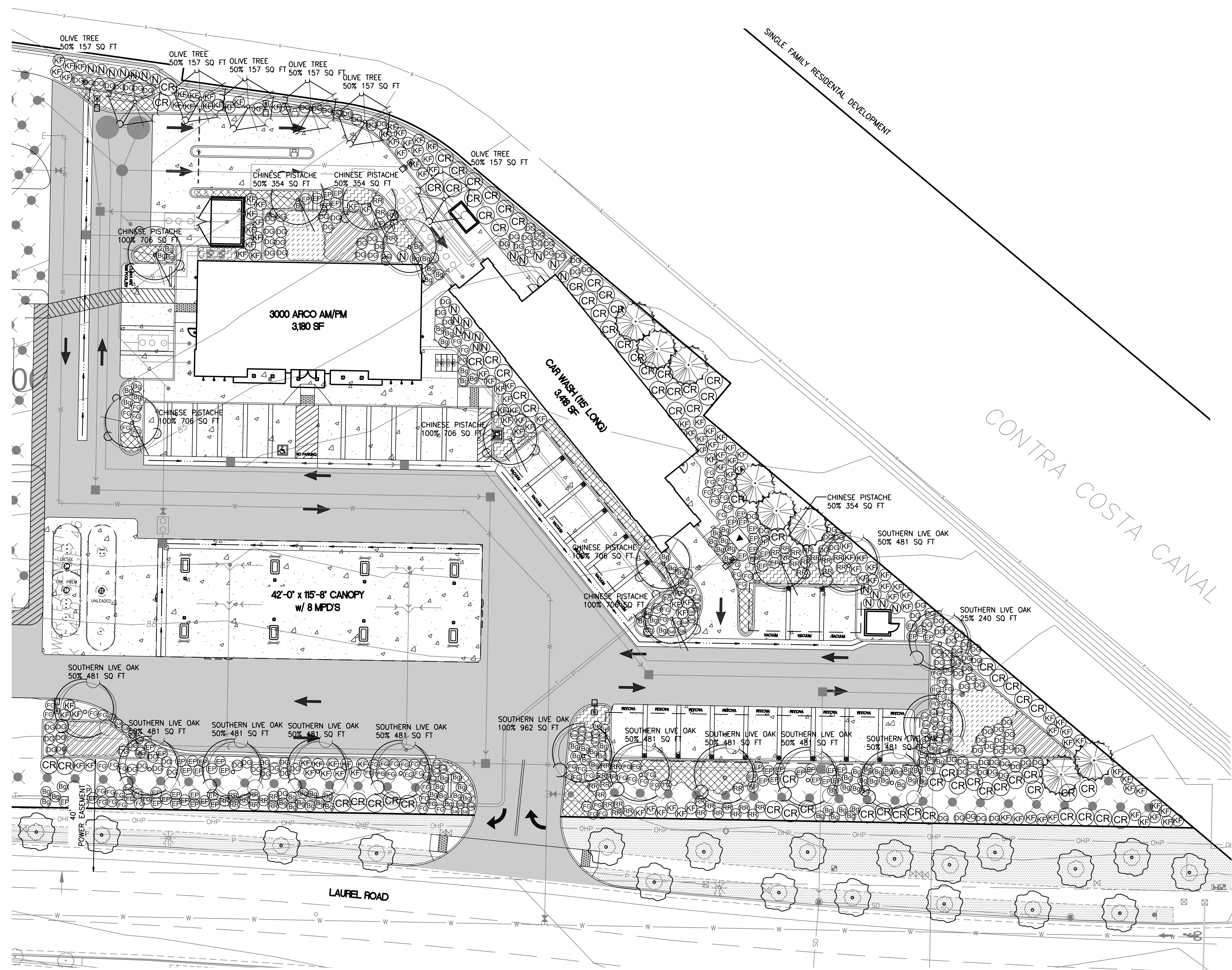
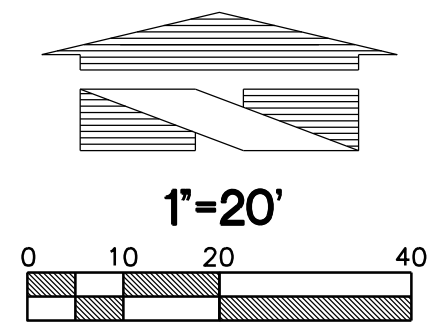
DESIGNED BY: JMV ALLIANCE Z&M:
CHECKED BY: JMV BP REP:
DRAWN BY: JMV ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
PRELIMINARY
LANDSCAPE and
IRRIGATION SET

SHEET NO:
L-1

Preliminary Not For Construction

PRELIMINARY LANDSCAPE and IRRIGATION SET



LANDSCAPE IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPH	MAXIMUM LINEAR FT.
	RAINBIRD RWS-B-C-1402 36" ROOT ZONE WATERING SYSTEM TO BE USED WITH NETAFIM LT-INSERT-17MM FITTINGS	20	AS SHOWN ON PLAN	.50	N/A
	TLCV26-1210 - SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUNDCOVER, SHRUBS AND TREES ABOVE NOTED DRIPLINE IS DESIGNED WITH .26 GPH EMITTERS SPACED AT 12 INCHES APART AND A ROW SPACING OF 12 INCHES. THE APPLICATION RATE FOR THIS IS .42 INCHES OF WATER PER HOUR OF RUN TIME.	20	12"	.26	594 @ 45 PSI
NO SYMBOL	NETAFIM: 10-CV-01 DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAKES, PROVIDE FOR EACH ZONE				
NO SYMBOL	NETAFIM: TLS6 SOIL STAPLES, AT 5 FEET ON CENTER				
NO SYMBOL	NETAFIM: TLSOV DRIPLINE FLUSH VALVE: 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE, INSTALL IN 10" VALVE BOX				
	NETAFIM: LVC2-150-HF CONTROL ZONE KIT: FLOW 11.0 - 35 GPM, IN VALVE BOX				
	NETAFIM: LVC2S8010075-HF CONTROL ZONE KIT: FLOW 4.5 - 17.6 GPM, IN VALVE BOX				
	NETAFIM: LVC2S8010075-LF CONTROL ZONE KIT: FLOW 0.25 - 4.4 GPM, IN VALVE BOX				
NO SYMBOL	HUNTER: I-CORE IRRIGATION CONTROLLER, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS; COORDINATE WITH OWNER AND GENERAL CONTRACTOR FOR BEST LOCATION OF IRRIGATION CONTROLLER. IF LOCATION IS TO BE OUTSIDE, COORDINATE WHETHER THE CONTROLLER IS TO BE MOUNTED ON AN EXTERIOR BUILDING WALL OR MOUNTED ON A METAL PEDESTAL WITH CONC. FOOTING.				
	RAINBIRD 33 DRC-RC: 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE THREE KEYS AND HOSE SWIVELS PLASTIC BALL VALVE, MATCH PIPE SIZE, IN VALVE BOX				
NO SYMBOL	RAINBIRD WR2-RC: (2) WIRELESS RAIN SENSOR COMBOS, MOUNT WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN, WIND OR FROST FROM SENSOR.				
NO SYMBOL	RAINBIRD SMRT-Y SOIL MOISTURE SENSOR KIT: INSTALL WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN, WIND OR FROST FROM SENSOR. MORE THAN ONE SENSOR MAY BE REQUIRED TO EFFECTIVELY DETERMINE SOIL MOISTURE FOR ENTIRE SITE. CONSULT NETAFIM REPRESENTATIVE FOR ADVICE AS TO THE NUMBER OF SENSORS AND WHERE THE SENSORS NEED TO BE INSTALLED FOR MAXIMUM WATER SAVINGS.				
NO SYMBOL	NETAFIM: HYDROMETER - COMBINATION MASTER VALVE AND WATER METER / FLOW SENSOR; REFER TO SPECIFICATIONS AND LOCAL NETAFIM REPRESENTATIVE FOR CONFIRMATION OF BEST LOCATION FOR HYDROMETER LOCATION WITHIN POINT OF CONNECTION / MAINLINE.				
P.O.C.	(1) - WILKINS 950 XLTU- 1" DOUBLE CHECK VALVE ASSEMBLY (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER				
NO SYMBOL	WILKINS 850XL BALL VALVE, SIZE TO MATCH PIPE				
NO SYMBOL	RAINBIRD PVB SERIES PROFESSIONAL VALVE BOXES: INSTALL AT GRADE LEVEL WITH BOLT LOCK LID				
---	MAINLINE - SCH 40 PVC (18" COVER); 1-1/2" SIZE MINIMUM				
---	LATERAL - CLASS 200 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM				
---	SLEEVE - CLASS 200 PVC, 24" MINIMUM COVER AT VEHICLE CROSSINGS; TWICE THE SIZE OF INSERT PIPE AND/OR WIRES, 6" SIZE MINIMUM, COORDINATE WITH GENERAL AND PAVING CONTRACTORS				
TYPICAL VALVE CALL-OUT					
	VALVE STATION NUMBER				
	VALVE SIZE				

TYPE OF PIPE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	FLOW GPM
SCHEDULE 40 PVC: MAINLINE	8	12	22	30	50	75	FLOW GPM
CLASS 200 PVC: LATERALS	10	16	26	35	55	80	FLOW GPM

NOTE: MINIMUM OF 65 -75 PSI STATIC PRESSURE AT POINT OF CONNECTION (P.O.C.)

GENERAL IRRIGATION NOTES:

- IRRIGATION DESIGN SHOWN DIAGRAMATICALLY FOR PLAN CLARITY.
- PRIOR TO INSTALLATION OF DRIP IRRIGATION, CONTRACTOR IS REQUIRED TO CONTACT LOCAL NETAFIM REPRESENTATIVE FOR TRAINING ON THE INSTALLATION AND RUN TIME MANAGEMENT OF DRIP SYSTEM AND NOTIFY LANDSCAPE ARCHITECT THAT FACTORY TRAINING HAS OCCURRED PRIOR TO INSTALLATION.
- CONTACT CARI SNYDER WITH NETAFIM AT (253) 209-6199. PLEASE GIVE REPRESENTATIVE A MINIMUM TWO WEEK NOTICE.
- DRIP TUBING SHALL BE INSTALLED FOUR (4) INCHES BELOW FINAL GRADE. CONTRACTOR TO RUN EACH ZONE BEFORE COVERING TUBING, TO VERIFY THAT THERE ARE NO CONNECTION LEAKS. TREES TO BE INSTALLED ON A SEPARATE ZONE, USING NETAFIM TLCV .26 18, REFER TO THE TREE IRRIGATION DETAIL FOR ADDITIONAL INFORMATION.
- USE COMMON TRENCH METHODS LOCATING EQUIPMENT WITHIN THE LANDSCAPE.
- PLACE MANIFOLD GROUPED VALVES IN ADJACENT SHRUB BEDS AND ALIGN WITH PAVED SURFACES OR PLANTING BED EDGES.
- SHOVEL-CUT LANDSCAPE EDGING WHERE FEASIBLE.
- ANY WORK AND/OR IRRIGATION LINES PLACED WITHIN ANY TREE PROTECTION ZONES ESTABLISHED FOR THE PROJECT MUST BE INSTALLED IN SUCH A MANNER AS TO NOT CAUSE DAMAGE TO TREE ROOTS WITHIN THE PROTECTION ZONE, SUCH AS BY CUTTING ROOTS, DIGGING TRENCHES, OPERATION OF MACHINERY, ETC.
- SPECIAL CARE MUST BE TAKEN (HAND DIGGING TRENCHES, DESIGNING LINES TO STAY OUT OF THESE AREAS WHERE POSSIBLE, ETC.) TO ENSURE DAMAGE TO THE TREES DOES NOT OCCUR.
- IN THE EVENT DAMAGE DOES OCCUR TO THESE AREAS, THE CITY MAY REQUIRE, AT THEIR DISCRETION, REPLACEMENT OF THE COMPARABLE LANDSCAPE VALVE OF THE TREES DAMAGED OR OTHER MEANS TO MAKE UP THAT LOSS.

CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

BARGHAUSEN
CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	9-1-17	ENTIREMENT SUBMITAL

SEAL: **LICENSSED LANDSCAPE ARCHITECT**
JAMES HAYLEY BWS
8-11-2018
12-8-2017
DATE

DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD'S
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

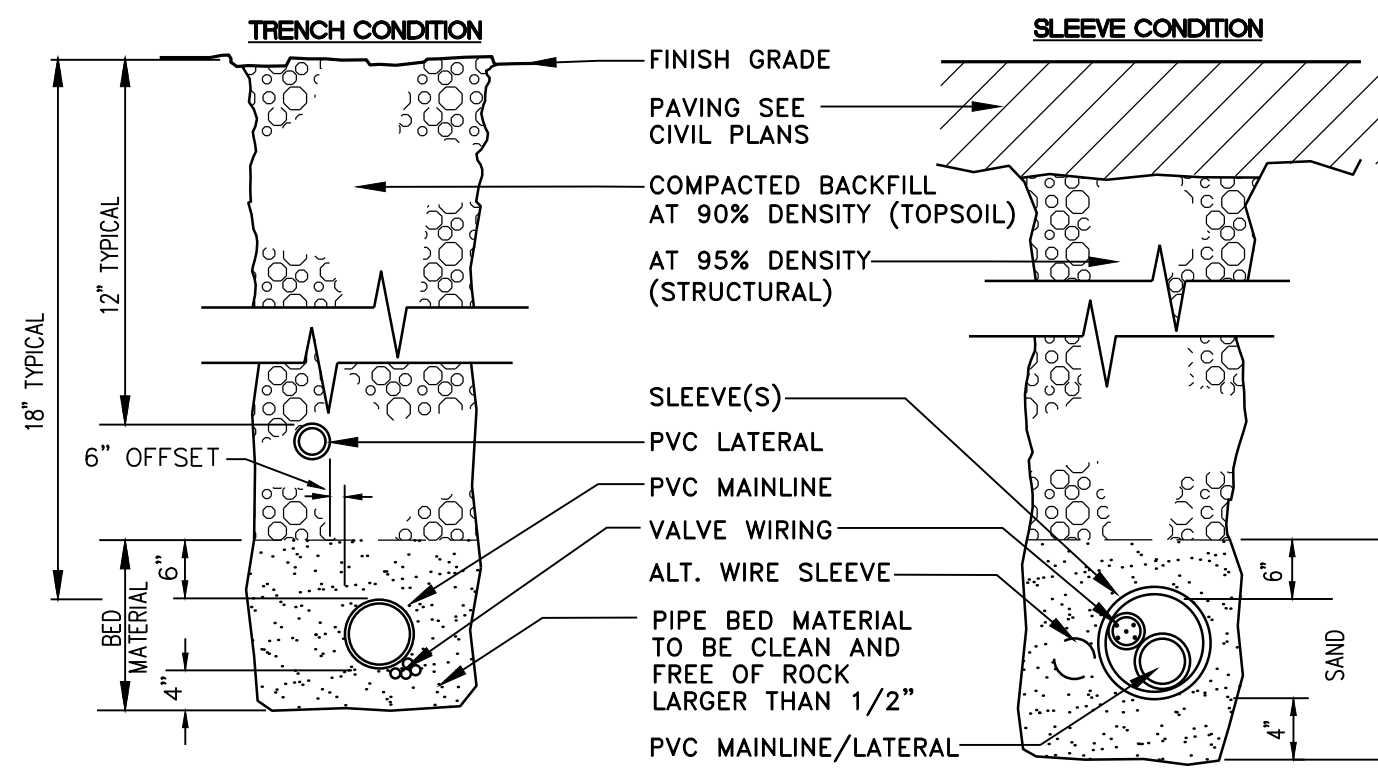
DESIGNED BY: JMV ALLIANCE Z&M:
CHECKED BY: JMV BP REP:
DRAWN BY: JMV ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
**PRELIMINARY
LANDSCAPE and
IRRIGATION SET**

SHEET NO:
L-3

Preliminary Not For Construction

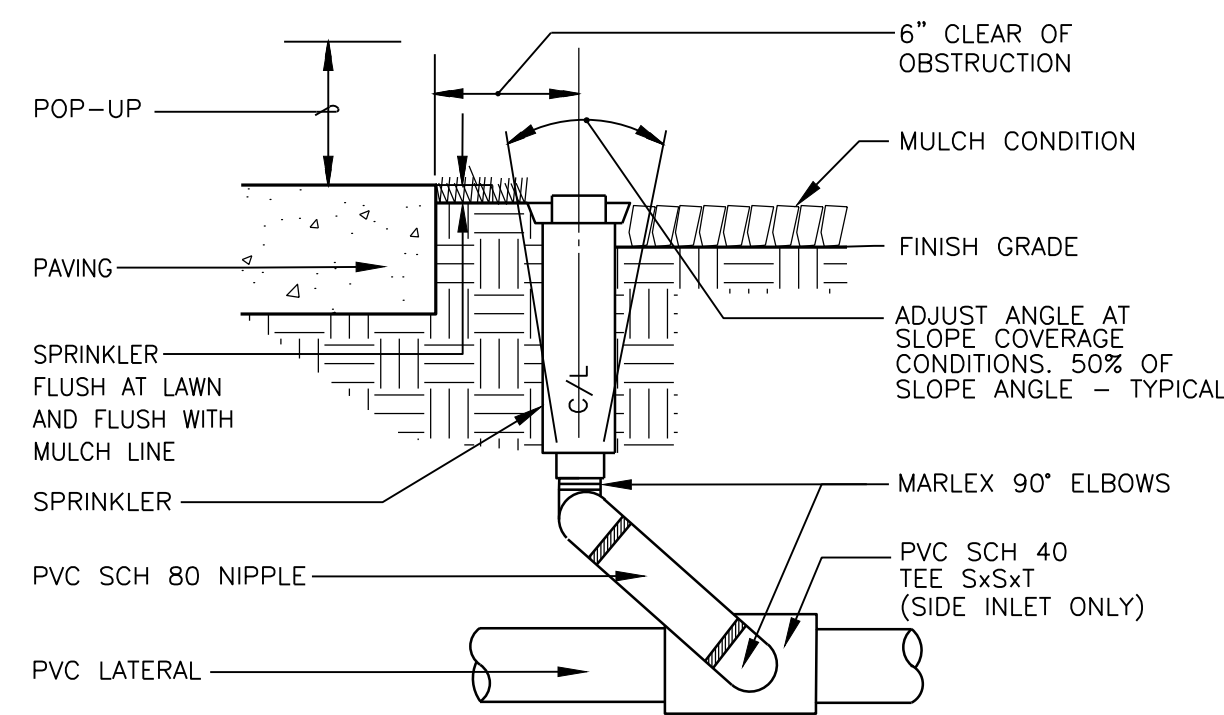
PRELIMINARY LANDSCAPE and IRRIGATION SET



NOTE:
DIMENSIONS ARE MINIMUM CLEARANCES.
ALL IRRIGATION SLEEVING TRENCH BACKFILL MATERIAL TO BE CLASS "B" OR BETTER (MAX. OF 10% PASSING NO.40 SCREEN) AND BE COMPACTED TO MIN. 95% OPTIMUM DENSITY PER ASTM D-1557-70 (MODIFIED PROCTOR)

SLEEVE/TRENCHING DETAIL

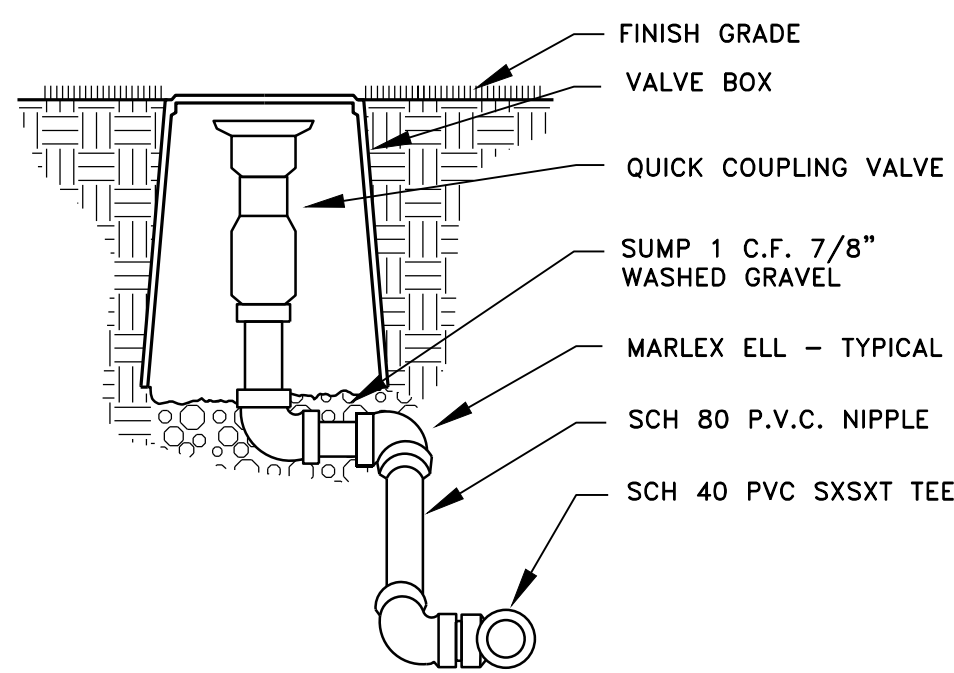
NOT TO SCALE



NOTE:
MANUFACTURER'S LIMITS PREVAIL FOR INSTALLATION AND ADJUSTMENTS.
PROVIDE SWING JOINT RISERS AT WALKS AND CURBS.
24" FLEXIBLE RISERS ACCEPTABLE ELSEWHERE.

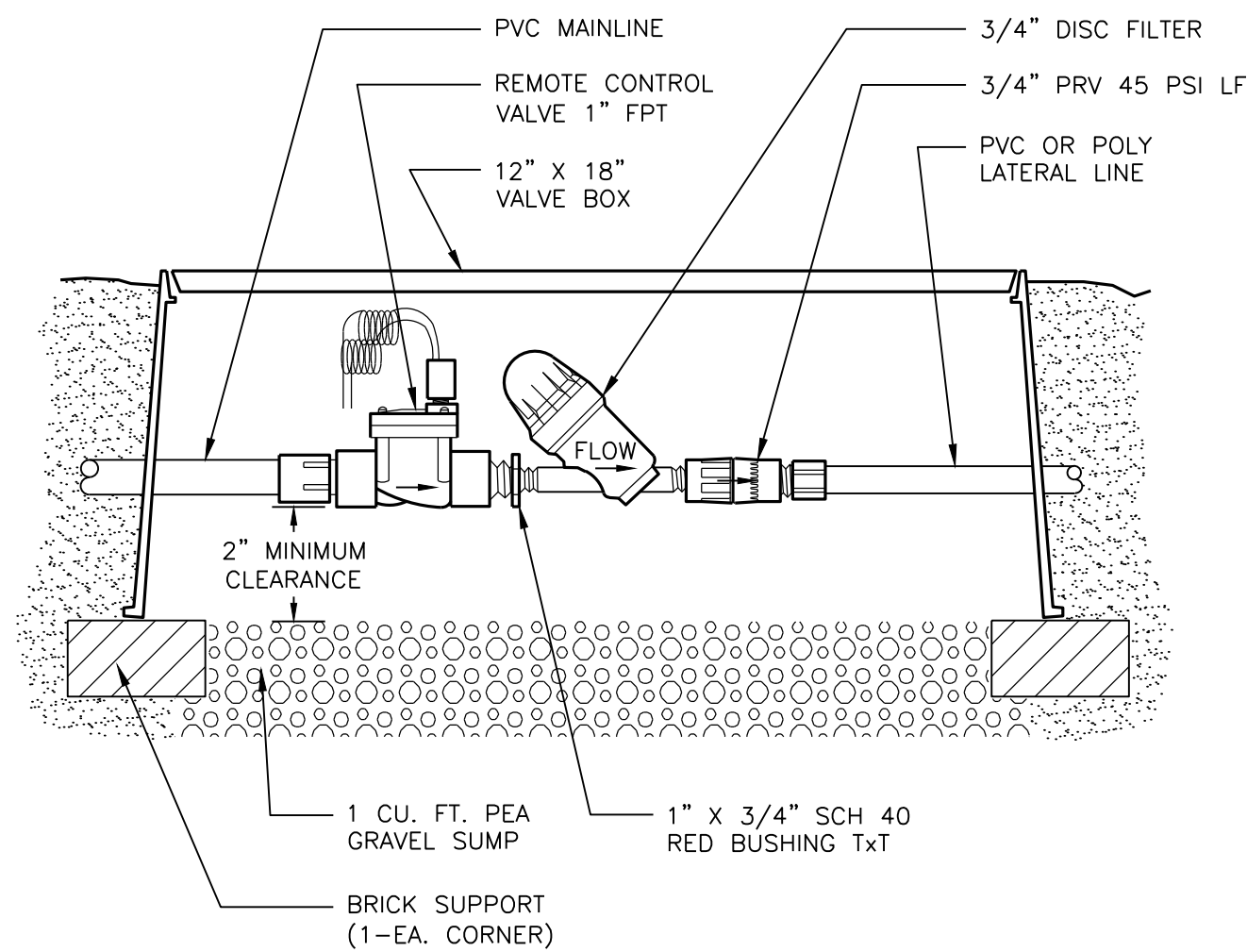
POP-UP RISER ASSEMBLY

NOT TO SCALE



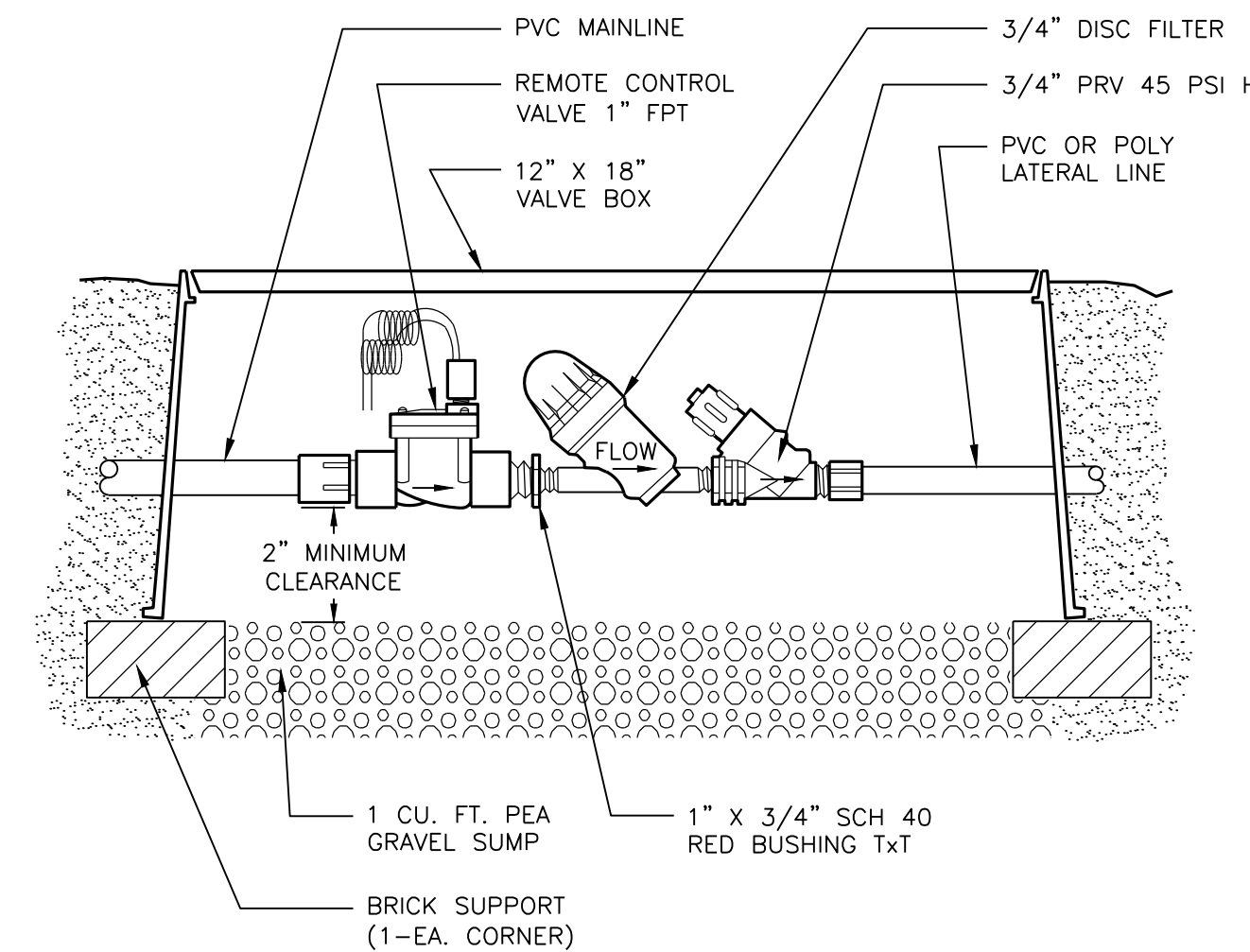
QUICK COUPLING VALVE DETAIL

NOT TO SCALE



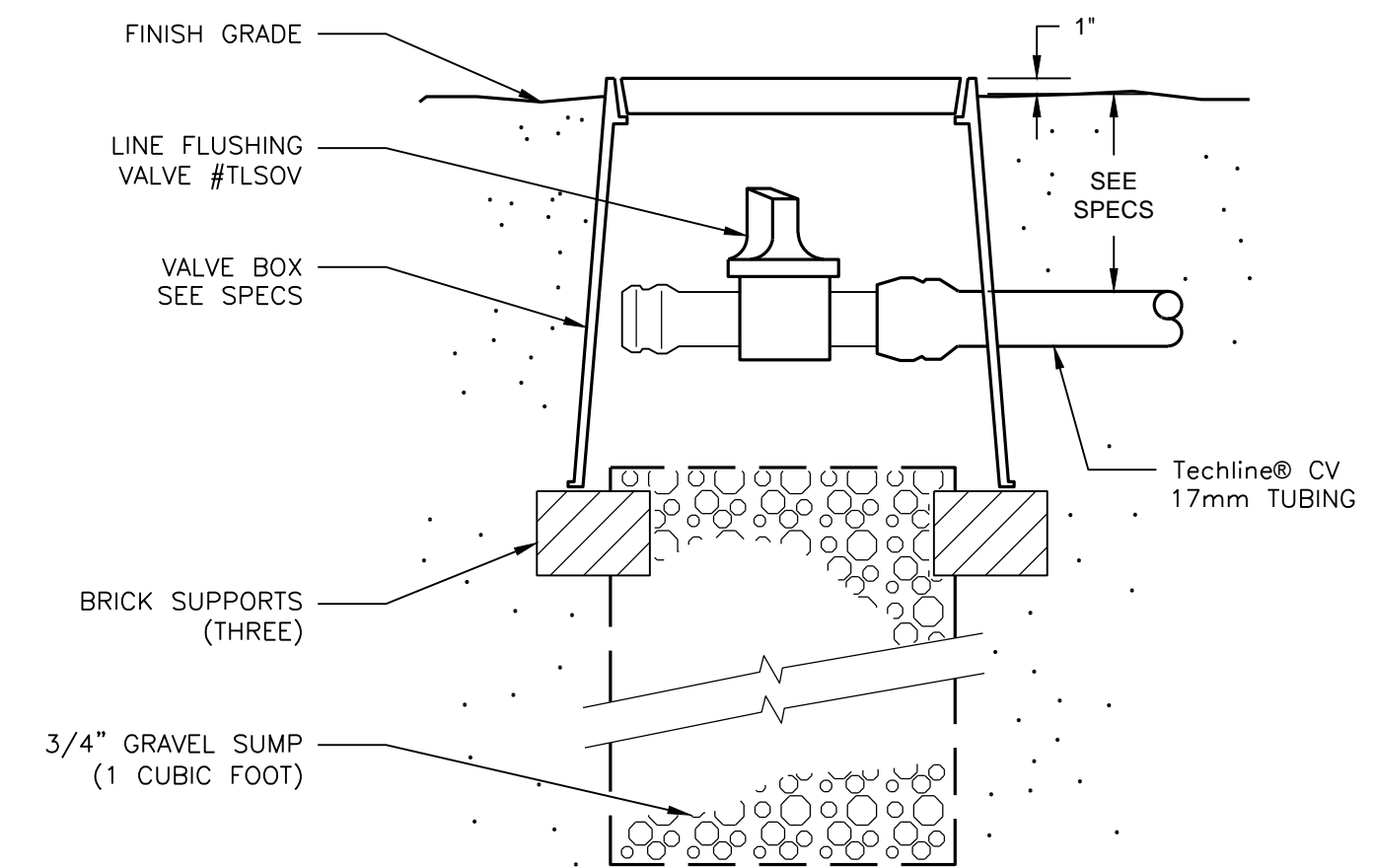
LOW-VOLUME CONTROL SYSTEM: P/N LVCZS80-10075-LF .25 - 4.4 GPM

NOT TO SCALE DETAIL - L201LF



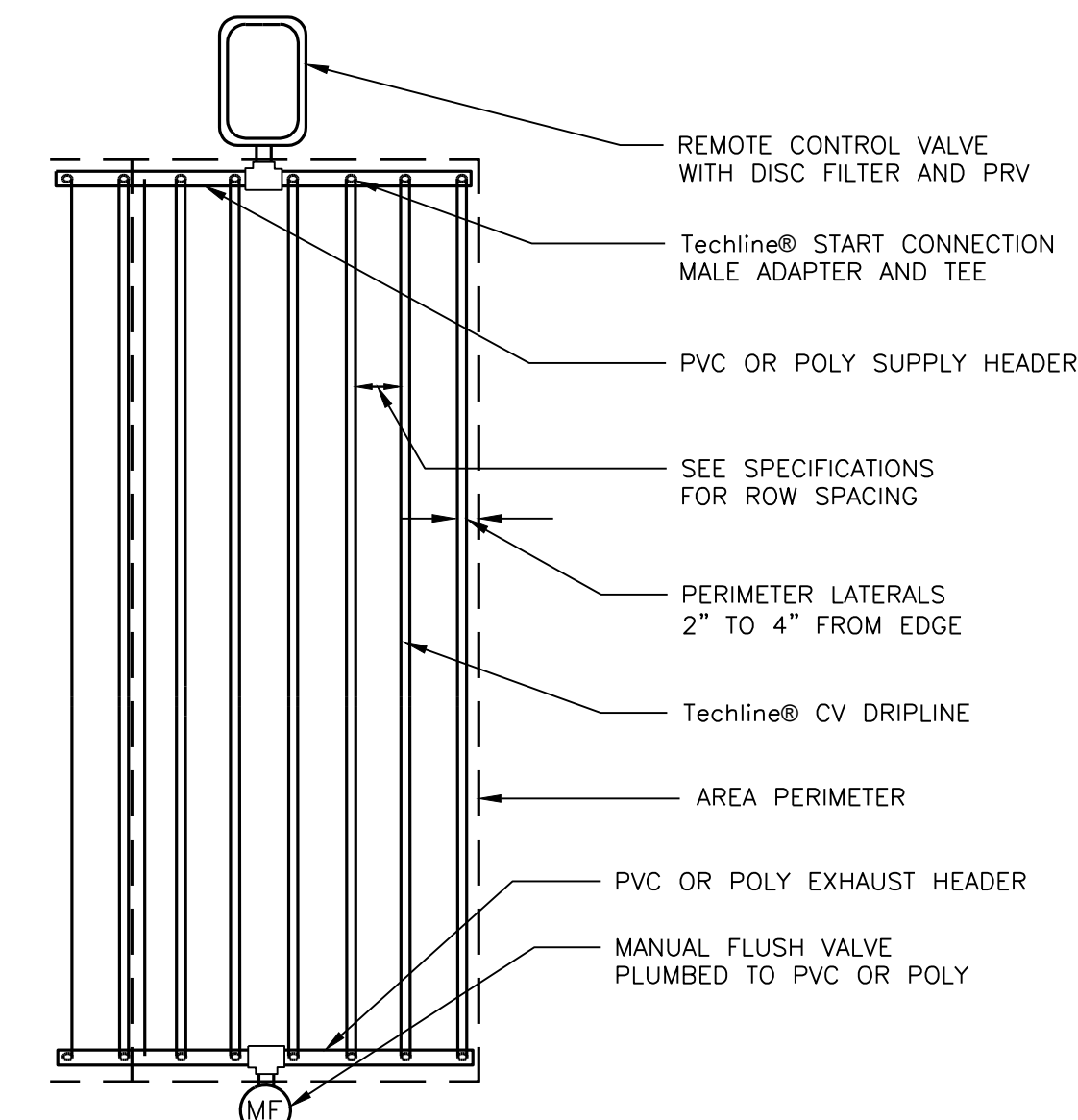
LOW-VOLUME CONTROL ZONE ASSEMBLY: P/N LVCZS80-10075-HF 4.5 - 17.6 GPM

NOT TO SCALE DETAIL - L211HF



MANUAL LINE FLUSHING VALVE TL5OV PLUMBED TO TUBING

NOT TO SCALE DETAIL - D211

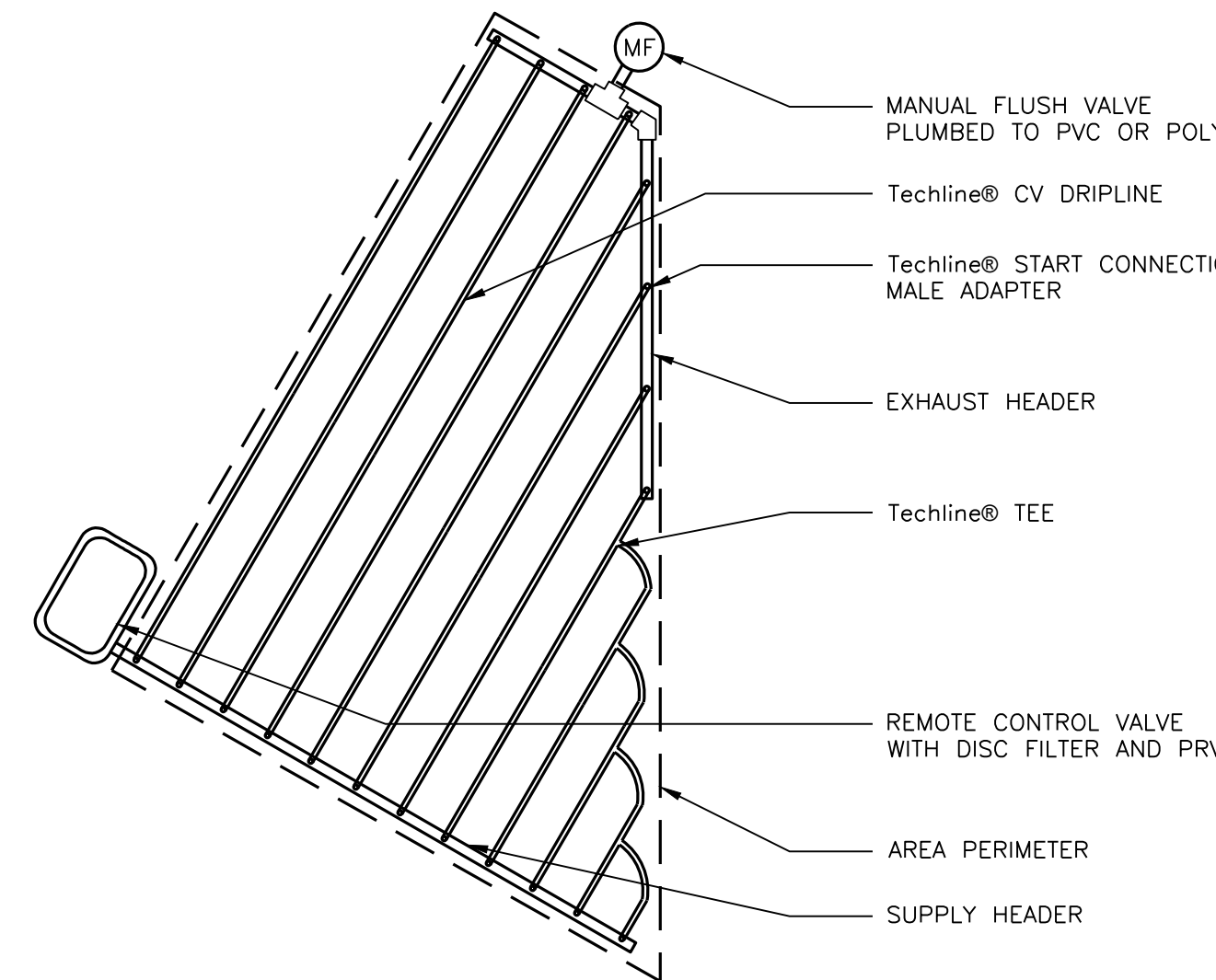


Techline® CV END FEED LAYOUT

NOT TO SCALE



DETAIL - C101

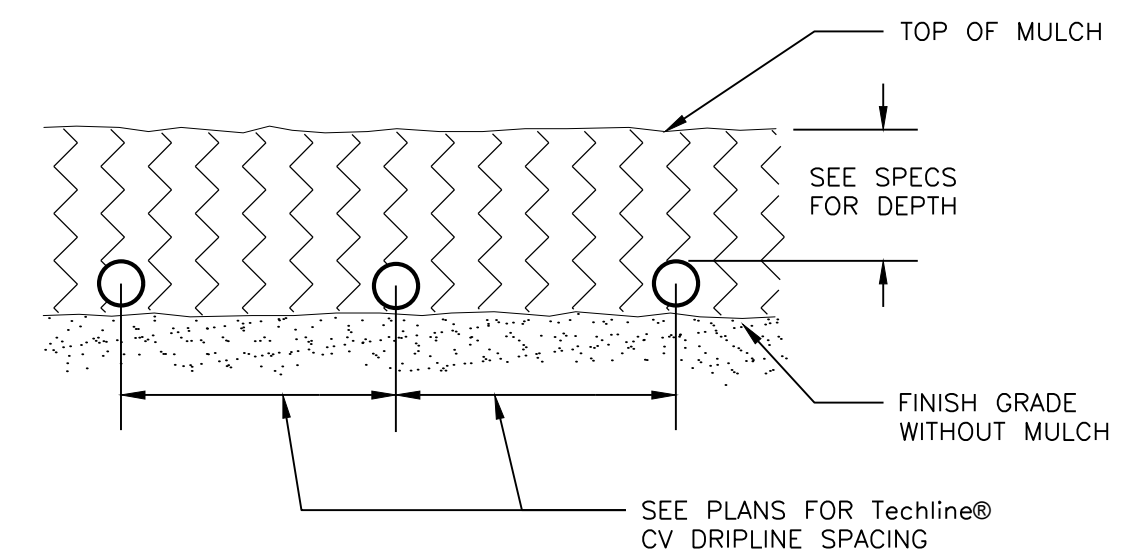


Techline® CV IRREGULAR AREAS: Triangular

NOT TO SCALE



DETAIL - C104

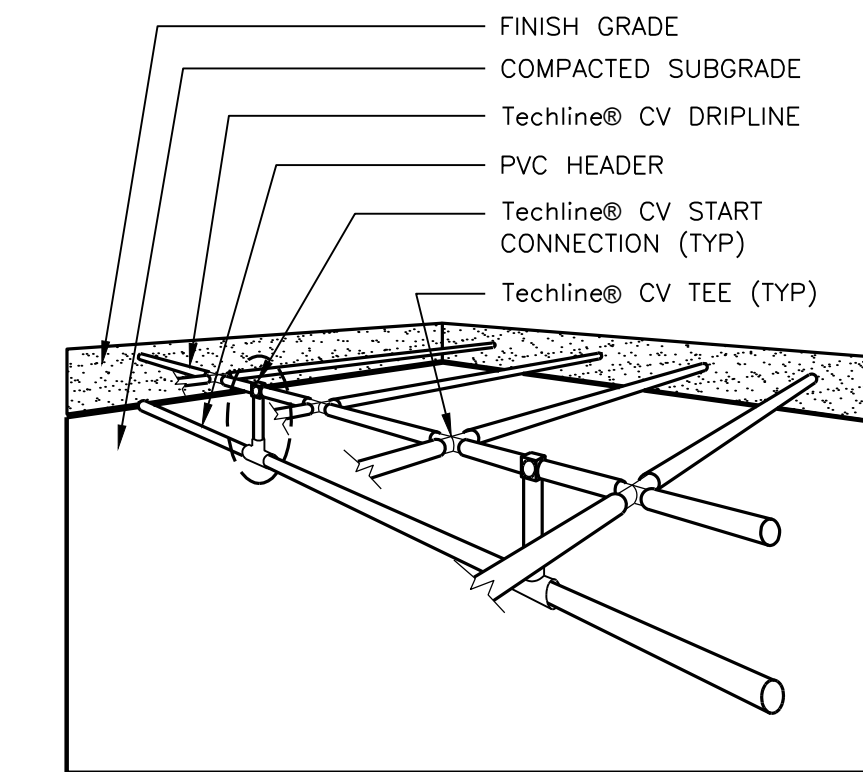


Techline® CV SUBGRADE INSTALLATION

NOT TO SCALE



DETAIL - C201

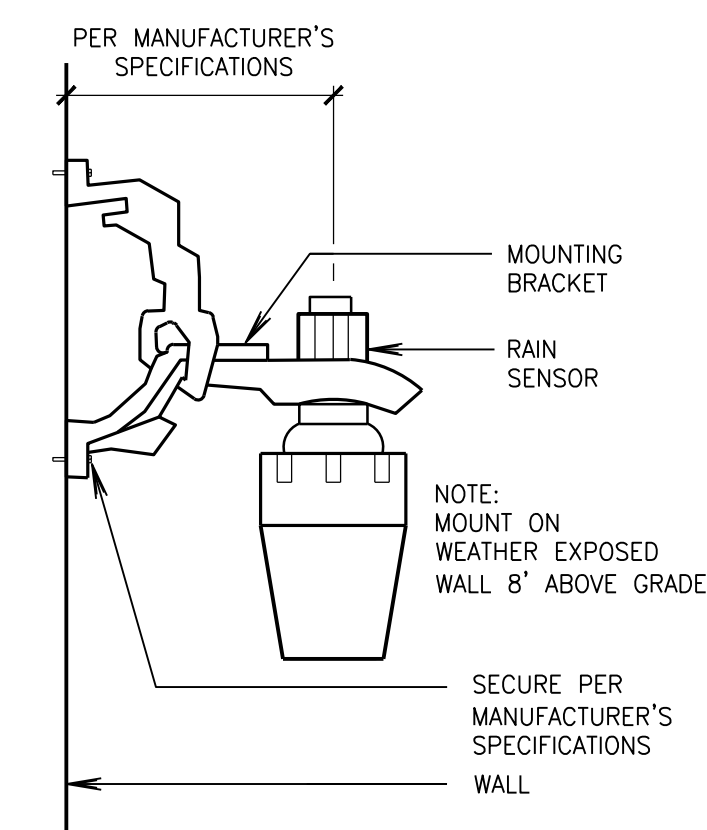


NOTE:
1. SEE PLANS AND LEGEND FOR ALL DIMENSIONS AND Techline® CV DRIPLINE SPACING.
2. RATIO OF Techline® CV DRIPLINES TO START CONNECTIONS IS SHOWN AT 2:1, BUT MAY VARY PER HYDRAULIC DEMAND ON START CONNECTIONS. SEE PLANS AND LEGEND.

Techline® CV SUB-HEADER INSTALLATION

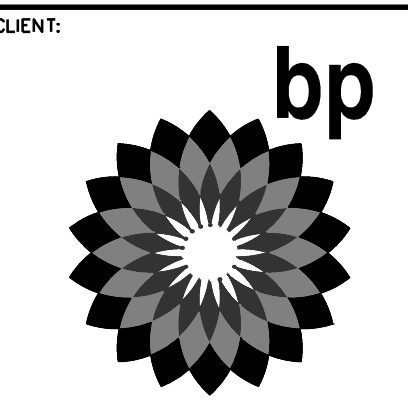
NOT TO SCALE

DETAIL - C303



RAIN SENSOR DETAIL

NOT TO SCALE



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10		



DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

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**PRELIMINARY
LANDSCAPE and
IRRIGATION SET**

SHEET NO:

Preliminary Not For Construction

L-4