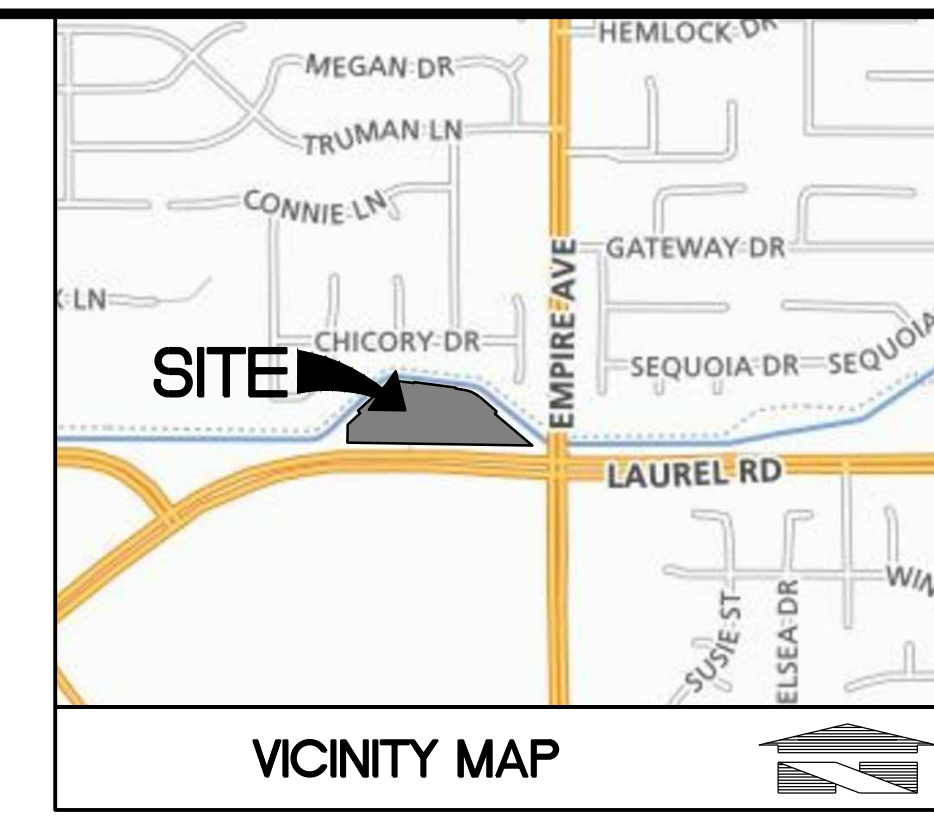
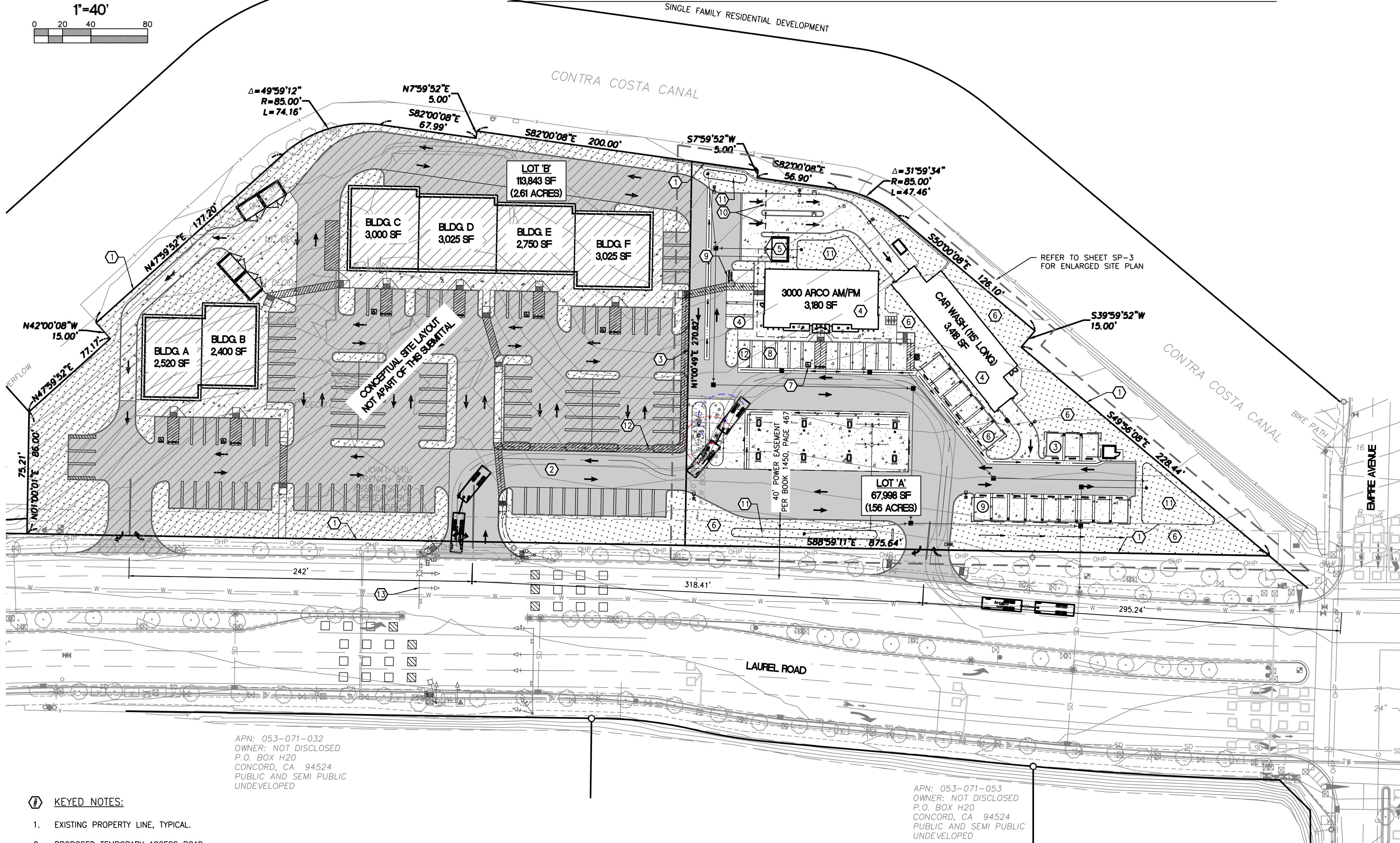
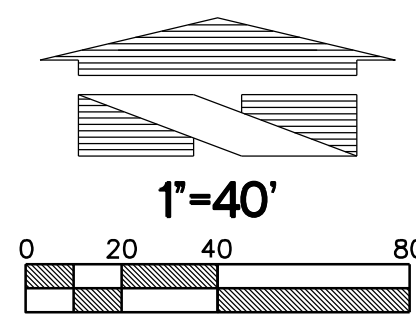


ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-OVERALL DEVELOPMENT



CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING, SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
2		
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SEAL:

PROJECT DATA:

LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE

A.P.N.: 041-042-002

ZONING DESIGNATION: GENERAL COMMERCIAL (C)

GENERAL PLAN DESIGNATION: COMMERCIAL

LOT AREA:

LOT 'A': 67,998 SF (1.56 ACRES)
LOT 'B': 113,843 SF (2.61 ACRES)

BUILDING SETBACKS:

FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
REAR YARD: 20' WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS:

LOT 'A':

C-STORE: 1 SPACE PER 400 SF + 1 PER EMPLOYEE + 1 AIR
3,180 SF / 400 SF = 8 SPACES
4 EMPLOYEE = 4 SPACES
1 AIR/WATER = 1 SPACE

TOTAL PARKING SPACES REQUIRED: 13 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 16 PARKING SPACES

VACUUM SPACES PROVIDED: 18

ACCESSIBLE PARKING SPACES REQUIRED: 1 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED: 1 PARKING SPACE

* ONE SPACE IS REQUIRED TO BE DESIGNATED FOR CLEAN AIR VEHICLE AND/OR CARPOOL USE

** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION

*** NUMBER OF PARKING STALLS IN ISOLATED AREA: 1

LOT 'B' (SCHEMATIC LAYOUT):

RETAIL: 1 SPACE PER 250 SF
5,775 SF = 23 SPACES
RESTAURANT: 1 SPACE PER 150 SF (NET CUSTOMER AREA)
10,945 SF = 73 SPACES

TOTAL PARKING SPACES REQUIRED: 96 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 110 PARKING SPACES

ACCESSIBLE PARKING SPACES REQUIRED: 6 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED: 6 PARKING SPACE

LOADING ZONE: 1 REQUIRED (10' X 35')

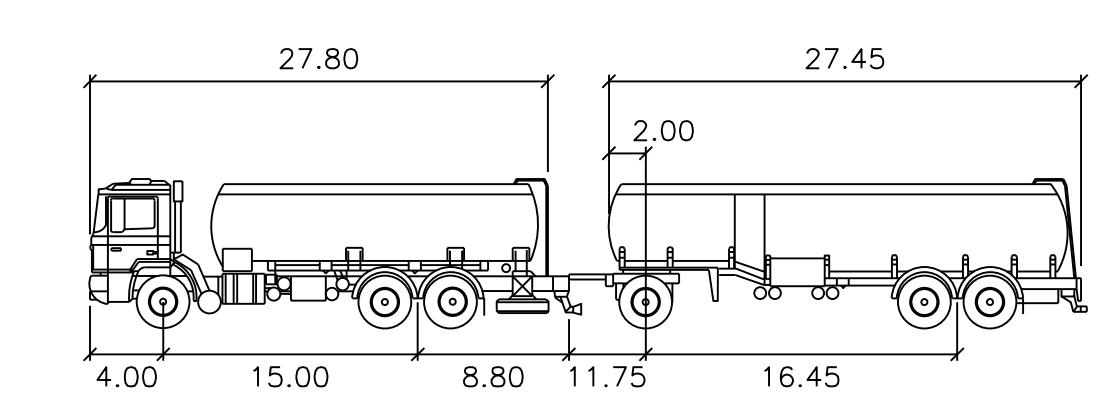
LOT 'A' SUMMARY:

MAXIMUM ALLOWED BUILDING HEIGHT: 30'
MAXIMUM PROPOSED BUILDING HEIGHT: ±27'

PROPOSED GROUND COVER SUMMARY:

Category	Area (SF)	Percentage
BUILDINGS	6,745 SF	(9.9%)
PARKING AND MANEUVERING	39,063 SF	(57.6%)
WALKWAYS	2,181 SF	(3.1%)
LANDSCAPE	20,009 SF	(29.4%)
TOTAL	67,998 SF	(100.0%)

FLOOR AREA RATIO (MAXIMUM ALLOWED): 1.00
FLOOR AREA RATIO (PROVIDED): 0.10



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

KEYED NOTES:

- EXISTING PROPERTY LINE, TYPICAL.
- PROPOSED TEMPORARY ACCESS ROAD.
- PROPOSED LOT LINE.
- PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED SOLID WASTE ENCLOSURE; REFER TO ARCHITECTURAL PLANS.
- PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED ACCESSIBLE PARKING SPACE.
- PROPOSED STANDARD PARKING SPACE, TYPICAL.
- PROPOSED LOCATION OF FUTURE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION COMPLYING WITH ALL REQUIREMENTS OF SECTION 5.106.5.3 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND SECTION 11B-812 OF THE 2016 CALIFORNIA BUILDING CODE.
- PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED LOCATION OF BIORETENTION FACILITIES.
- PROPOSED TEMPORARY ACCESSIBLE ROUTE TO RIGHT-OF-WAY.
- PROPOSED INTERSECTION IMPROVEMENTS, TYPICAL.

OWNER:

THE CARDINALE COMPANY
ORTC 1000 BURNETT AVE; SUITE 400
CONCORD, CA 94520
TEL: (925) 519-6671
FAX: (925) 240-6918
CONTACT: GEORGE CARDINALE

ARCHITECT:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: DANIEL B. GOALWIN, A.I.A.

DEVELOPER:

WOODCREEK OAKS PETROLEUM, INC.
301 NATOMA STREET, SUITE 102
FOLSOM, CA 95630
TEL: (281) 995-5679
CONTACT: MARC STRAUCH

ENGINEER:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: HAL P. GRUBB, P.E.

APPLICANT:

BARGHAUSEN CONSULTING ENGINEERS, INC.
915 HIGHLAND POINTE DRIVE, SUITE 250
ROSEVILLE, CA 95678
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: LESLIE BURNSIDE

LANDSCAPE:

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVE. SOUTH
KENT, WA 98032
TEL: (425) 251-6222
FAX: (425) 251-8782
CONTACT: JEFFREY VARLEY, R.L.A.

SHEET INDEX:

- SP-1 - PRELIMINARY SITE PLAN-OVERALL DEVELOPMENT
- SP-2 - PRELIMINARY SITE PLAN-OVERALL (LOT A)
- SP-3 - PRELIMINARY SITE PLAN-ENLARGED (LOT A)
- SN-1 - PRELIMINARY DEMOLITION PLAN
- SGM-1 - PRELIMINARY GRADING AND DRAINAGE PLAN

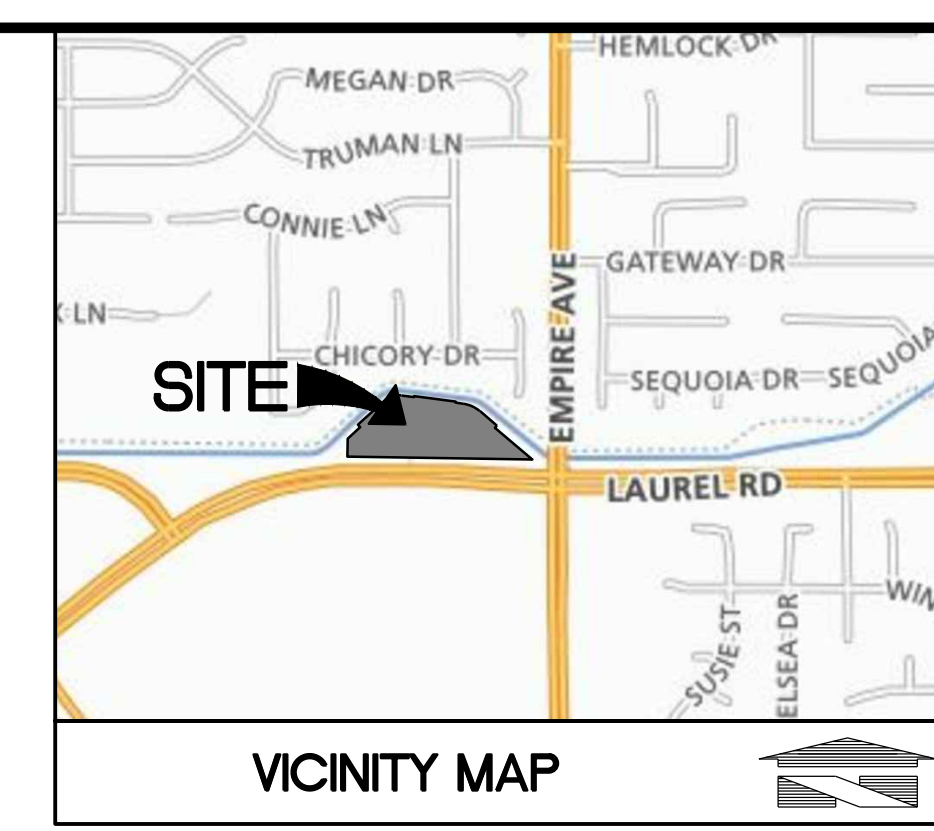
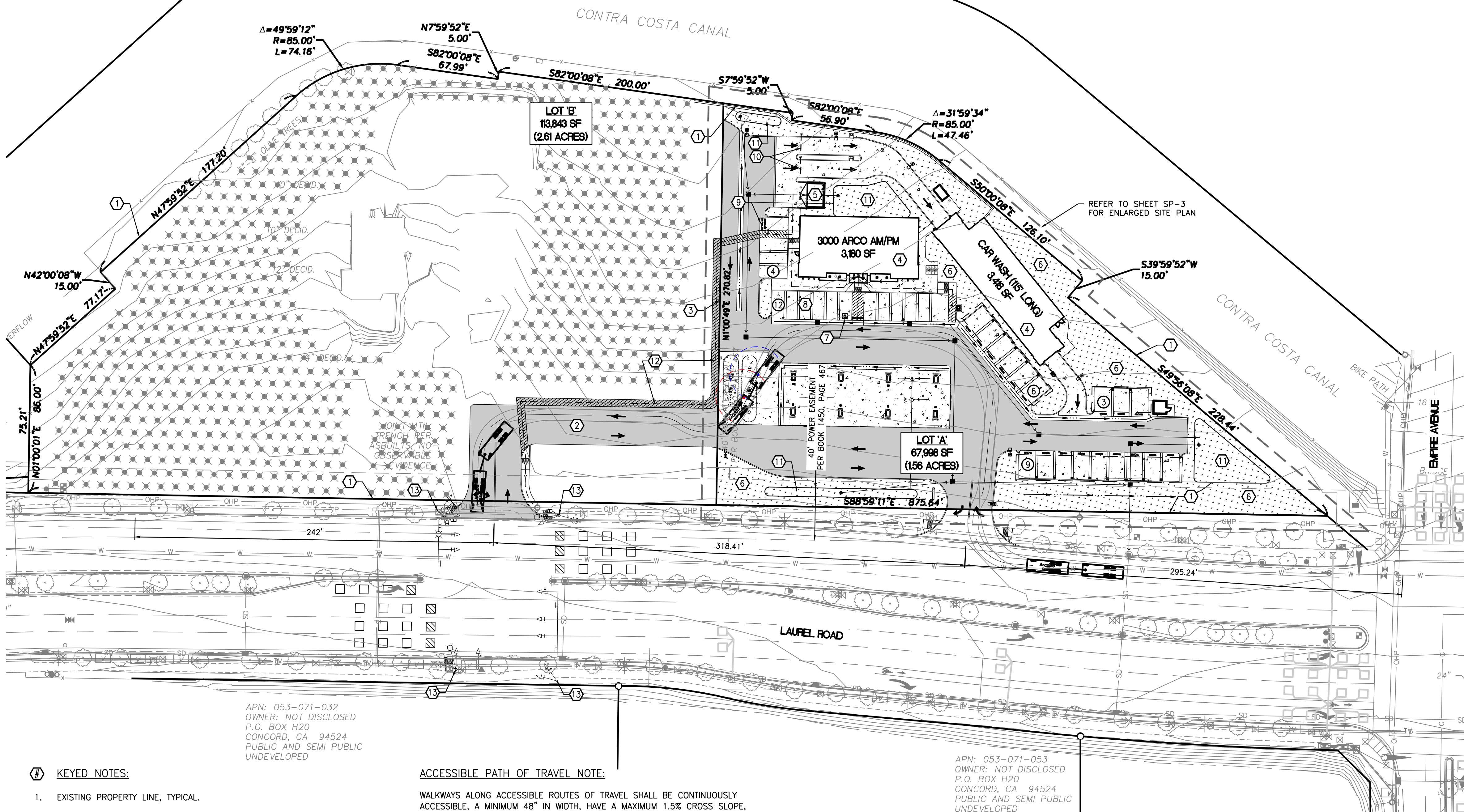
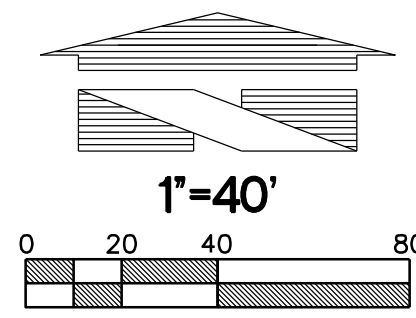
DEVELOPMENT PHASING NOTE:

ALL DEPICTED IMPROVEMENTS ON LOT 'B' ARE SCHEMATIC IN NATURE AND ARE SHOWN FOR REFERENCE ONLY. A SEPARATE ENTITLEMENT FOR SUBMITTAL FOR THE PROPOSED DEVELOPMENT OF LOT 'B' WILL BE MADE IN THE FUTURE.

Preliminary Not For Construction

SP-1

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-OVERALL (LOT A)



CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

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1	09/17/17	ENTITLEMENT SUBMITTAL
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SEAL:

PROJECT DATA:

LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE

A.P.N.: 041-042-002

ZONING DESIGNATION: GENERAL COMMERCIAL (C)

GENERAL PLAN DESIGNATION: COMMERCIAL

LOT AREA:

LOT 'A': 67,998 SF (1.56 ACRES)
LOT 'B': 113,843 SF (2.61 ACRES)

BUILDING SETBACKS:

FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
REAR YARD: 20' WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS:

LOT 'A':

C-STORE: 1 SPACE PER 400 SF + 1 PER EMPLOYEE + 1 AIR
3,180 SF / 400 SF = 8 SPACES
4 EMPLOYEE = 4 SPACES
1 AIR/WATER = 1 SPACE

TOTAL PARKING SPACES REQUIRED: 13 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 16 PARKING SPACES

VACUUM SPACES PROVIDED: 18

ACCESSIBLE PARKING SPACES REQUIRED: 1 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED: 1 PARKING SPACE

* ONE SPACE IS REQUIRED TO BE DESIGNATED FOR CLEAN AIR VEHICLE AND/OR CARPOOL USE

** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION

*** NUMBER OF PARKING STALLS IN ISOLATED AREA: 1

LOT 'A' SUMMARY:

MAXIMUM ALLOWED BUILDING HEIGHT: 30'
MAXIMUM PROPOSED BUILDING HEIGHT:

PROPOSED GROUND COVER SUMMARY:

BUILDINGS:	6,745 SF	(9.9%)
PARKING AND MANEUVERING:	39,063 SF	(57.6%)
WALKWAYS:	2,181 SF	(3.1%)
LANDSCAPE:	20,009 SF	(29.4%)
TOTAL:	67,998 SF	(100.0%)

FLOOR AREA RATIO (MAXIMUM ALLOWED): 1.00
FLOOR AREA RATIO (PROVIDED): 0.10

KEYED NOTES:

- EXISTING PROPERTY LINE, TYPICAL.
- PROPOSED TEMPORARY ACCESS ROAD.
- PROPOSED LOT LINE.
- PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED SOLID WASTE ENCLOSURE; REFER TO ARCHITECTURAL PLANS.
- PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED ACCESSIBLE PARKING SPACE.
- PROPOSED STANDARD PARKING SPACE, TYPICAL.
- PROPOSED LOCATION OF FUTURE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION COMPLYING WITH ALL REQUIREMENTS OF SECTION 5.106.5.3 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND SECTION 11B-812 OF THE 2016 CALIFORNIA BUILDING CODE.
- PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED LOCATION OF BIORETENTION FACILITIES.
- PROPOSED TEMPORARY ACCESSIBLE ROUTE TO RIGHT-OF-WAY.
- PROPOSED INTERSECTION IMPROVEMENTS, TYPICAL.

ACCESSIBLE PATH OF TRAVEL NOTE:

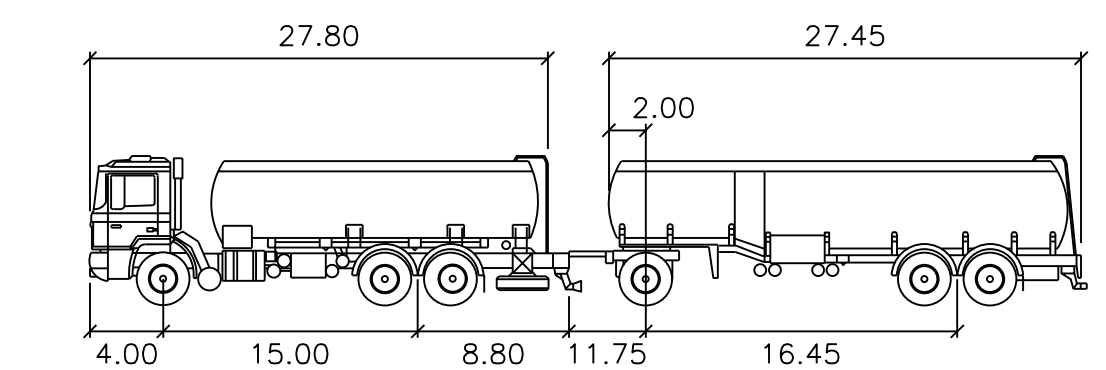
WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ADA STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ADA REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ADA REQUIREMENTS (SECTION 11B-705) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ADA STANDARDS.

DEMOLITION NOTE:

REFER TO DEMOLITION PLAN FOR ADDITIONAL PRELIMINARY INFORMATION.

APN: 053-071-032
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524
PUBLIC AND SEMI PUBLIC UNDEVELOPED

APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524
PUBLIC AND SEMI PUBLIC UNDEVELOPED



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

Preliminary Not For Construction

DEVELOPMENT INFORMATION:

ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY:	JAH	ALLIANCE TEAM:	
CHECKED BY:	HGC	BP REP:	
DRAWN BY:	JAH	ALLIANCE PM:	
VERSION:		PROJECT NO.:	18299

DRAWING TITLE:
PRELIMINARY SITE PLAN-OVERALL (LOT A)

SHEET NO:
SP-2

File: \\180005\18299\preliminary\18299.SP-1.dwg Date/Times: 9/17/2017 3:11:11 PM Scale: 1" = 40'

ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY SITE PLAN-ENLARGED (LOT A)

PROJECT DATA:

LOCATION: NWC OF LAUREL ROAD AND EMPIRE AVENUE

A.P.N.: 041-042-002

ZONING DESIGNATION: GENERAL COMMERCIAL (C)

GENERAL PLAN DESIGNATION: COMMERCIAL

LOT AREA:
LOT 'A': 67,998 SF (1.56 ACRES)

BUILDING SETBACKS:
FRONT YARD: TO BE DETERMINED DURING DESIGN REVIEW
SIDE YARD: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
INTERIOR SIDE: 0' WHEN ADJACENT TO COMMERCIAL/INDUSTRIAL
REAR YARD: 20' WHEN ADJACENT TO RESIDENTIAL

PARKING CALCULATIONS:

LOT 'A':

C-STORE: 1 SPACE PER 400 SF + 1 PER EMPLOYEE + 1 AIR	13 PARKING SPACES
3,180 SF / 400 SF = 8 SPACES	16 PARKING SPACES
4 EMPLOYEE = 4 SPACES	
1 AIR/WATER = 1 SPACE	
TOTAL PARKING SPACES REQUIRED:	13 PARKING SPACES
TOTAL PARKING SPACES PROVIDED:	16 PARKING SPACES
VACUUM SPACES PROVIDED:	18
ACCESSIBLE PARKING SPACES REQUIRED:	1 PARKING SPACE
ACCESSIBLE PARKING SPACES PROVIDED:	1 PARKING SPACE

* ONE SPACE IS REQUIRED TO BE DESIGNATED FOR CLEAN AIR VEHICLE AND/OR CARPOOL USE

** ONE SPACE IS REQUIRED TO BE PROVIDED FOR FUTURE ELECTRIC VEHICLE CHARGING STATION

*** NUMBER OF PARKING STALLS IN ISOLATED AREA:

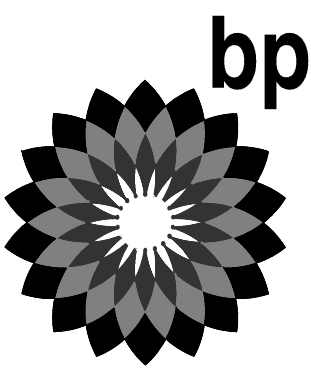

LOT 'A' SUMMARY:

MAXIMUM ALLOWED BUILDING HEIGHT:	30'
MAXIMUM PROPOSED BUILDING HEIGHT:	
PROPOSED GROUND COVER SUMMARY:	
BUILDINGS:	6,618 SF (9.7%)
PARKING AND MANEUVERING:	39,106 SF (57.6%)
WALKWAYS:	2,265 SF (3.3%)
LANDSCAPE:	20,009 SF (29.4%)
TOTAL:	67,998 SF (100.0%)

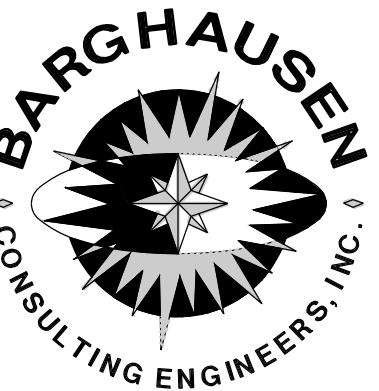
FLOOR AREA RATIO (MAXIMUM ALLOWED): 1.00

FLOOR AREA RATIO (PROVIDED): 0.10

CLIENT:

BP WEST COAST PRODUCTS, LLC

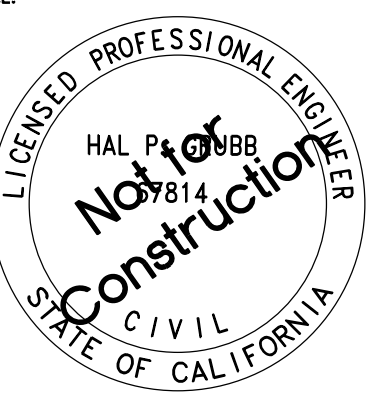
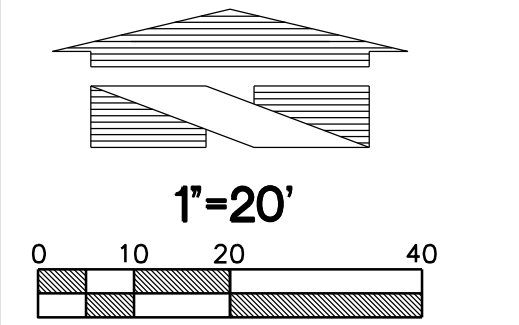
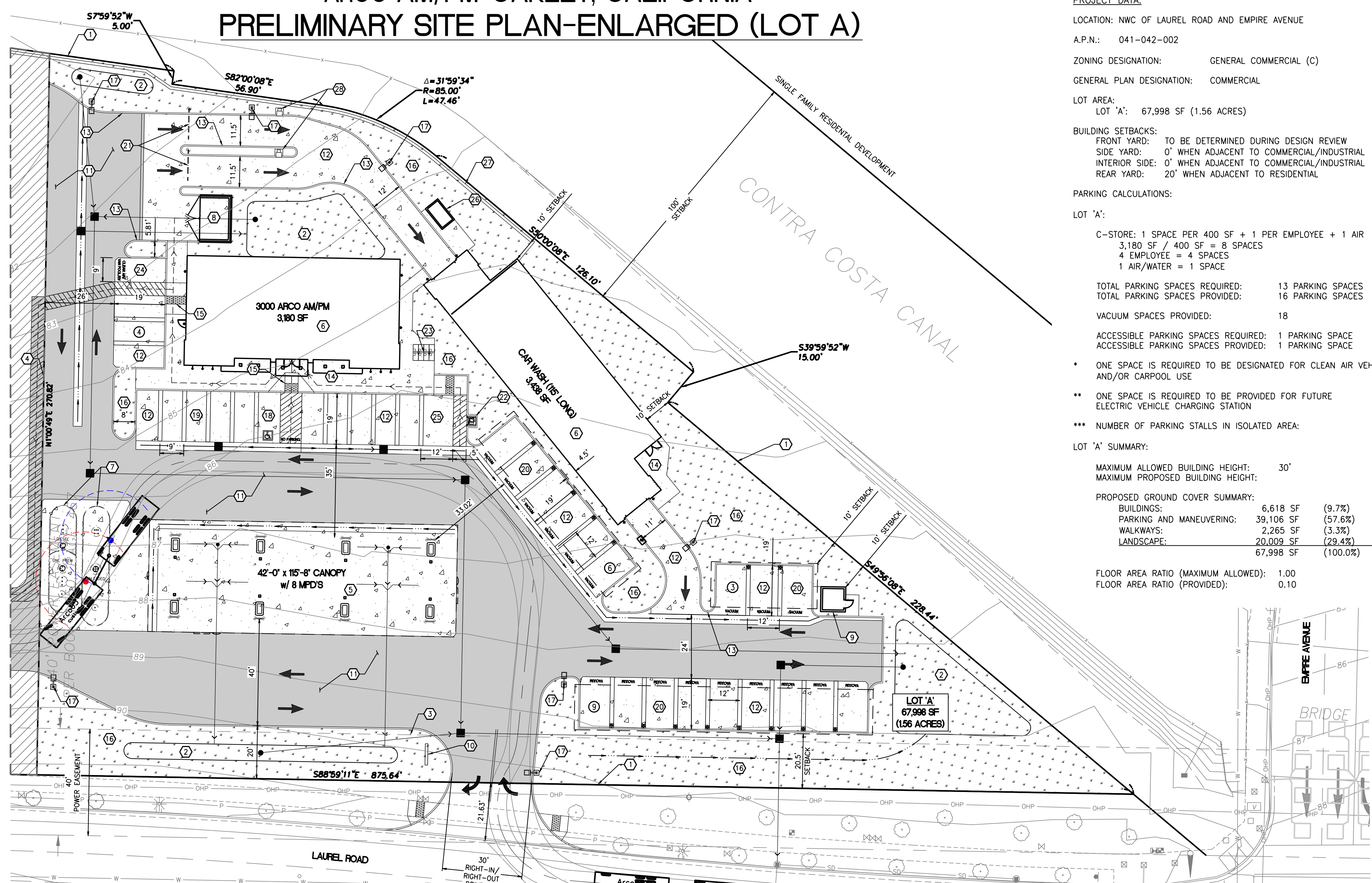


18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

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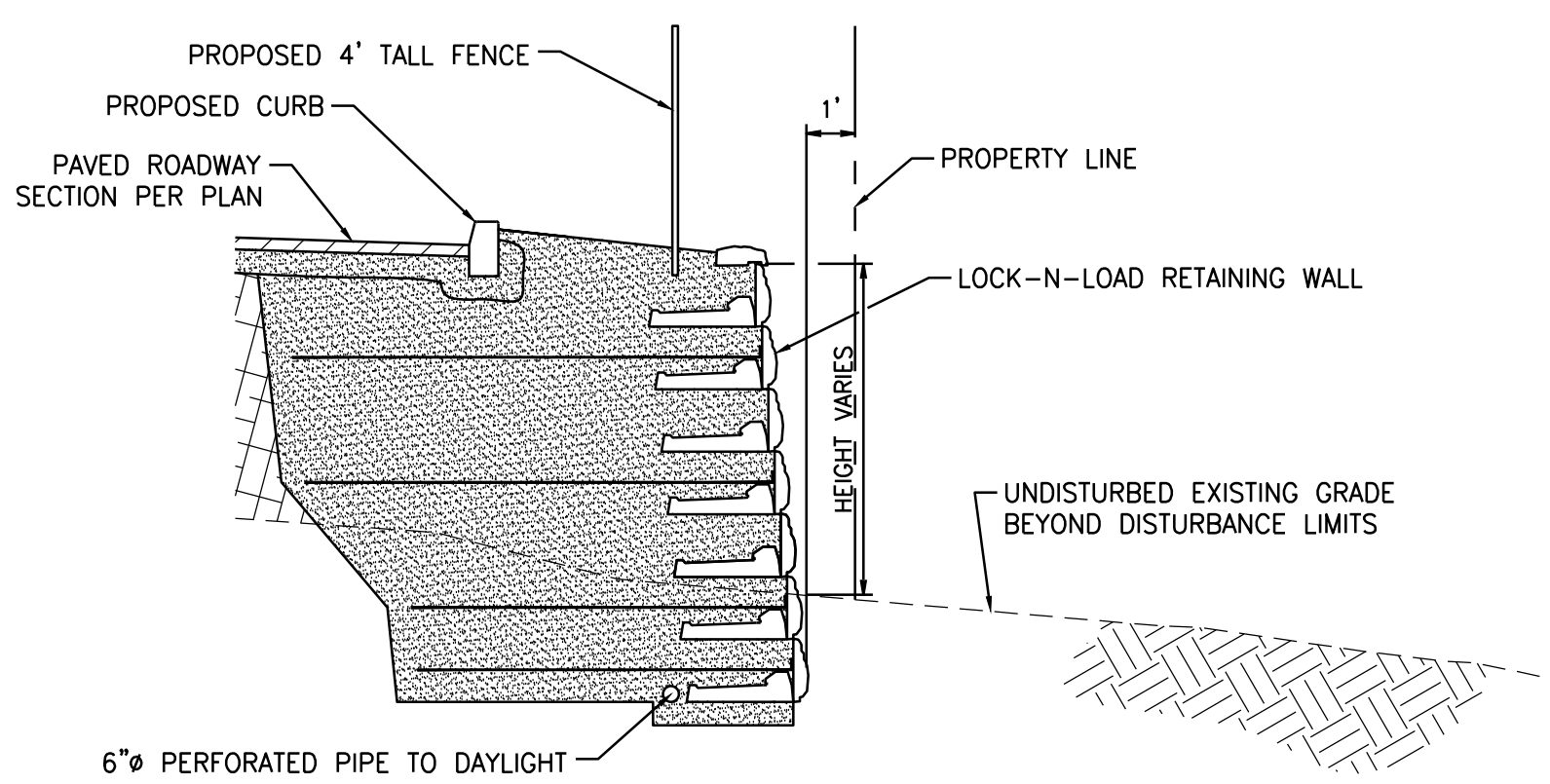
SEAL:

- KEYED NOTES:**
- EXISTING PROPERTY LINE, TYPICAL.
 - PROPOSED BIORETENTION FACILITY
 - EXISTING EASEMENT, WIDTH AND DESCRIPTION AS NOTED, TYPICAL.
 - PROPOSED LOT LINE.
 - PROPOSED FUEL ISLAND WITH OVERHEAD CANOPY; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED BUILDING AS NOTED; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED UNDERGROUND STORAGE TANKS.
 - PROPOSED SOLID WASTE ENCLOSURE (12'x18'), REFER TO ARCHITECTURAL PLANS.
 - PROPOSED VACUUM EQUIPMENT ENCLOSURE (9.3'x9.3'), REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED DOUBLE-SIDED PRICE SIGN; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED ASPHALT PAVING, TYPICAL.
 - PROPOSED CONCRETE PAVING, TYPICAL.
 - PROPOSED CONCRETE CURB, TYPICAL.
 - PROPOSED CONCRETE SIDEWALK, WIDTH VARIES, TYPICAL.
 - PROPOSED ACCESSIBLE COMPLIANT CURB RAMP, TYPICAL.
 - PROPOSED LANDSCAPING AREA; REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION, TYPICAL.
 - PROPOSED SITE LIGHTING, TYPICAL.
 - PROPOSED ACCESSIBLE COMPLIANT PARKING SPACE.
 - PROPOSED STANDARD PARKING SPACE (9'x19'), TYPICAL OF 16.
 - PROPOSED VACUUM PARKING SPACE, TYPICAL OF 18.
 - PROPOSED LOCATION OF CAR WASH CLEARANCE BAR; REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - PROPOSED LOCATION OF AIR/WATER UNIT.
 - PROPOSED BICYCLE PARKING SPACE (2'x6'), TYPICAL OF 4.
 - PROPOSED LOCATION OF CLEAN AIR/VAN POOL/EV PARKING SPACE COMPLYING WITH SECTION 5.106.5.2 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS.
 - PROPOSED LOCATION OF FUTURE VAN ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION COMPLYING WITH ALL REQUIREMENTS OF SECTION 5.106.5.3 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AND SECTION 11B-812 OF THE 2016 CALIFORNIA BUILDING CODE.
 - PROPOSED LOCATION FOR ATTENDANT BOOTH.
 - PROPOSED LOCK+LOAD RETAINING WALL; REFER TO DETAIL THIS SHEET.
 - PROPOSED CAR-WASH PAY STATION.

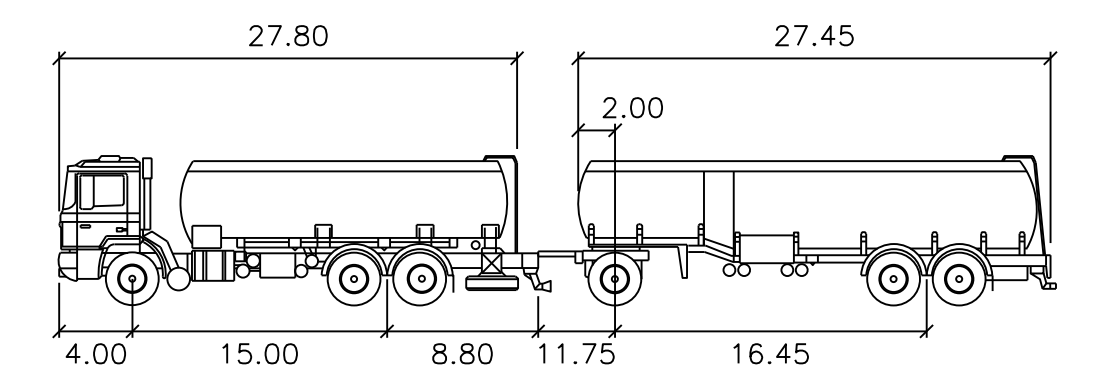
DEMOLITION NOTE:
REFER TO DEMOLITION PLAN FOR ADDITIONAL PRELIMINARY INFORMATION.

ACCESSIBLE PATH OF TRAVEL NOTE:
WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ADA STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ADA REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ADA REQUIREMENTS (SECTION 11B-705) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ADA STANDARDS.



TYPICAL WALL SECTION - WITH FILL
NOT TO SCALE

APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524



Arco65' feet

First Part Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 35.0
First Part Track	: 7.70	Articulating Angle	: 70.0
Trailer Track	: 7.70		

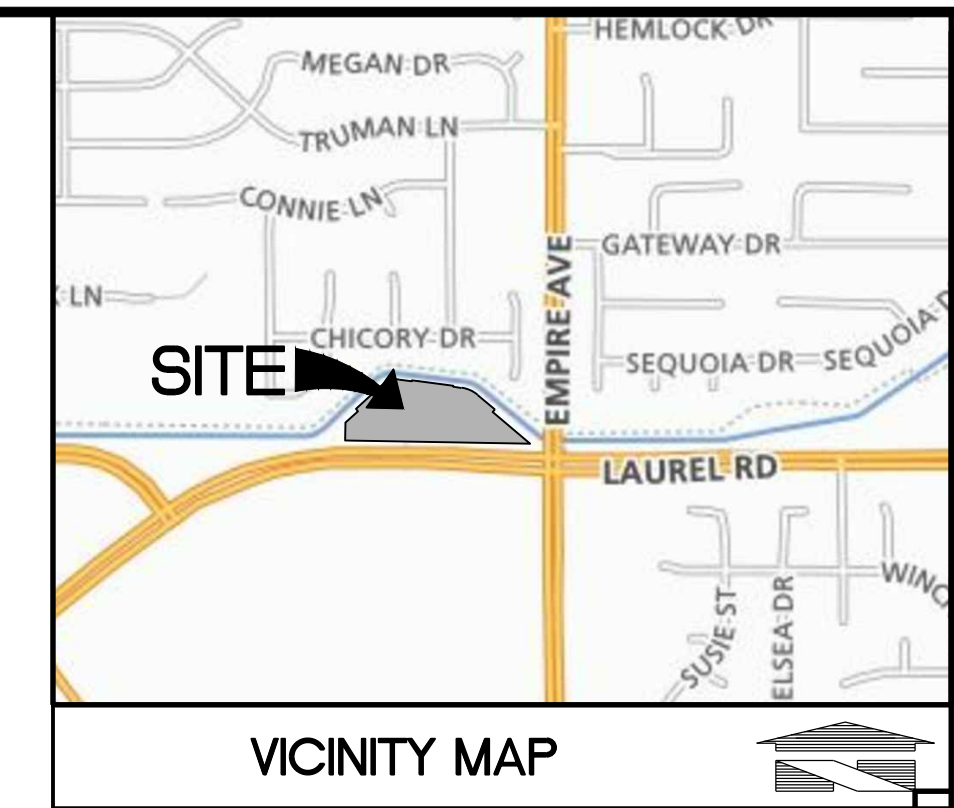
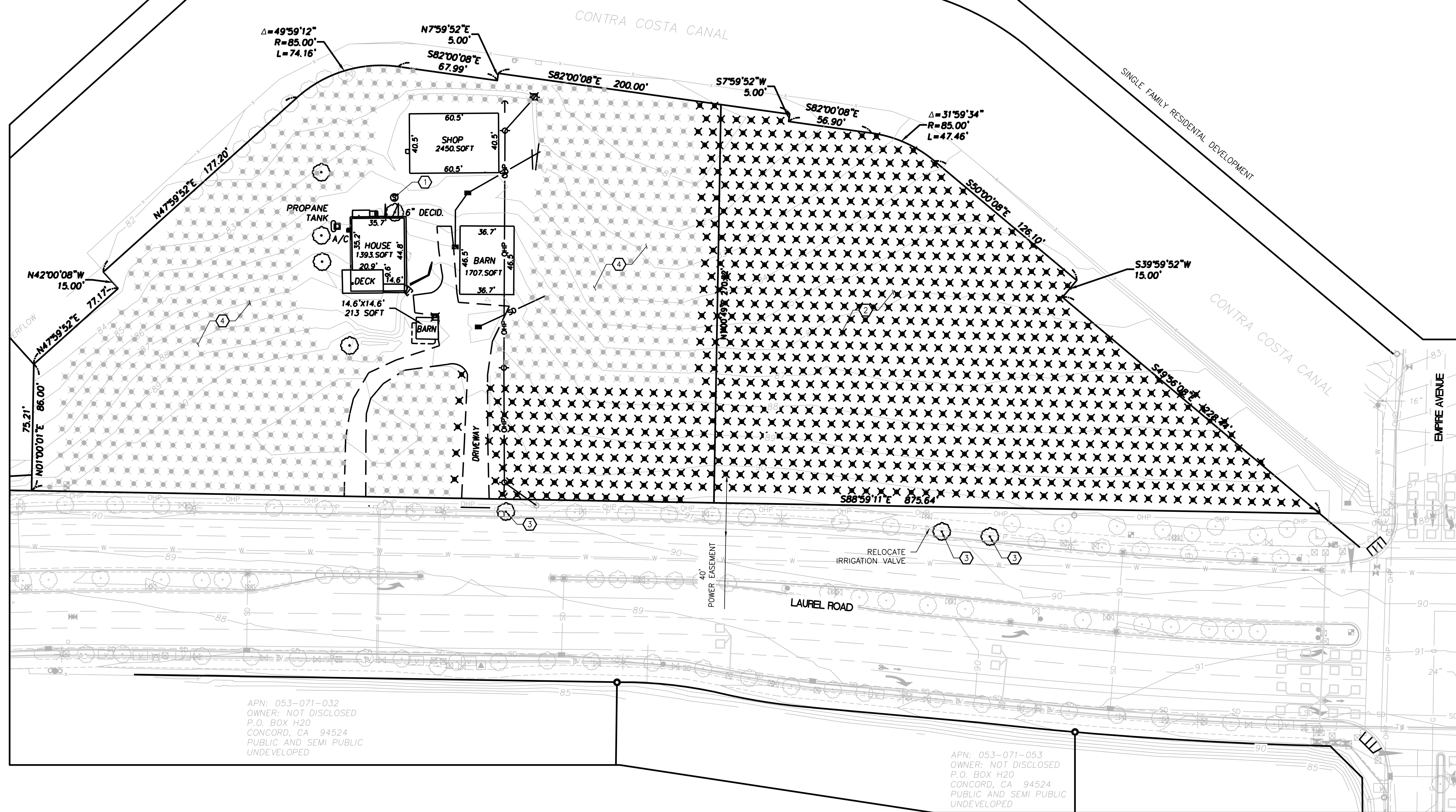
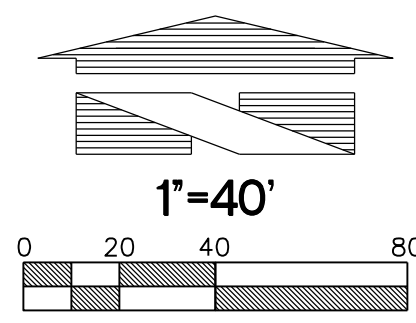


Preliminary Not For Construction

SP-3

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ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY DEMOLITION PLAN



DEMOLITION NOTES:

1. ALL EXISTING ON-SITE STRUCTURES, FOUNDATIONS, SURFACING, ETC. TO BE DEMOLISHED AND REMOVED TO ACCOMMODATE PROPOSED IMPROVEMENTS.
2. EXISTING GRAPE VINES TO BE REMOVED TO ACCOMMODATE PROPOSED IMPROVEMENTS.
3. EXISTING TREE TO BE REMOVED.
4. EXISTING GRAPE VINES TO REMAIN (PROTECT IN-PLACE).

CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

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SEAL:

DEVELOPMENT INFORMATION:

ARCO NTI

3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:

NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY: JAH ALLIANCE ZBDN:
CHECKED BY: HPG BP REP:
DRAWN BY: JAH ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:

PRELIMINARY
DEMOLITION PLAN

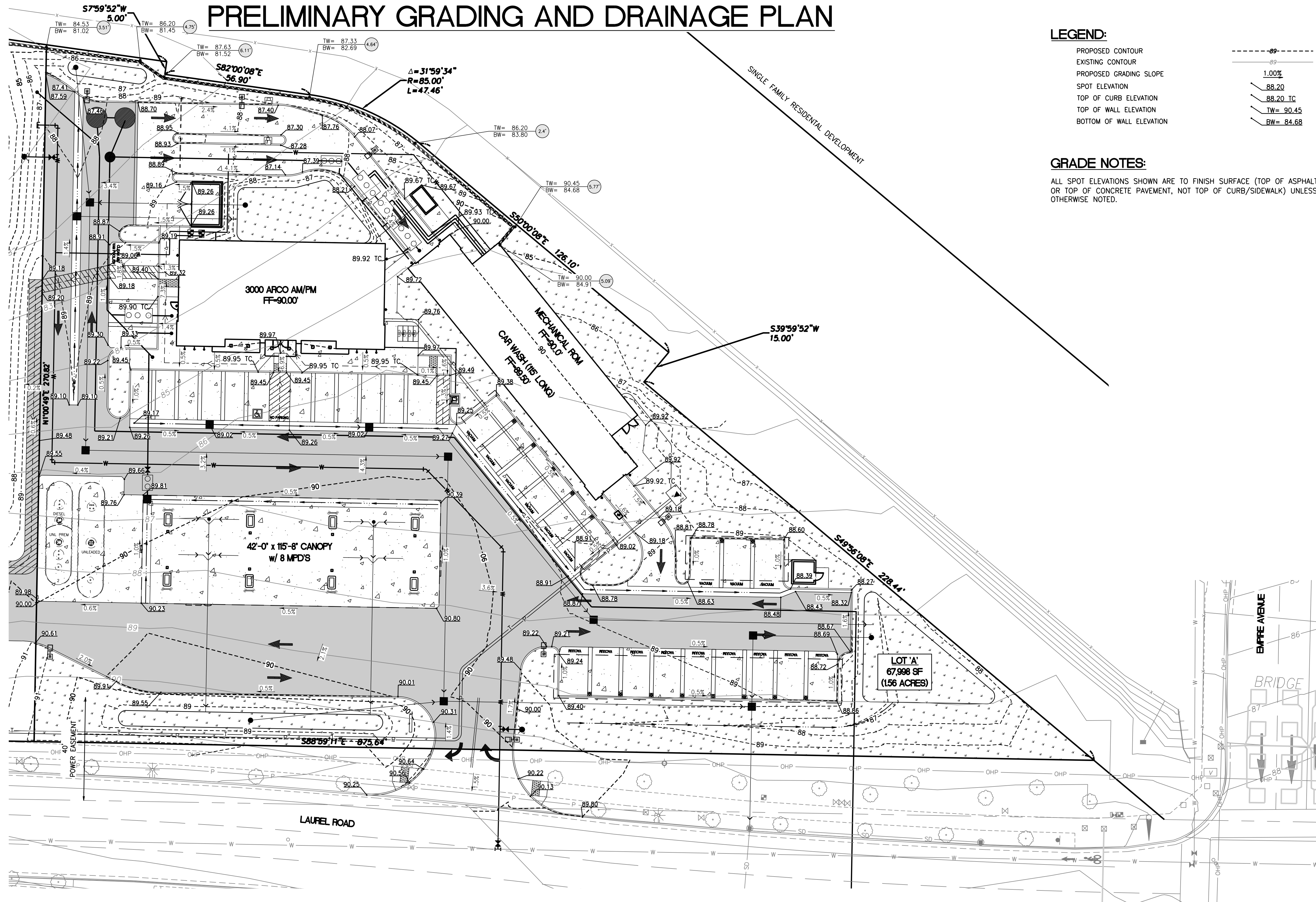
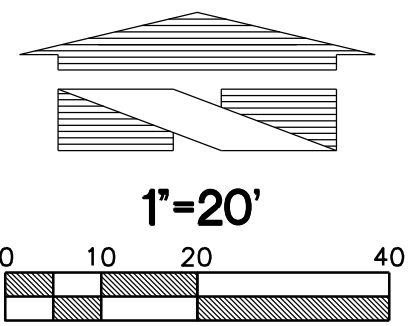
SHEET NO:

Preliminary Not For Construction

SN-1

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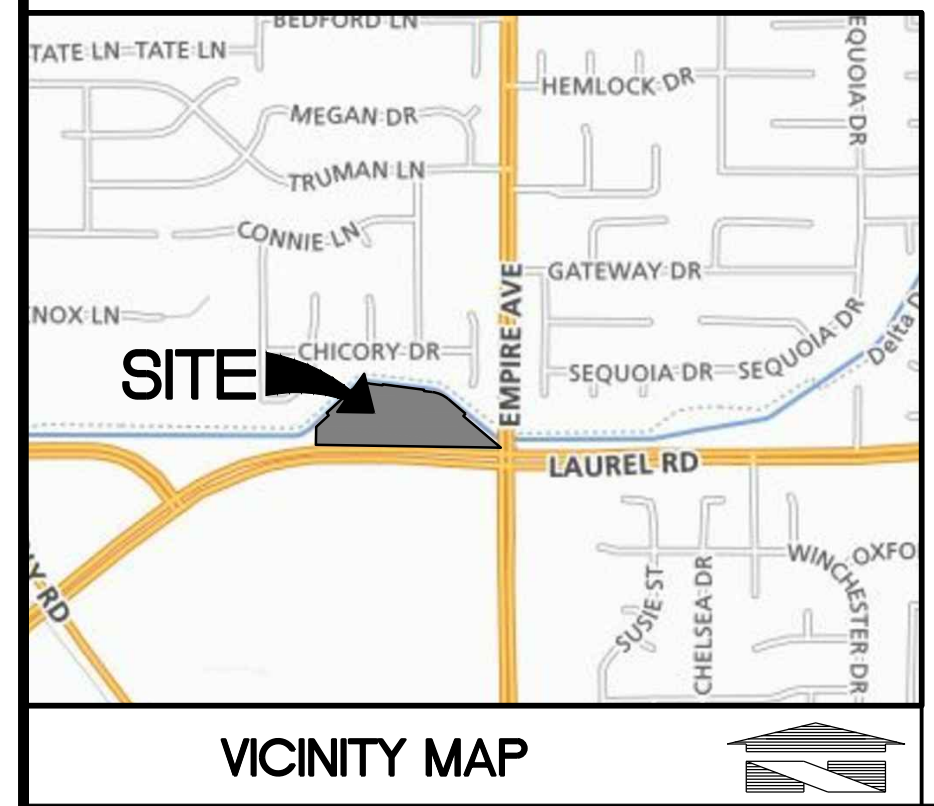
ARCO AM/PM-OAKLEY, CALIFORNIA PRELIMINARY GRADING AND DRAINAGE PLAN



LEGEND:

PROPOSED CONTOUR	---
EXISTING CONTOUR	---
PROPOSED GRADING SLOPE	1.00%
SPOT ELEVATION	88.20
TOP OF CURB ELEVATION	88.20 TC
TOP OF WALL ELEVATION	TW= 90.45
BOTTOM OF WALL ELEVATION	BW= 84.68

GRADE NOTES:
ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.



APN: 053-071-053
OWNER: NOT DISCLOSED
P.O. BOX H20
CONCORD, CA 94524

Preliminary Not For Construction

ESTIMATED EARTHWORK QUANTITIES:

CUT: ±2,100 CY
FILL: ±8,700 CY
NET: ±6,600 CY (FILL)
AREA TO BE DISTURBED = ±1.73 AC

NOTE: THE ABOVE LISTED EARTHWORK VOLUMES ARE APPROXIMATE BASED UPON EXISTING GRADES AND THE PROPOSED FINISH GRADES OF THE SITE. AN ALLOWANCE FOR CUT/FILL VOLUMES HAS BEEN ASSUMED FOR THE INSTALLATION OF THE TANKS AND THE CONSTRUCTION OF THE BIOFILTRATION FACILITIES. THESE QUANTITIES MAY BE SUBJECT TO CHANGE AT THE TIME OF CONSTRUCTION DOCUMENT PREPARATION.

CLIENT:

BP WEST COAST PRODUCTS, LLC

18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION
1	09/17/17	ENTITLEMENT SUBMITTAL
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SEAL:

DEVELOPMENT INFORMATION:

ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:

NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

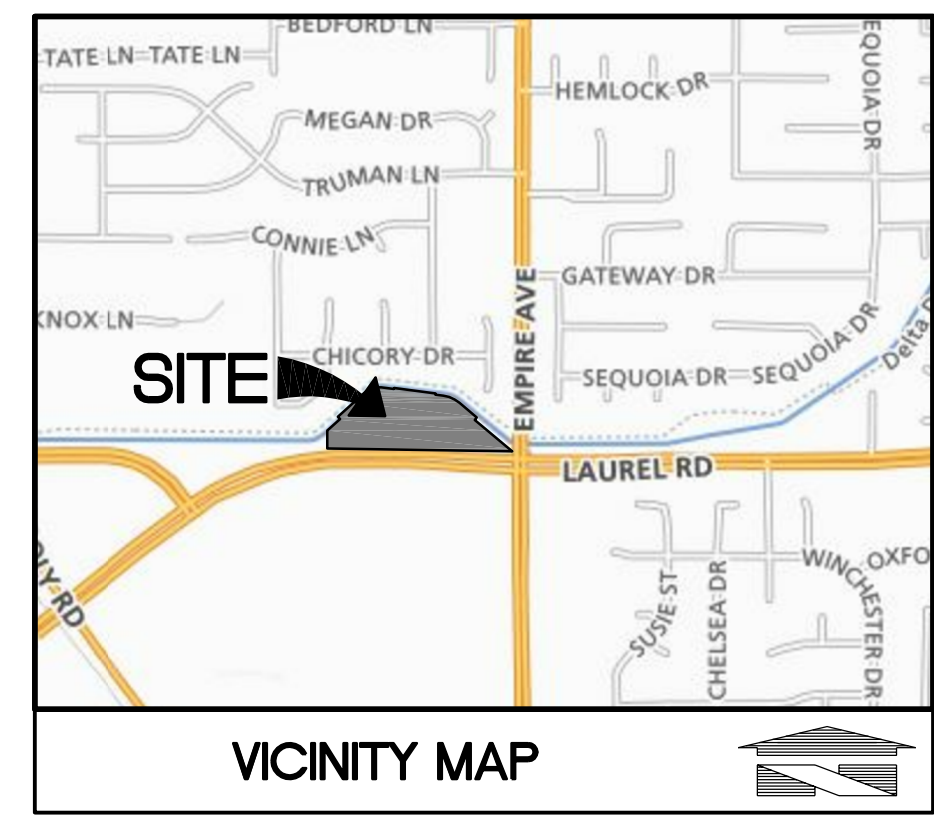
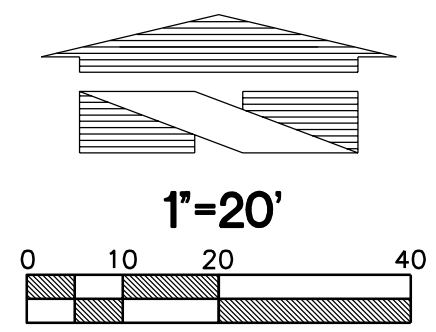
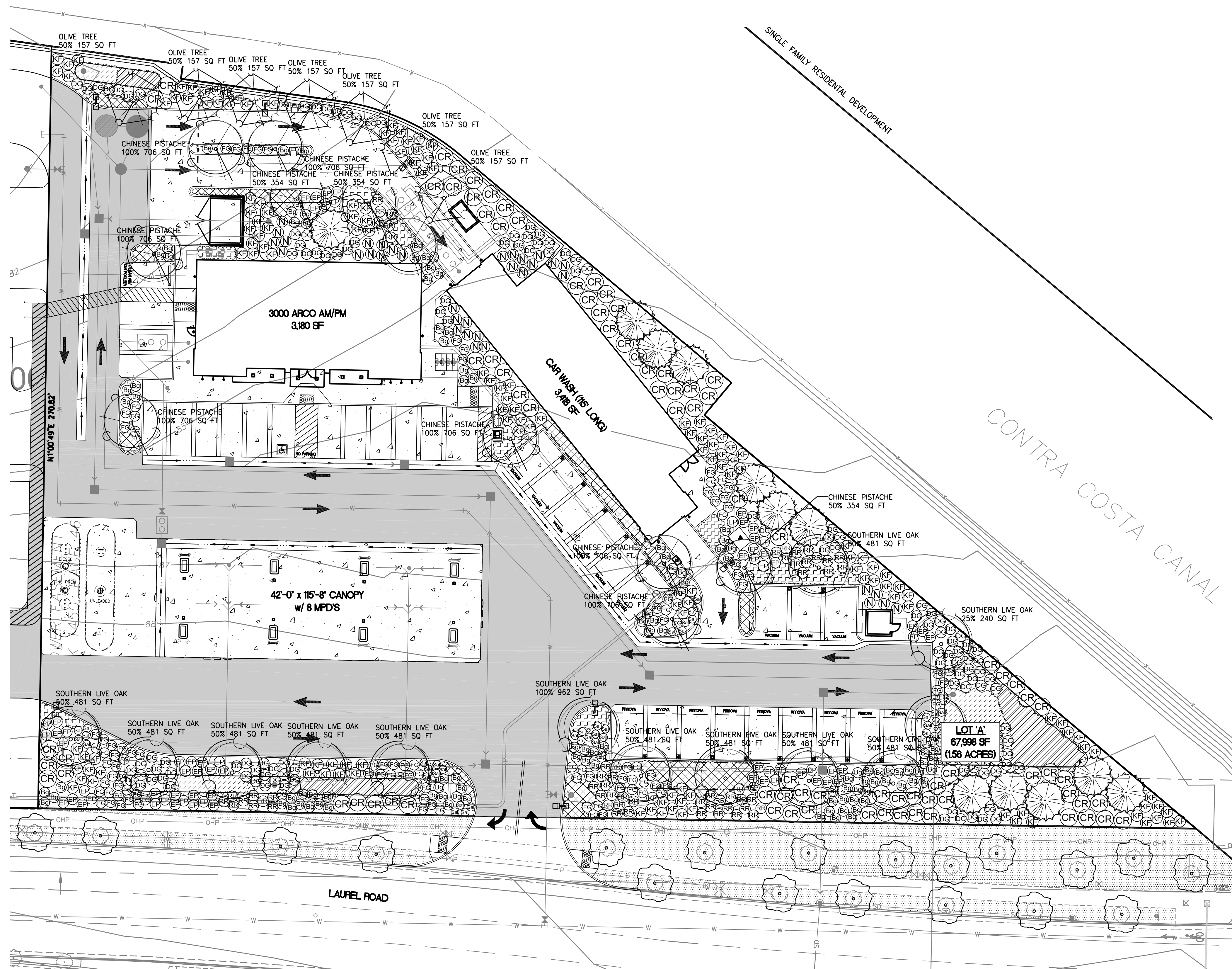
FACILITY #TBD

DESIGNED BY: MRS ALLIANCE ZADM:
CHECKED BY: JAH BP REPA:
DRAWN BY: MRS ALLIANCE PM:
VERSION: PROJECT NO:
18299

DRAWING TITLE:
**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

SHEET NO:
SGM-1

PRELIMINARY LANDSCAPE and IRRIGATION SET

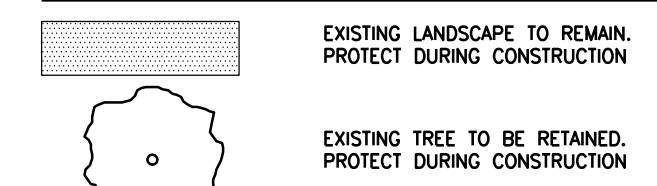


PARKING LOT SHADING REQUIREMENTS

TOTAL NET PARKING LOT SQUARE FOOTAGE: 33,377 SQUARE FEET

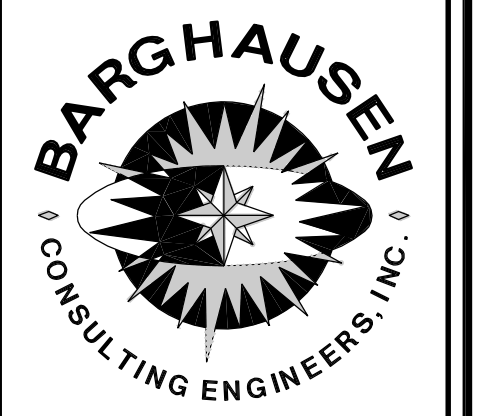
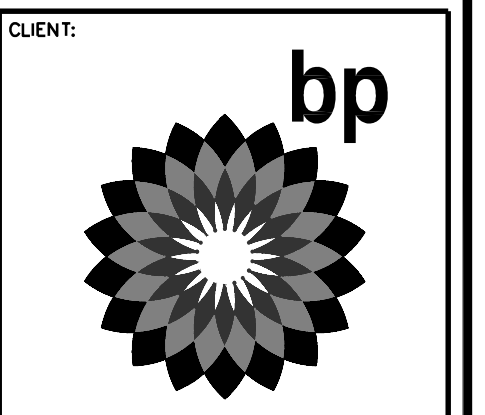
SYMBOL	BOTANICAL/Common NAMES	QTY AT 100%	QTY AT 75%	QTY AT 50%	QTY AT 25%	TOTAL
	PISTACHE CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE	7 AT 100% 4,942 SQ FT		3 AT 50% 1,062 SQ FT		6,004
	OLEA EUROPAEA 'SWAN HILL' / OLIVE		7 AT 50% 1,099 SQ FT			1,099
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	1 AT 100% 962 SQ FT		10 AT 50% 4,810 SQ FT	1 AT 25% 240 SQ FT	6,012
						TOTAL TREE SHADE 13,115 sq. ft.
						TOTAL SHADE REQ'D PERCENT SHADE

LANDSCAPE LEGEND



PLANT SCHEDULE

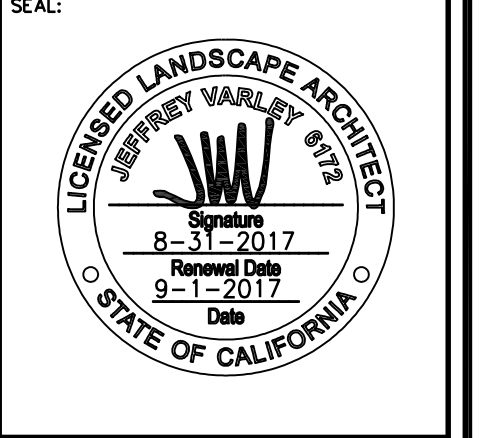
SYMBOL	BOTANICAL/Common NAMES	SIZE CONDITION	SPACING	QUANTITY	WUCOLS IV IRRIGATION CLASSIFICATION	REMARKS
TREES:						
	PISTACHE CHINENSIS 'KEITH DAVEY' / CHINESE PISTACHE	24" BOX	AS SHOWN	11	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	OLEA EUROPAEA 'SWAN HILL' / FRUITLESS OLIVE TREE	24" BOX	AS SHOWN	7	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	24" BOX	AS SHOWN	13	MODERATE	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN, BRANCHED AT 6'
	ARBUTUS UNEDO / STRAWBERRY TREE	15 GALLON	AS SHOWN	12	LOW	STAKE & GUY ONE GROWING SEASON; NURSERY GROWN
SHRUBS:						
	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO	5 GALLON	AS SHOWN	35	LOW	FULL & BUSHY
	CISTUS SALVIFOLIUS 'PROSTRATUS' / SAGELEAF ROCKROSE	5 GALLON	AS SHOWN	56	LOW	FULL & BUSHY
	WESTRINGIA FRUITICOSA / COAST ROSEMARY	5 GALLON	AS SHOWN	83	LOW	FULL & BUSHY
ORNAMENTAL GRASSES and GROUNDCOVERS:						
	CALAMAGROSTIS ACUT. 'KARL FODERSTER' / FEATHER REED GRASS	1 GALLON	AS SHOWN	147	LOW	FULL & BUSHY
	MULLENBERGIA RIGENS / DEER GRASS	1 GALLON	AS SHOWN	134	LOW	FULL & BUSHY
	HELICTOTRICHON SEMP. 'SAPPHIRE' / BLUE OAT GRASS	1 GALLON	AS SHOWN	108	LOW	FULL & BUSHY
	PENNISETUM ALOPECUROIDES 'HAMELI' / FOUNTAIN GRASS	1 GALLON	AS SHOWN	100	LOW	FULL & BUSHY
	SALVIA MICROPHYLLA 'BERZERKELEY' / SALVIA	1 GALLON	AS SHOWN	42	LOW	FULL & BUSHY
	EURYOPS PECTINATUS / GOLDEN SHRUB DASY	1 GALLON	AS SHOWN	67	LOW	FULL & BUSHY
	DYMONDIA MARGARETAE / DYMONDIA	1 GALLON	24" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	APTEANA 'RED APPLE' / BABY SUN ROSE	1 GALLON	24" O.C.	AS REQ'D	LOW	HOLD BACK 16" FROM BORDERS, TREES, AND SHRUBS
	DESCHAMPSIA CAESPITOSA 'NORTHERN LIGHTS' / TUFTED HAIR GRASS	1 GALLON	24" O.C.	AS REQ'D	LOW	FULL & BUSHY
	JUNCUS PATENS / CALIFORNIA GREY SEDGE	1 GALLON	24" O.C.	AS REQ'D	MEDIUM	FULL & BUSHY; NATIVE



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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD'S
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

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CHECKED BY: JMV BP REPA:
DRAWN BY: JMV ALLIANCE PM:
VERSION: PROJECT NO:
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DRAWING TITLE:
PRELIMINARY
LANDSCAPE and
IRRIGATION SET

SHEET NO:

Preliminary Not For Construction

L-1

PRELIMINARY LANDSCAPE and IRRIGATION SET

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90-DAY MAINTENANCE.

QUALIFICATIONS:
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:
DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. AN IRRIGATION SYSTEM IS TO BE INSTALLED. DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

GUARANTEE:
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

90-DAY MAINTENANCE:
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 90 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

PLANT MATERIALS:
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1996). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

- SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- QUALITY:
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS, ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION.
PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED.
PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- SUBSTITUTION:
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

SOIL PREPARATION:
ARE SPECIFIC TO THIS SITE. THE FOLLOWING: TOPSOIL, AMENMENT, AND BACKFILL ARE REQUIREMENTS FOR ALL LANDSCAPE AREAS.

- TOPSOIL
AS A MINIMUM SUPPLY TOPSOIL CONSISTING OF LOAM SOIL WITH 5 TO 7 PERCENT ORGANIC MATTER. TOPSOIL TO BE AMENDED WITH SPECIFIC AMENDMENTS IN C)1., 2., 3., AND 4. BELOW, AND BE BLENDED TO SPECIFIED DEPTH IN E.), BELOW. LOAM TO CORRESPOND TO FIELD METHOD OF DETERMINING SOIL TEXTURE CLASSES FOR LOAM AND SILT LOAM, U.S. SOIL CONSERVATION SERVICE. PROVIDE LANDSCAPE ARCHITECT THE TOPSOIL SUPPLIER AND SAMPLE OF TOPSOIL. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE SOURCES.
- BIORETENTION SOIL MIX BY L.H. VOSS, OR APPROVED EQUAL. PHONE 925-560-9920 INSTALL TO DEPTH AS SHOWN IN CIVIL ENGINEERING SET. LANDSCAPE CONTRACTOR TO PROVIDE SOIL SPECIFICATION AND SOURCE TO LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION
- NATIVE SURFACE SOIL INCLUDING STOCKPILED TOPSOIL
SURFACE SOIL ON-SITE MAY MEET TEXTURAL CLASSIFICATION AS NOTED IN A), ABOVE. PROVIDE AMENDMENTS IN C)1., 2., 3., AND 4. BELOW, AND EVENLY BLEND AMENDMENTS TO SPECIFIED DEPTH.
- AMENDMENT
1. TOPSOIL FOR PLANTING SHALL CONTAIN A MINIMUM OF 10 PERCENT ORGANIC MATERIAL BY VOLUME.
2. ORGANIC COMPOST
USE BULK NITROGEN FORTIFIED GROUND FIR BARK SHALL SATISFY ORGANIC REQUIREMENTS. COMPOST SHALL BE FROM NON-FARM ANIMAL SOURCES, NOR FROM SOURCES CONTAINING REDWOOD/ CEDAR PRODUCTS.
3. FERTILIZER
INSTALLATION FERTILIZER SHALL BE 10-20-10.
MAINTENANCE FERTILIZER SHALL BE 21-0-0.
AGRIFORM TABLETS SHALL BE 21 AND 5 GRAM SIZE, 20-10-5 BY AGRIFORM INTERNATIONAL CHEMICALS, INC. OR EQUIVALENT.
4. SOIL AMENDMENTS
SOIL SULFUR 5 POUNDS PER 1,000 SF
GYPSUM 25 POUNDS PER 1,000 SF
FERTILIZER (10-20-10) 10 POUNDS PER 1,000 SF
MANGANESE SULFATE 8 OUNCES PER 1,000 SF
ORGANIC COMPOST (2" LAYER) 6 CUBIC YARDS PER 1,000 SF
NITROFORM (38-0-0) 18 POUNDS PER 1,000 SF
NOTE: IN ORDER TO MORE UNIFORMLY APPLY THE SMALL AMOUNT OF MANGANESE SULFATE REQUIRED, IT SHOULD BE DISSOLVED IN AN APPROPRIATE AMOUNT OF WATER AND SPRAYED TO THE SOIL SURFACE PRIOR TO THE ROTOTILLING PROCEDURE.
- PLANTING BACKFILL
BACKFILL MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL BE PREMIXED AND CONSIST OF:
SITE SOIL 0.8 CUBIC YARDS
ORGANIC AMENDMENT 0.2 CUBIC YARDS
FERTILIZER 38-0-0 1.0 POUND
CALCIUM CARBONATE LIMESTONE

SLOW RELEASE FERTILIZER TABLETS:

CONTAINER SIZE	# OF TABLETS
FLAT	1 5 GRAM
1 GALLON	3 5 GRAM
5 GALLON	3 21 GRAM
15 GALLON	16 21 GRAM
24" BOX	32 21 GRAM

F) SOIL ANALYSIS
SOIL AMENDMENTS ARE BASED ON SOIL TEST AND ANALYSIS FROM NORTHERN LIGHTS ANALYTICAL & CONSULTING INC., SAMPLE TAKEN FROM THE SITE OCTOBER 31, 2008 AND ANALYSIS AND RECOMMENDATIONS DATED SEPTEMBER 11, 2008. JOB NUMBER 80614, LAB. NUMBER 08-249-0034.

G) SOIL PREPARATION
REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERIFY SUB-GRADES AT -5 INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUNDCOVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR FILLING AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.

REMOVE ALL SURFACE LUMPS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1-INCH FROM ALL GRADES PRIOR TO ANY SOIL PREPARATION. THOROUGHLY ROTOTILL ALL LANDSCAPE AREAS TO A DEPTH OF 6 INCHES. PLACE ADDITIONAL AMENDED SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO THE TOP 6 INCHES OF SOIL.

WET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTION PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT AERATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH SURFACE OF ADJACENT PAVEMENT IN SHRUB AND GROUNDCOVER AREAS. FINISH GRADES TO BE APPROVED PRIOR TO PLACEMENT OF ANY PLANT MATERIAL. PARKING PLANTER ISLANDS SHALL BE OVER EXCAVATED. REMOVE ALL PAVING WASTE, GRAVEL BASE AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF THE PAVING. SCARIFY AND OVER EXCAVATE PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

MULCH:
ONE-QUARTER-INCH (1/4") TO ONE HALF-INCH (1/2") SIZE FINE TEXTURED NITROLIZED BARK MULCH. SHREDDED WOOD WILL NOT BE ALLOWED.

STAKES:
2-INCH DIAMETER, BY 10-FOOT MINIMUM TREATED LODGEPOLE PINE TREE STAKE.

GUY MATERIAL:
CINCH TYPE TIES. NO WIRE WILL BE ALLOWED.

HERBICIDE:
HERBICIDE IS NOT RECOMMENDED FOR THE FIRST YEAR AFTER INSTALLATION.

ANTI-DESICCANT:
"WILT-PROOF," 48 HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1 THROUGH SEPTEMBER. THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

EXECUTION:

FINISH GRADES:
FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

TREES:
ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES AND SUPPORTS TO STAND VERTICAL. TREES TO BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

SHRUBS:
INSTALL SHRUBS AS SPECIFIED FOR TREES.

GROUNDCOVERS:
EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

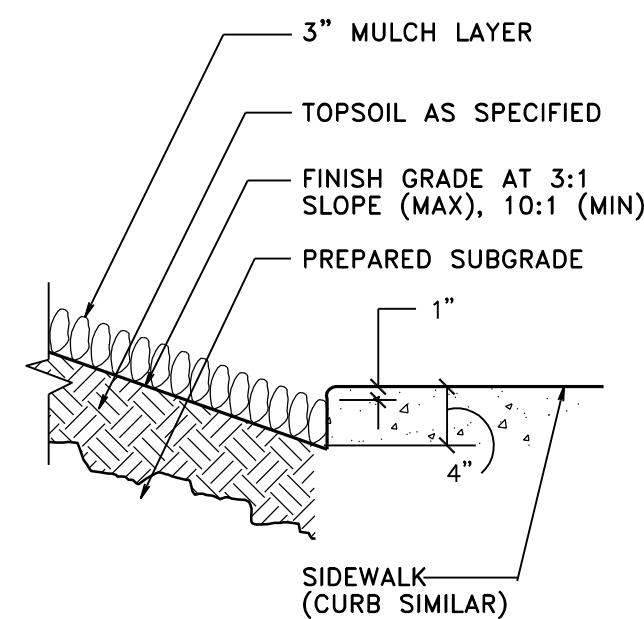
MULCH:
MULCH ALL LANDSCAPE AREAS WITH A THREE INCH (3") LAYER OF MULCH AS NOTED ON DETAIL.

UTILITY CLEARANCES:
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

PLANTING MAINTENANCE:
CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

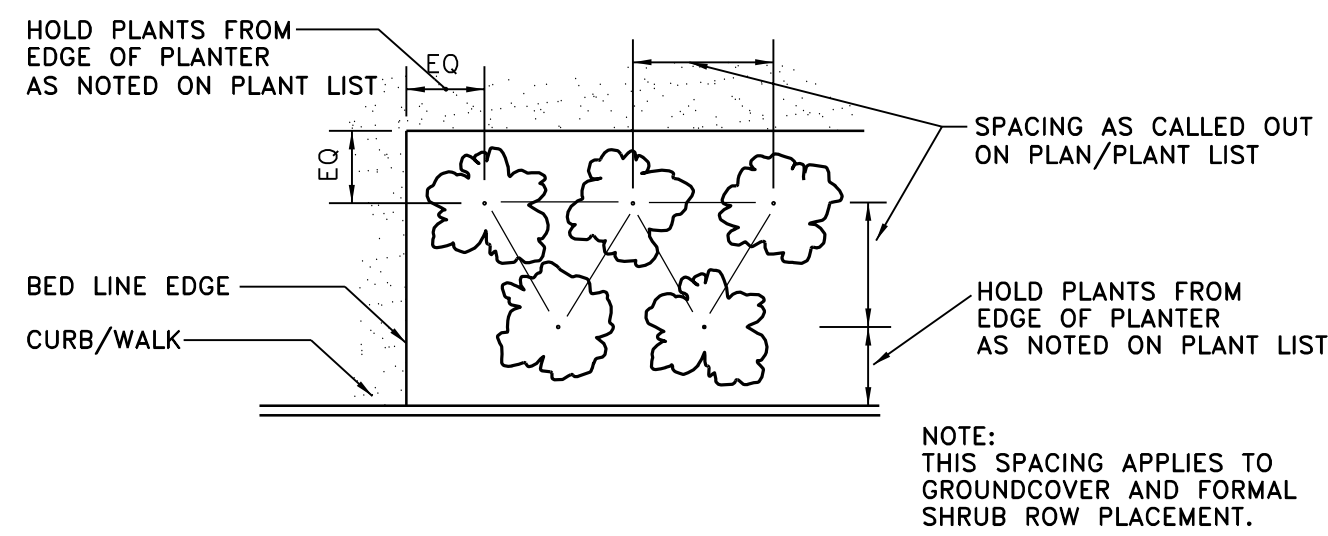
FERTILIZATION FOR GROUNDCOVER AREAS: UNIFORMLY BROADCAST SULFUR COATED UREA AT THE RATE OF FIVE (5) LBS. PER 1,000 SQUARE FEET. THE FIRST APPLICATION TO OCCUR APPROXIMATELY FORTY-FIVE (45) DAYS AFTER PLANTING. IN EARLY FALL AND SPRING, SUBSTITUTE A COMPLETE FERTILIZER SUCH AS 16-6-8 OR EQUAL FOR THE SULFUR COATED UREA AT THE RATE OF SIX (6) LBS. PER 1,000 SQUARE FEET. FOLLOW EACH FERTILIZATION WITH A THOROUGH IRRIGATION APPLICATION.

IRRIGATION MAINTENANCE:
THE IRRIGATION SYSTEM TO BE MAINTAINED INCLUDING ADJUSTMENTS FOR BALANCED WATER DISTRIBUTION & PRECIPITATION. FAILED OR MALFUNCTIONING IRRIGATION EQUIPMENT SHALL BE REPLACED OR CORRECTED. PLANT AND IRRIGATION MAINTENANCE TO INCLUDE THOSE OPERATIONS NECESSARY TO THE PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR TO PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.



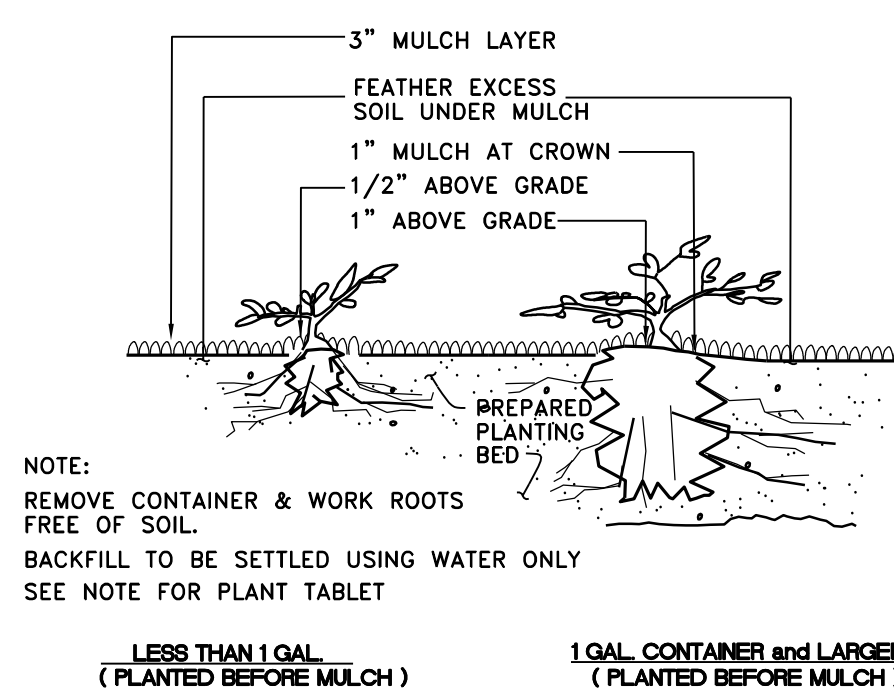
PLANTER SECTION DETAIL

NOT TO SCALE



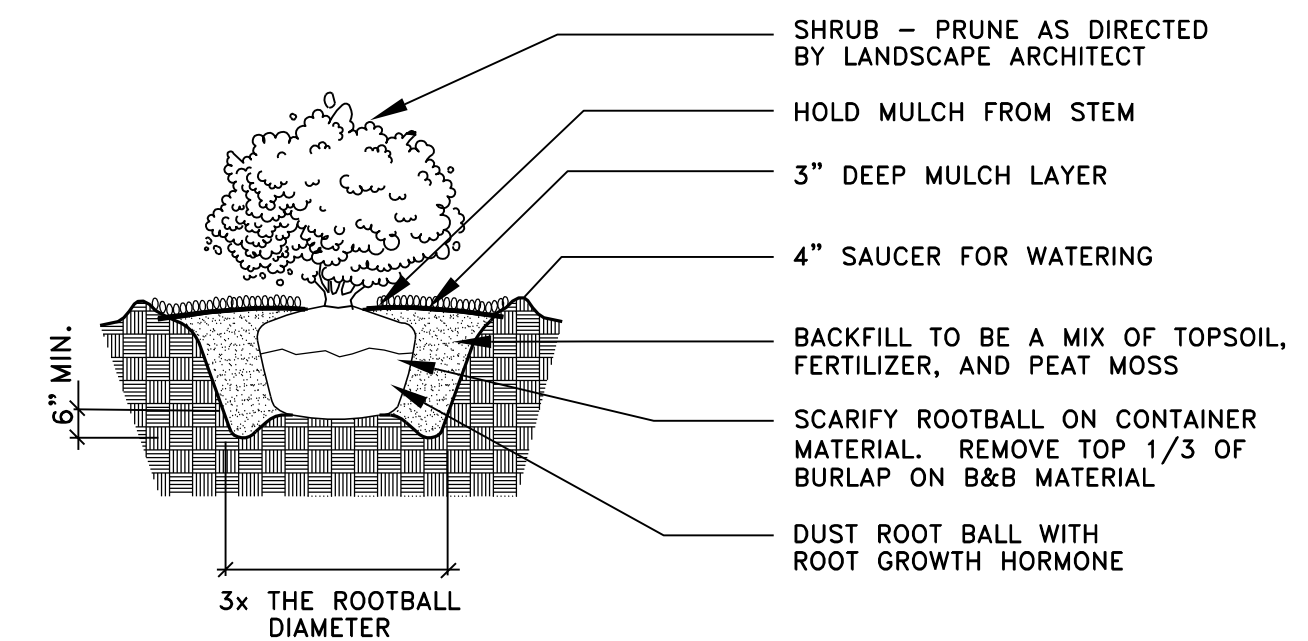
PLANT MATERIAL SPACING DETAIL

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GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

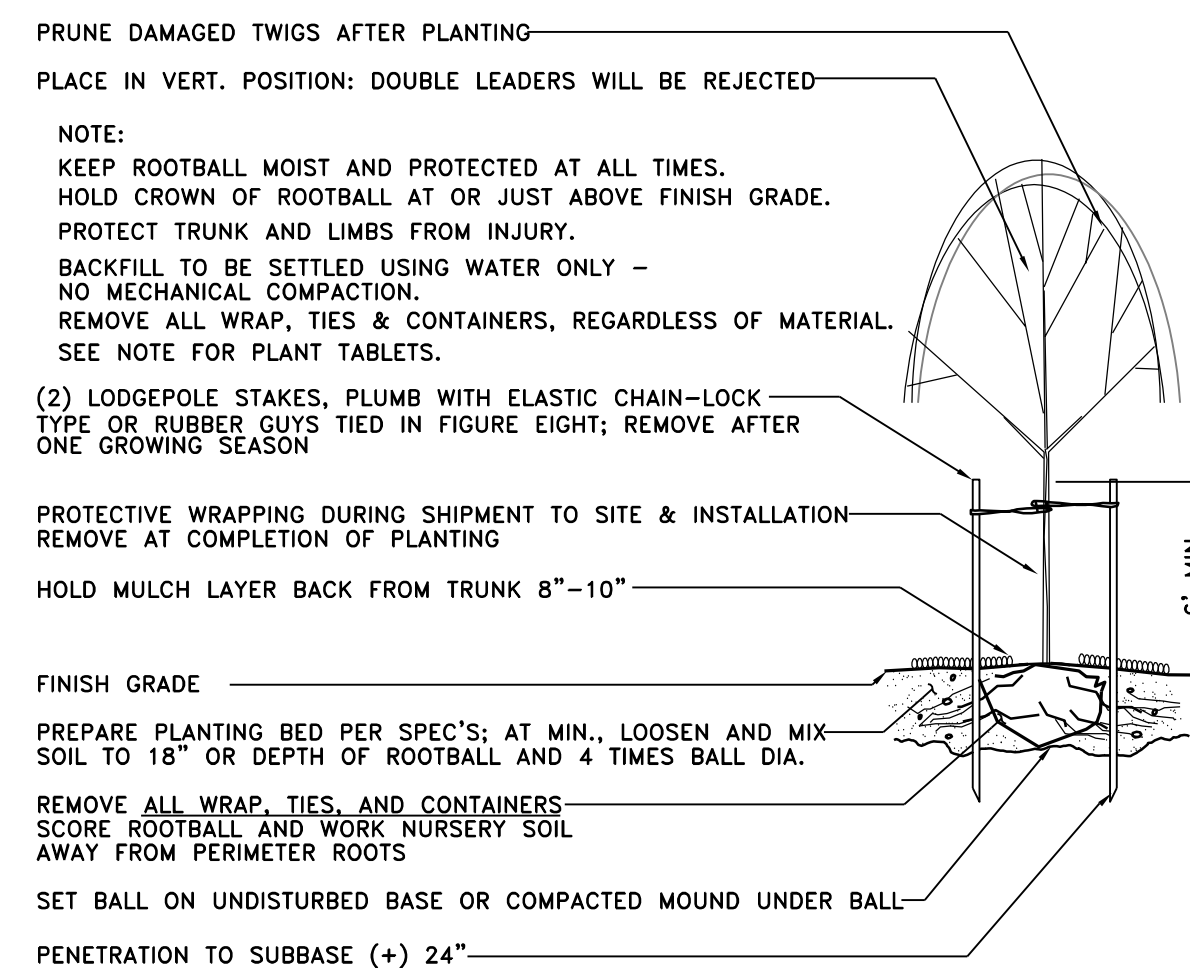


NOTE:
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.

PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.
CUT AND REMOVE BURLAP FROM ROOT BALL

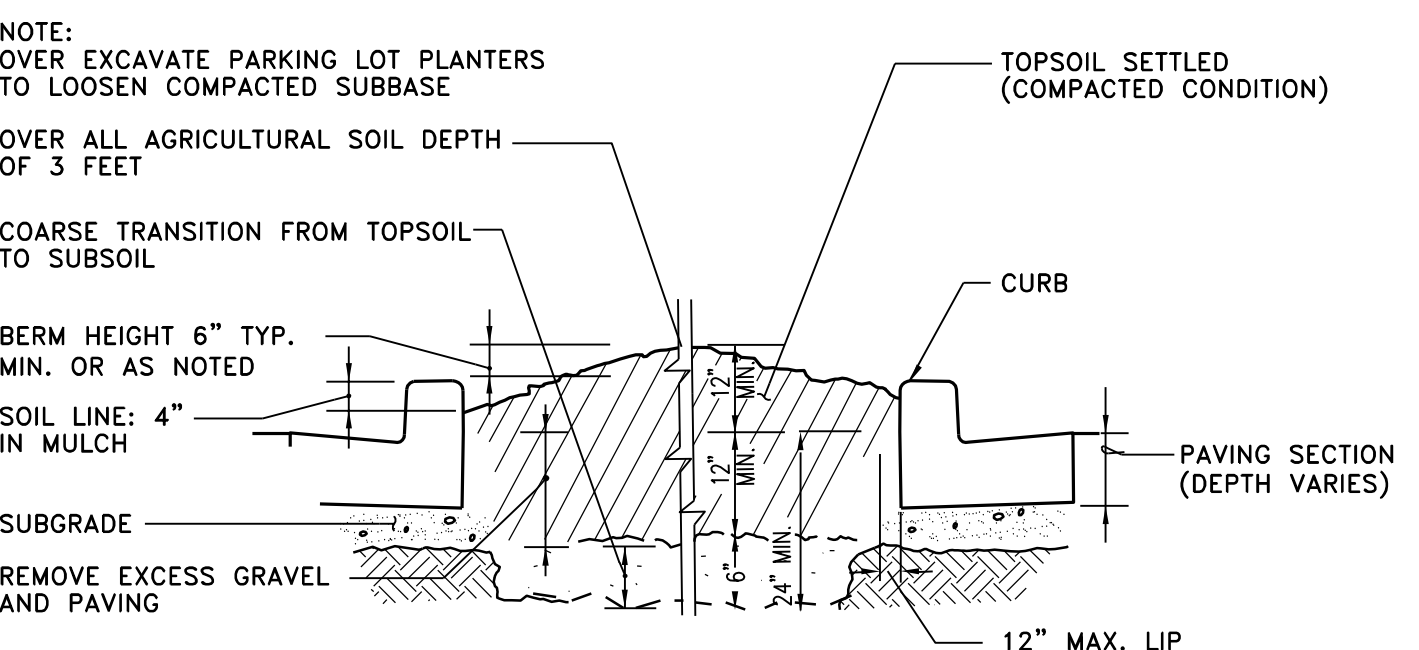
SHRUB PLANTING DETAIL

NOT TO SCALE



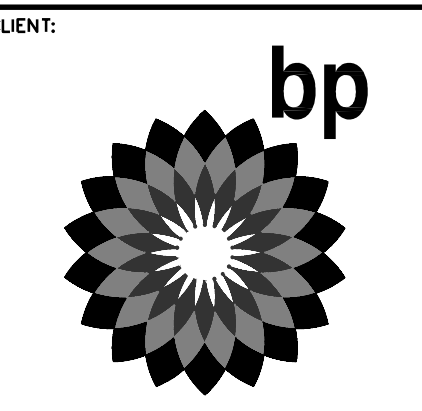
TREE PLANTING/STAKING DETAIL

NOT TO SCALE

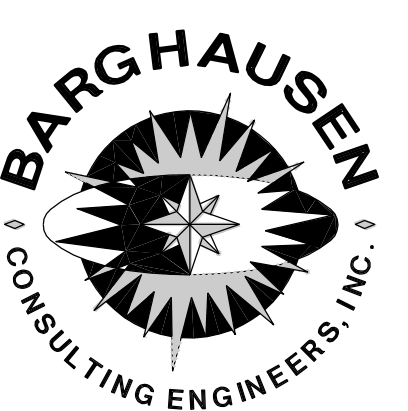


GRADING IN PARKING LOT PLANTER DETAIL

NOT TO SCALE



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24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD
DESIGNED BY: JMV ALLIANCE ZADM:
CHECKED BY: JMV BP REPA:
DRAWN BY: JMV ALLIANCE PM:
VERSION: PROJECT NO:
18299

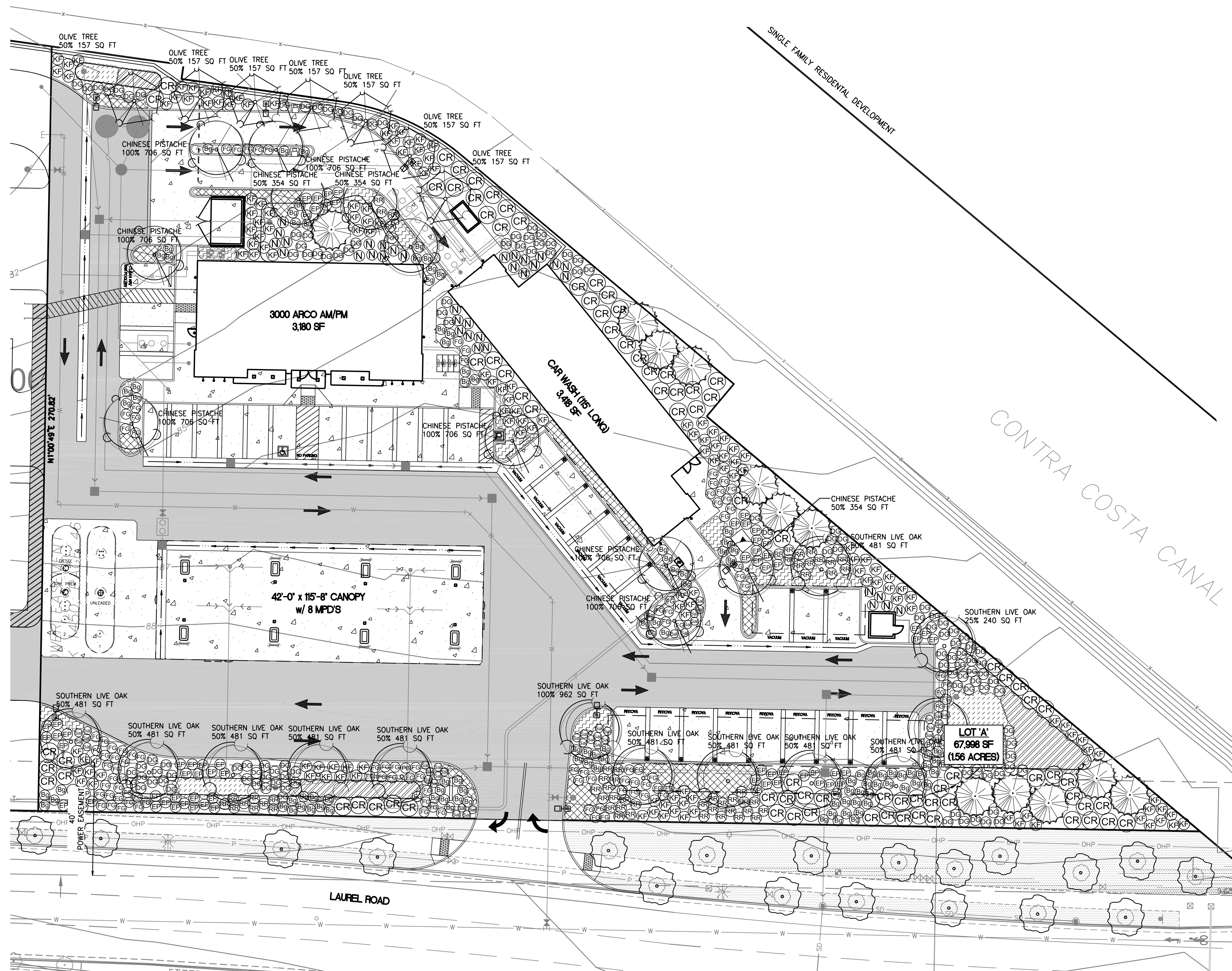
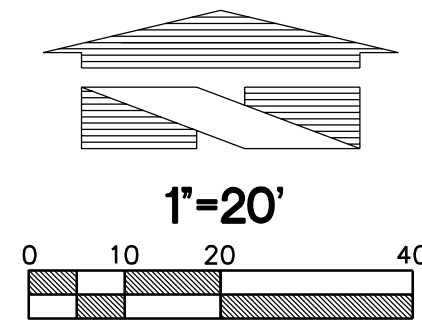
DRAWING TITLE:
**PRELIMINARY
LANDSCAPE and
IRRIGATION SET**

SHEET NO:

L-2

Preliminary Not For Construction

PRELIMINARY LANDSCAPE and IRRIGATION SET



LANDSCAPE IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MIN. PSI	EMITTER SPACING	EMITTER GPH	EMITTER MAXIMUM LINEAR FT.
	RAINBIRD RWS-B-C-1402 36" ROOT ZONE WATERING SYSTEM	20	AS SHOWN ON PLAN	.50	N/A
	TLCV26-1210 - SUB-SURFACE DRIP IRRIGATION FOR PLANTING AREAS WITH GROUND COVER, SHRUBS AND TREES ABOVE NOTED DRIPLINE IS DESIGNED WITH .26 GPH EMITTERS SPACED AT 12 INCHES APART AND A ROW SPACING OF 12 INCHES. THE APPLICATION RATE FOR THIS IS .42 INCHES OF WATER PER HOUR OF RUN TIME.	20	12"	.26	594 @ 45 PSI
NO SYMBOL	NETAFIM: 10-CV-01	DRIP SYSTEM OPERATION/PRESSURE INDICATOR STAKES, PROVIDE FOR EACH ZONE			
NO SYMBOL	NETAFIM: TLS6	SOIL STAPLES, AT 5 FEET ON CENTER			
NO SYMBOL	NETAFIM: TL50V	DRIPLINE FLUSH VALVE: 1 PER IRRIGATION ZONE. LOCATE AT LOWEST ELEVATION WITHIN EACH ZONE, INSTALL IN 10" VALVE BOX			
NO SYMBOL	NETAFIM: LVZ-150-HF	CONTROL ZONE KIT: FLOW 11.0 - 35 GPM, IN VALVE BOX			
NO SYMBOL	NETAFIM: LVCZS8010075-HF	CONTROL ZONE KIT: FLOW 4.5 - 17.6 GPM, IN VALVE BOX			
NO SYMBOL	NETAFIM: LVCZS8010075-LF	CONTROL ZONE KIT: FLOW 0.25 - 4.4 GPM, IN VALVE BOX			
NO SYMBOL	HUNTER: I-CORE IRRIGATION CONTROLLER, (HARDWARE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS.; COORDINATE WITH OWNER AND GENERAL CONTRACTOR FOR BEST LOCATION OF IRRIGATION CONTROLLER. IF LOCATION IS TO BE OUTSIDE, COORDINATE WHETHER THE CONTROLLER IS TO BE MOUNTED ON AN EXTERIOR BUILDING WALL OR MOUNTED ON A METAL PEDESTAL WITH CONC. FOOTING.				
NO SYMBOL	RAINBIRD 33 DRC-RC: 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE THREE KEYS AND HOSE SWIVELS PLASTIC BALL VALVE, MATCH PIPE SIZE, IN VALVE BOX				
NO SYMBOL	RAINBIRD WR2-RC: (2) WIRELESS RAIN SENSOR COMBOS, MOUNT WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN, WIND OR FROST FROM SENSOR.				
NO SYMBOL	RAINBIRD SMRT-Y SOIL MOISTURE SENSOR KIT: INSTALL WHERE TREES OR BUILDINGS WILL NOT OBSTRUCT RAIN, WIND OR FROST FROM SENSOR. MORE THAN ONE SENSOR MAY BE REQUIRED TO EFFECTIVELY DETERMINE SOIL MOISTURE FOR ENTIRE SITE. CONSULT NETAFIM REPRESENTATIVE FOR ADVICE AS TO THE NUMBER OF SENSORS AND WHERE THE SENSORS NEED TO BE INSTALLED FOR MAXIMUM WATER SAVINGS.				
NO SYMBOL	NETAFIM: HYDROMETER - COMBINATION MASTER VALVE AND WATER METER / FLOW SENSOR; REFER TO SPECIFICATIONS AND LOCAL NETAFIM REPRESENTATIVE FOR CONFIRMATION OF BEST LOCATION FOR HYDROMETER LOCATION WITHIN POINT OF CONNECTION / MAINLINE.				
P.O.C.	(1) - WILKINS 950 XLTU- 1" DOUBLE CHECK VALVE ASSEMBLY (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER.				
NO SYMBOL	WILKINS 850XL BALL VALVE, SIZE TO MATCH PIPE				
NO SYMBOL	RAINBIRD PVB SERIES PROFESSIONAL VALVE BOXES: INSTALL AT GRADE LEVEL WITH BOLT LOCK LID				
---	MAINLINE - SCH 40 PVC (18" COVER); 1-1/2" SIZE MINIMUM				
---	LATERAL - CLASS 200 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM				
---	SLEEVE - CLASS 200 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS; TWICE THE SIZE OF INSERT PIPE AND/OR WIRES, 6" SIZE MINIMUM, COORDINATE WITH GENERAL AND PAVING CONTRACTORS				
---	TYPICAL VALVE CALL-OUT				
	VALVE STATION NUMBER				
	VALVE GPM				
	VALVE SIZE				

PIPE SIZING SCHEDULE

TYPE OF PIPE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	FLOW GPM
SCHEDULE 40 PVC: MAINLINE	8	12	22	30	50	75	FLOW GPM
CLASS 200 PVC: LATERALS	10	16	26	35	55	80	FLOW GPM

NOTE: MINIMUM OF 65 - 75 PSI STATIC PRESSURE AT POINT OF CONNECTION (P.O.C.)

GENERAL IRRIGATION NOTES

- IRRIGATION DESIGN SHOWN DIAGRAMATICALLY FOR PLAN CLARITY.
- PRIOR TO INSTALLATION OF DRIP IRRIGATION, CONTRACTOR IS REQUIRED TO CONTACT LOCAL NETAFIM REPRESENTATIVE FOR TRAINING ON THE INSTALLATION AND RUN TIME MANAGEMENT OF DRIP SYSTEM AND NOTIFY LANDSCAPE ARCHITECT THAT FACTORY TRAINING HAS OCCURRED PRIOR TO INSTALLATION. CONTACT CARI SNYDER WITH NETAFIM AT (253) 209-6199. PLEASE GIVE REPRESENTATIVE A MINIMUM TWO WEEK NOTICE.
- DRIP TUBING SHALL BE INSTALLED FOUR (4) INCHES BELOW FINAL GRADE. CONTRACTOR TO RUN EACH ZONE BEFORE COVERING TUBING, TO VERIFY THAT THERE ARE NO CONNECTION LEAKS. TREES TO BE INSTALLED ON A SEPARATE ZONE, USING NETAFIM TLCV .26 1/8, REFER TO THE TREE IRRIGATION DETAIL FOR ADDITIONAL INFORMATION.
- USE COMMON TRENCH METHODS LOCATING EQUIPMENT WITHIN THE LANDSCAPE.
- PLACE MANIFOLD GROUPED VALVES IN ADJACENT SHRUB BEDS AND ALIGN WITH PAVED SURFACES OR PLANTING BED EDGES.
- SHOVEL-CUT LANDSCAPE EDGING WHERE FEASIBLE.
- ANY WORK AND/OR IRRIGATION LINES PLACED WITHIN ANY TREE PROTECTION ZONES ESTABLISHED FOR THE PROJECT MUST BE INSTALLED IN SUCH A MANNER AS TO NOT CAUSE DAMAGE TO TREE ROOTS WITHIN THE PROTECTION ZONE, SUCH AS BY CUTTING ROOTS, DIGGING TRENCHES, OPERATION OF MACHINERY, ETC..
- SPECIAL CARE MUST BE TAKEN (HAND DIGGING TRENCHES, DESIGNING LINES TO STAY OUT OF THESE AREAS WHERE POSSIBLE, ETC.) TO ENSURE DAMAGE TO THE TREES DOES NOT OCCUR. IN THE EVENT DAMAGE DOES OCCUR TO THESE AREAS, THE CITY MAY REQUIRE, AT THEIR DISCRETION, REPLACEMENT OF THE COMPARABLE LANDSCAPE VALVE OF THE TREES DAMAGED OR OTHER MEANS TO MAKE UP THAT LOSS.

CLIENT:

BP WEST COAST PRODUCTS, LLC

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CIVIL ENGINEERING, LAND PLANNING,
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SEAL:

DEVELOPMENT INFORMATION:

ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD'S
24'x48' CAR WASH

SITE ADDRESS:

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FACILITY #TBD

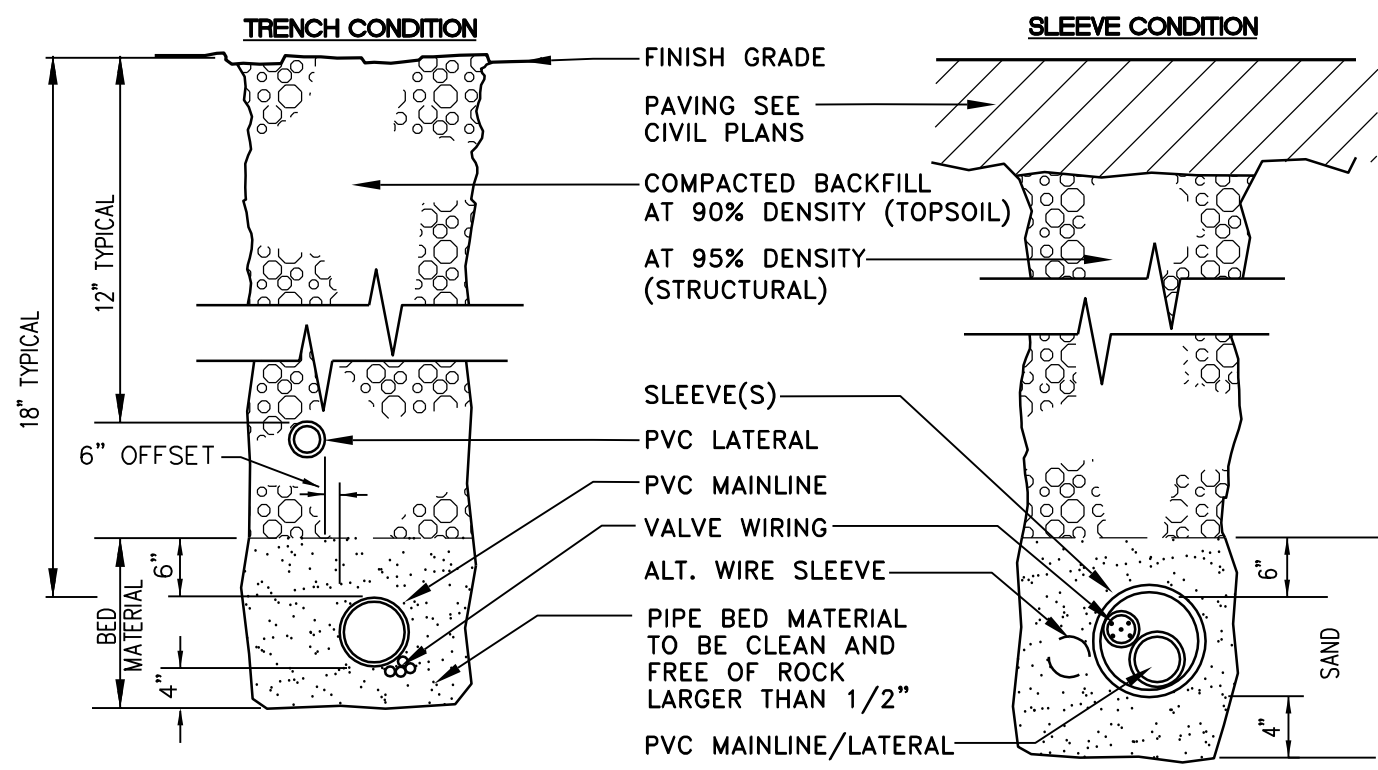
DESIGNED BY: JMV ALLIANCE ZADM:
CHECKED BY: JMV BP REPA:
DRAWN BY: JMV ALLIANCE PM:
VERSION: PROJECT NO. 18299

DRAWING TITLE:
PRELIMINARY LANDSCAPE and IRRIGATION SET

SHEET NO. **L-3**

Preliminary Not For Construction

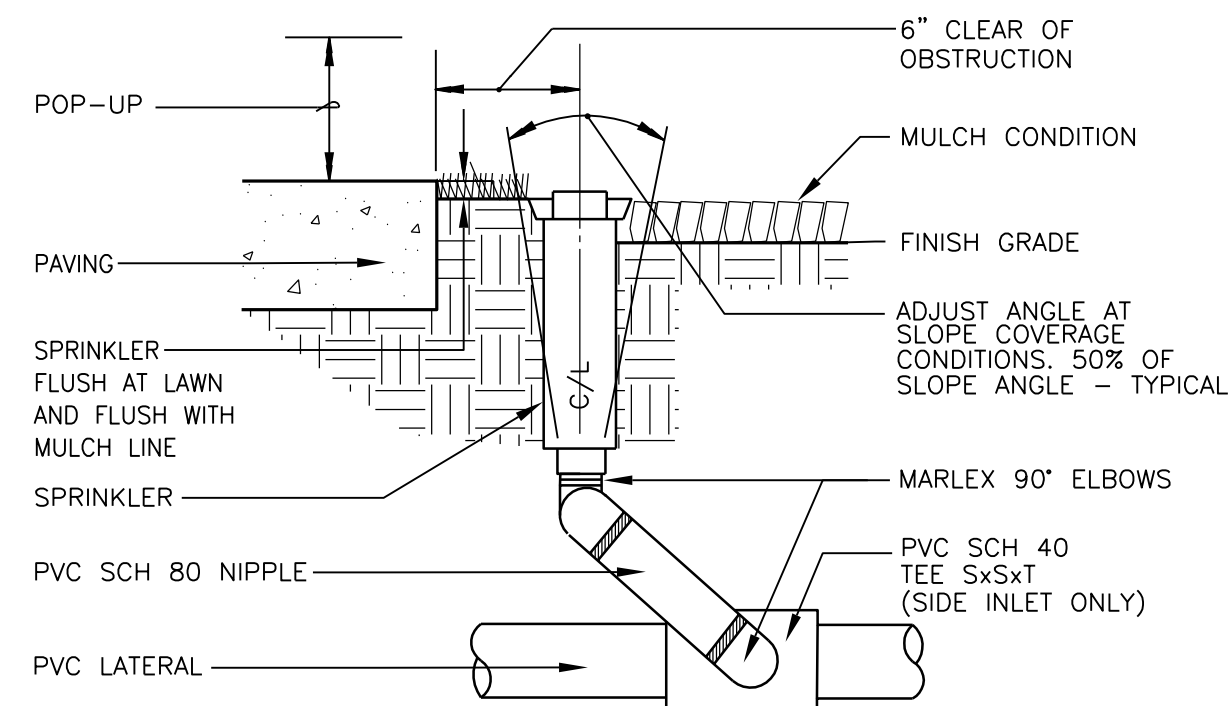
PRELIMINARY LANDSCAPE and IRRIGATION SET



NOTE:
DIMENSIONS ARE MINIMUM CLEARANCES.
ALL IRRIGATION SLEEVING TRENCH BACKFILL MATERIAL TO BE CLASS "B" OR BETTER (MAX. OF 10% PASSING NO.40 SCREEN) AND BE COMPACTED TO MIN. 95% OPTIMUM DENSITY PER ASTM D-1557-70 (MODIFIED PROCTOR)

SLEEVE/TRENCHING DETAIL

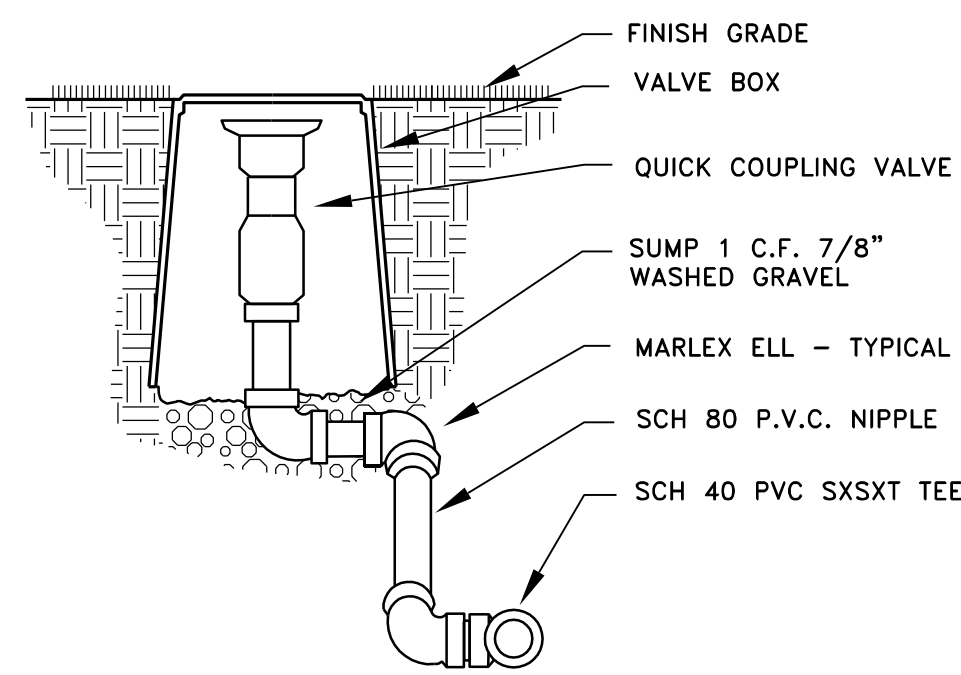
NOT TO SCALE



NOTE:
MANUFACTURER'S LIMITS PREVAIL FOR INSTALLATION AND ADJUSTMENTS.
PROVIDE SWING JOINT RISERS AT WALKS AND CURBS.
24" FLEXIBLE RISERS ACCEPTABLE ELSEWHERE.

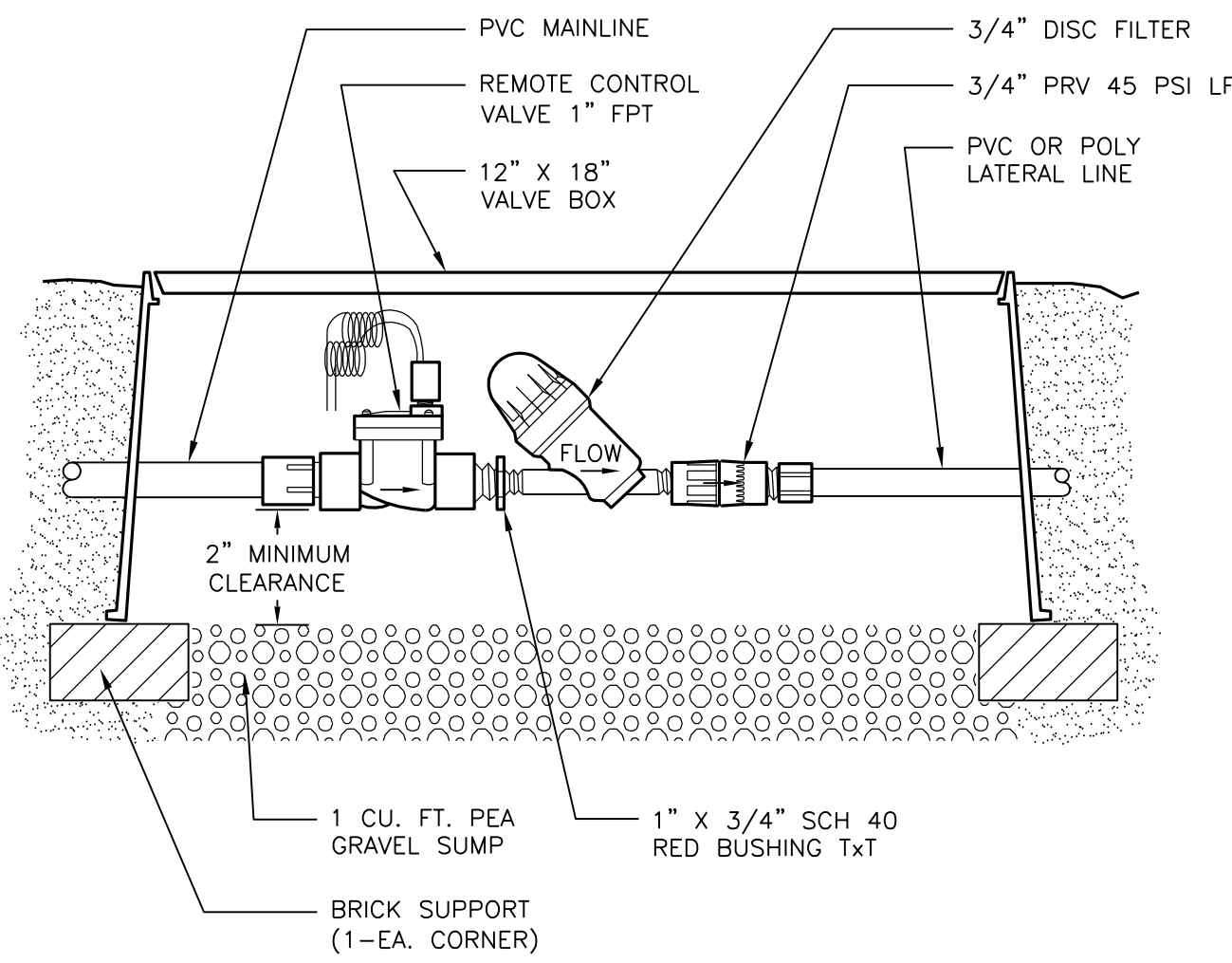
POP-UP RISER ASSEMBLY

NOT TO SCALE



QUICK COUPLING VALVE DETAIL

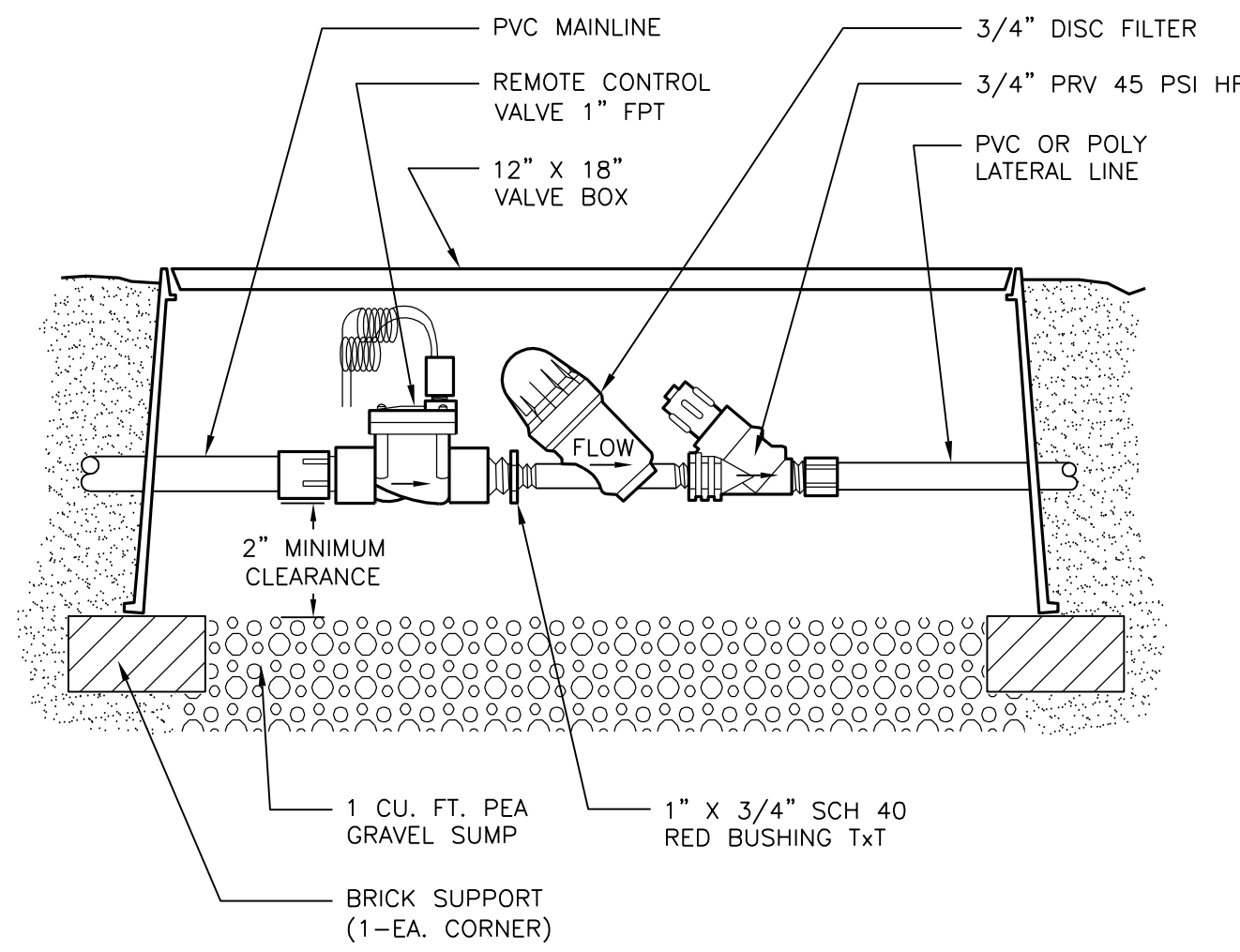
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LOW-VOLUME CONTROL SYSTEM: P/N LVCZS80-10075-LF .25 - 4.4 GPM



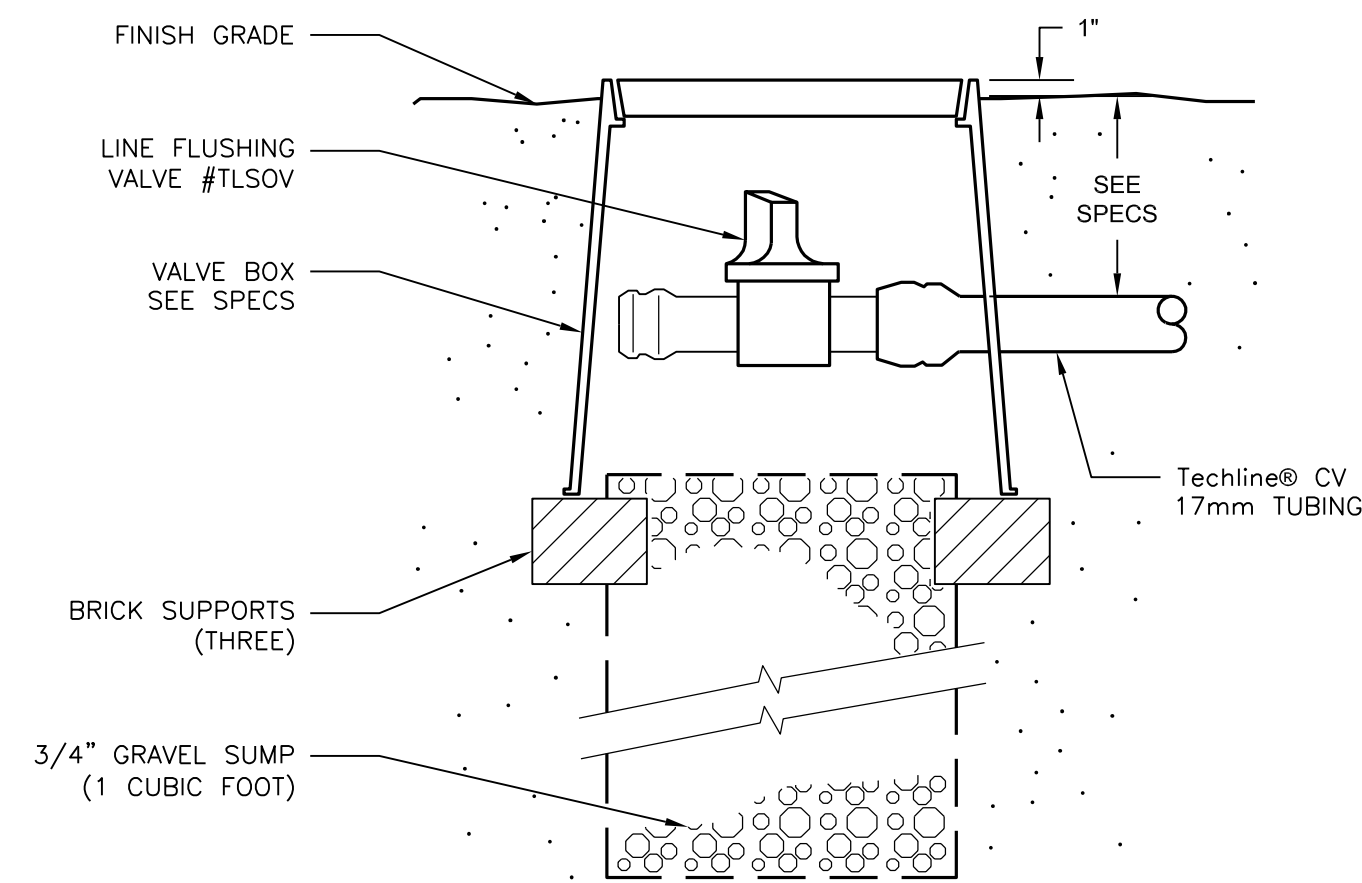
NOT TO SCALE DETAIL - L201LF



LOW-VOLUME CONTROL ZONE ASSEMBLY: P/N LVCZS80-10075-HF 4.5 - 17.6 GPM



NOT TO SCALE DETAIL - L211HF

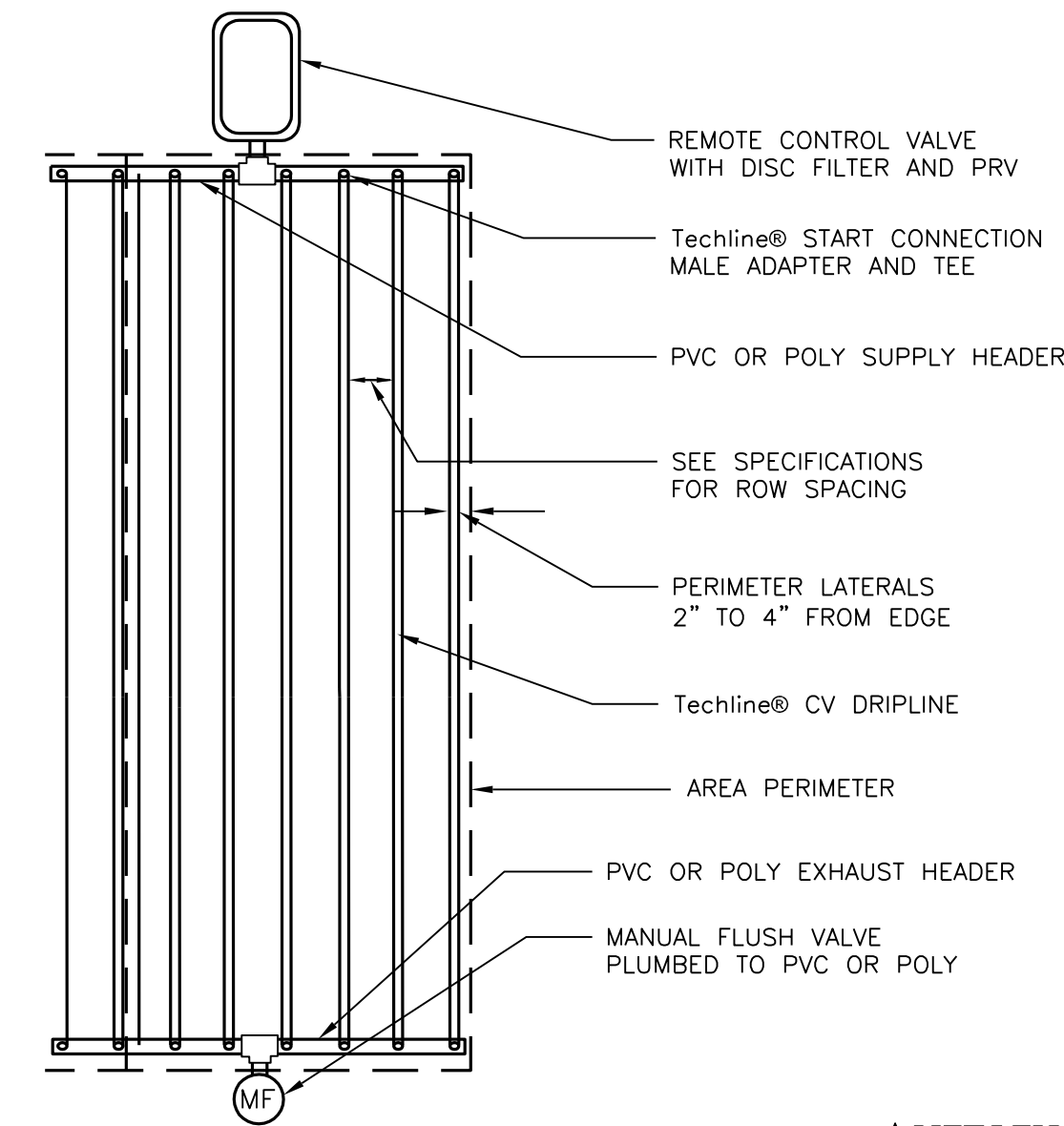


MANUAL LINE FLUSHING VALVE TLISOV PLUMBED TO TUBING

NOT TO SCALE



DETAIL - D211

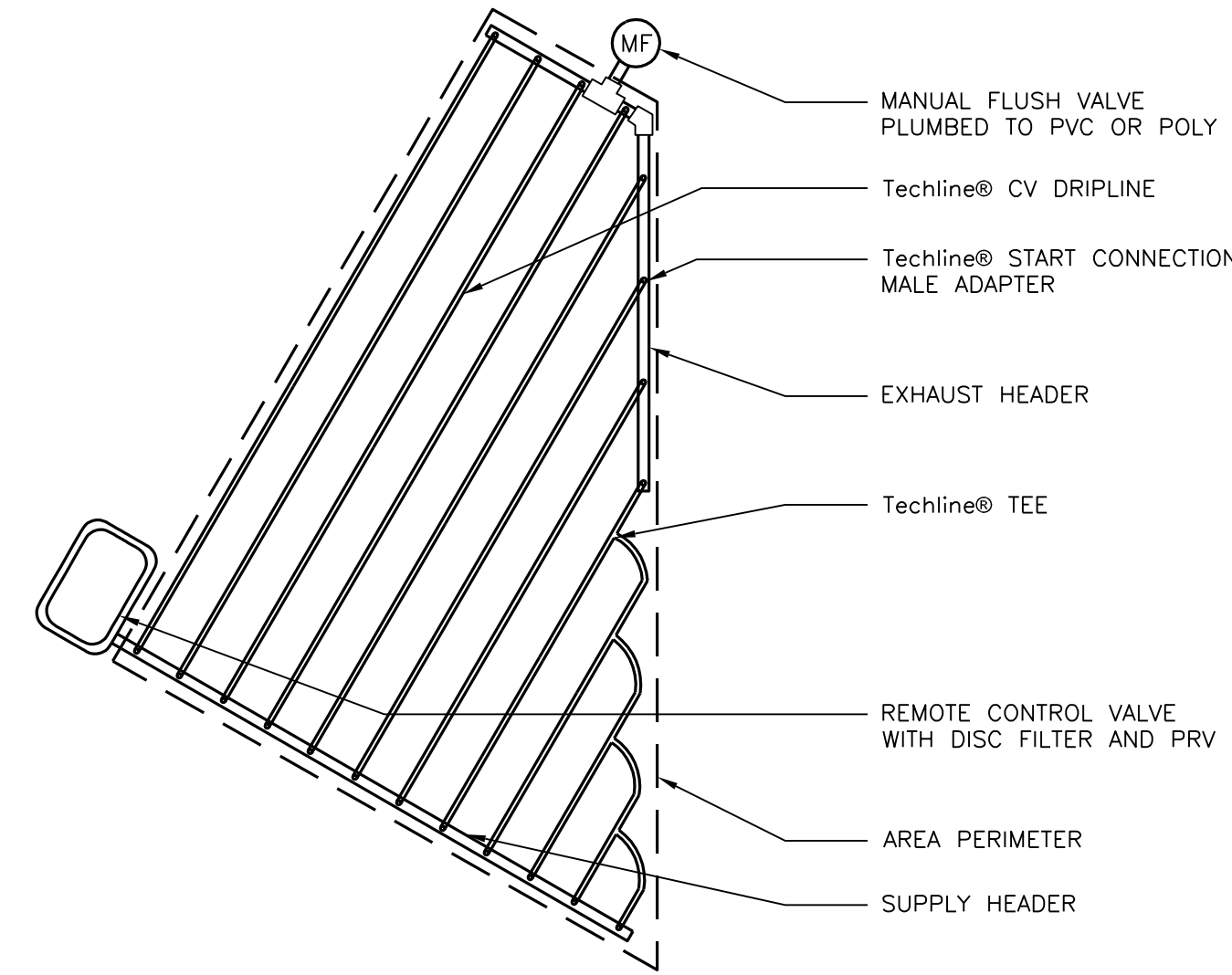


Techline® CV END FEED LAYOUT

NOT TO SCALE



DETAIL - C101

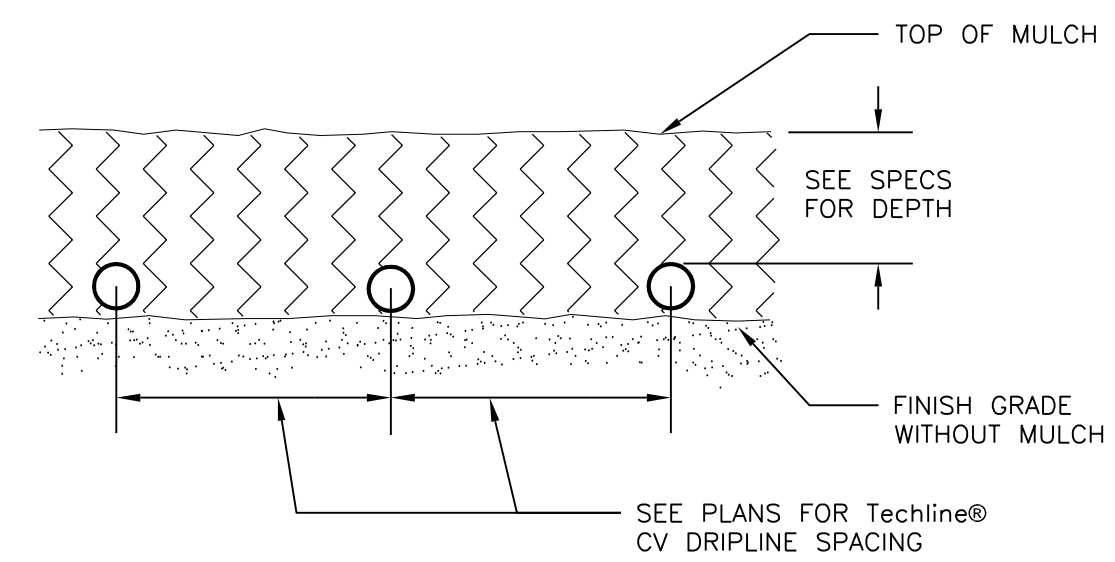


Techline® CV IRREGULAR AREAS: Triangular

NOT TO SCALE



DETAIL - C104

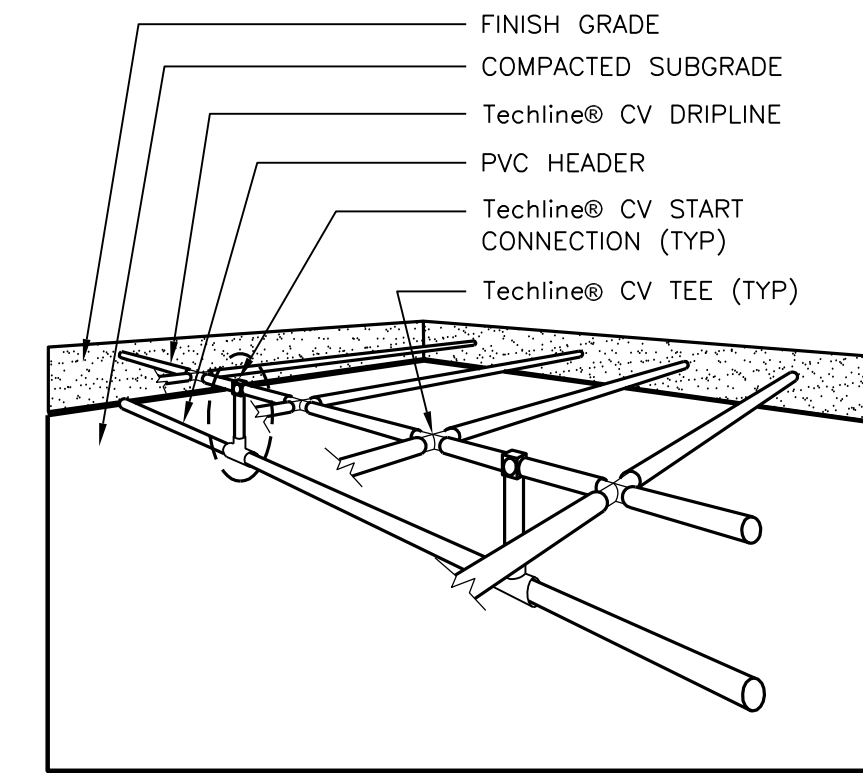


Techline® CV SUBGRADE INSTALLATION

NOT TO SCALE



DETAIL - C201

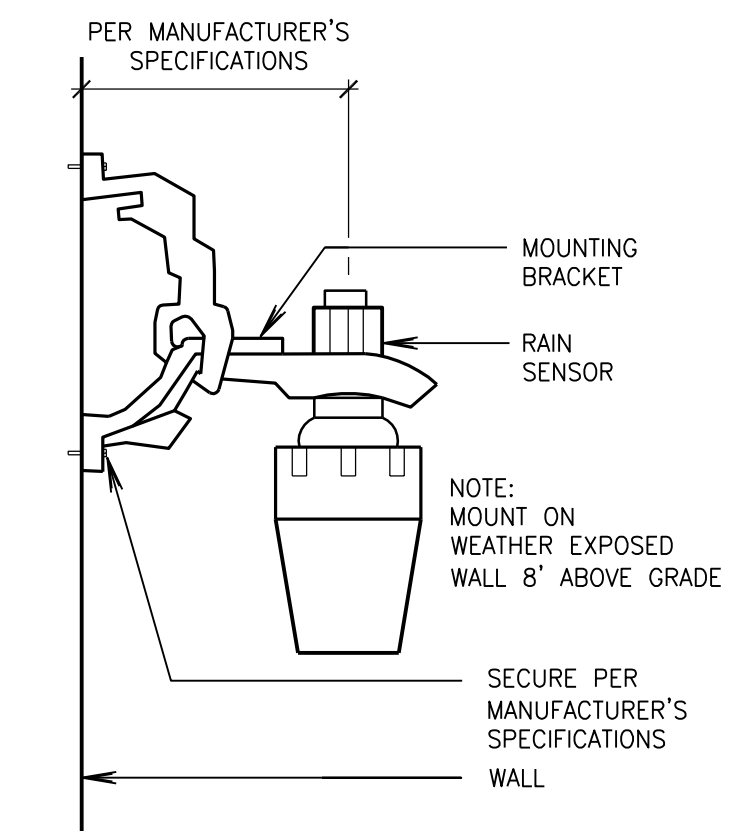


NOTE:
1. SEE PLANS AND LEGEND FOR ALL DIMENSIONS AND Techline® CV DRIPLINE SPACING.
2. RATIO OF Techline® CV DRIPLINES TO START CONNECTIONS IS SHOWN AT 2:1, BUT MAY VARY PER HYDRAULIC DEMAND ON START CONNECTIONS. SEE PLANS AND LEGEND.

Techline® CV SUB-HEADER INSTALLATION

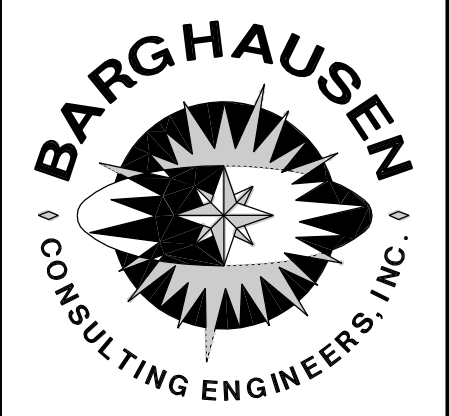
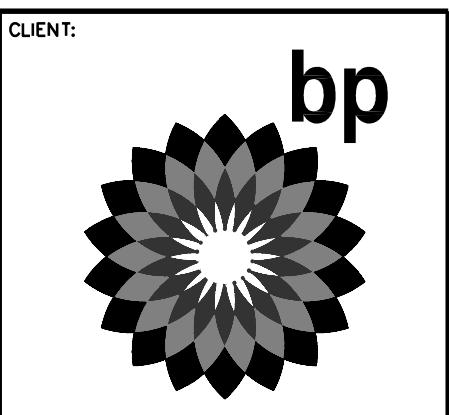
NOT TO SCALE

DETAIL - C303



RAIN SENSOR DETAIL

NOT TO SCALE



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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
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VERSION: PROJECT NO:
18299

DRAWING TITLE:
**PRELIMINARY
LANDSCAPE and
IRRIGATION SET**

SHEET NO.:

L-4

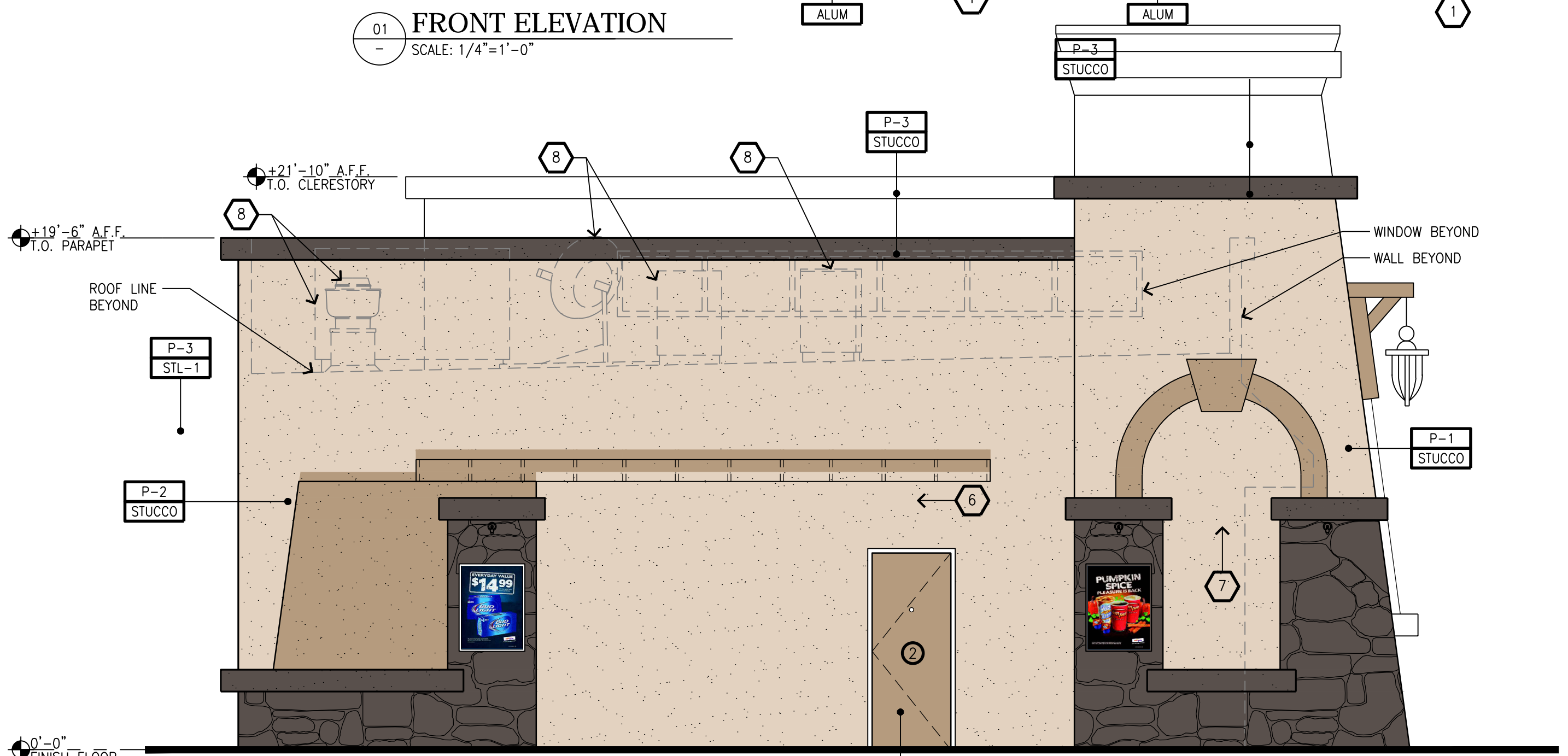
Preliminary Not For Construction

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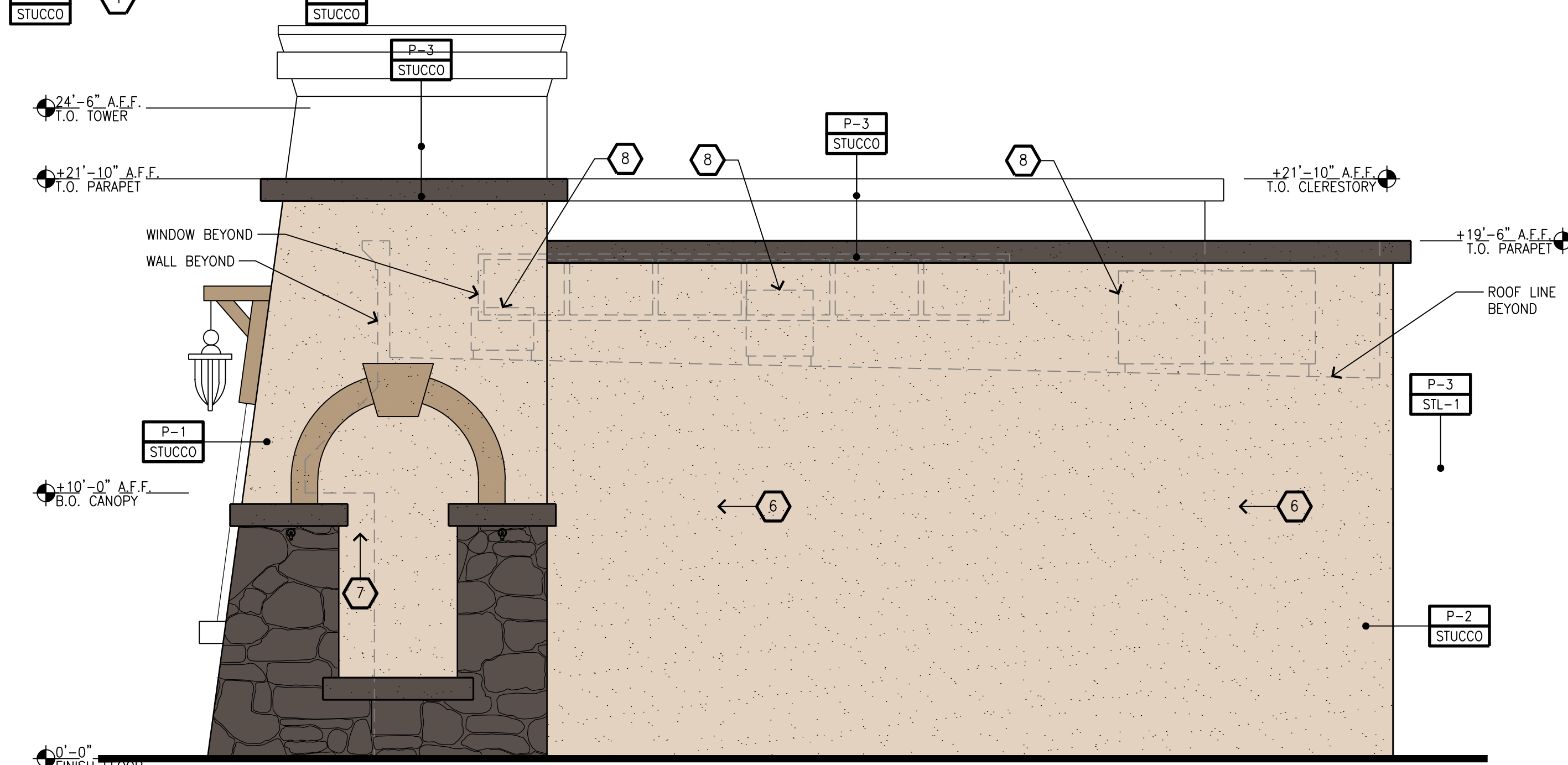
ARCO AM/PM-OAKLEY, CALIFORNIA



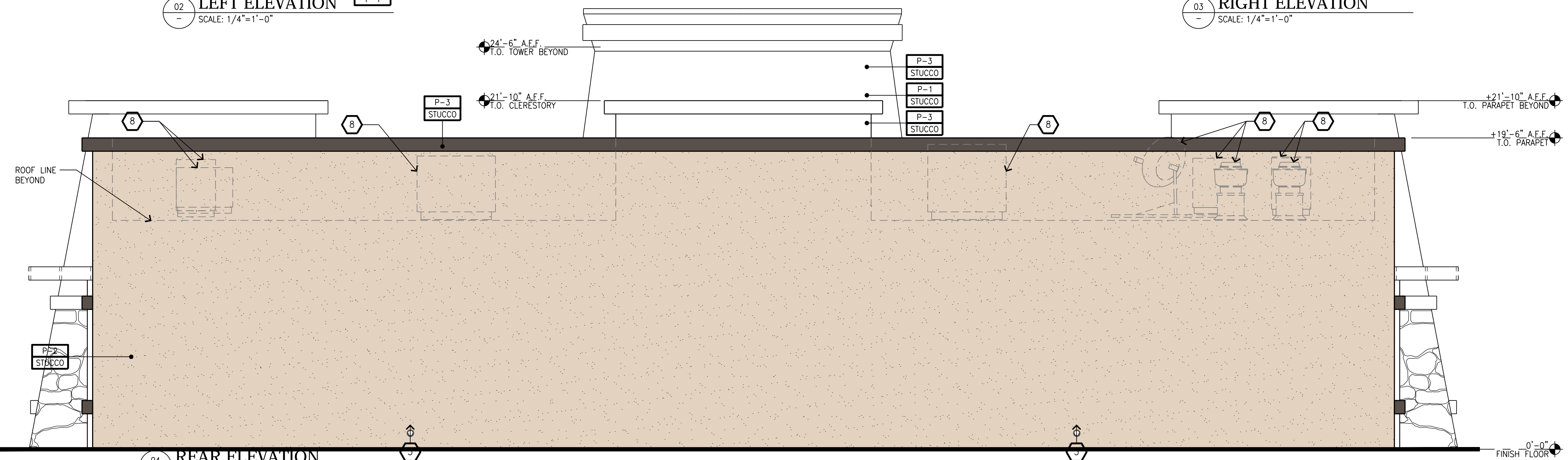
01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"



03 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



04 REAR ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.3 & SPECIFICATION.
- 2 STEEL AWNING ROD AND CLEVIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND

COLOR LEGEND

- P-1 DUNN EDWARDS, DE6130, "WOODED ACRE"
- P-2 DUNN EDWARDS DE6128, "SAND DUNE"
- P-3 DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS

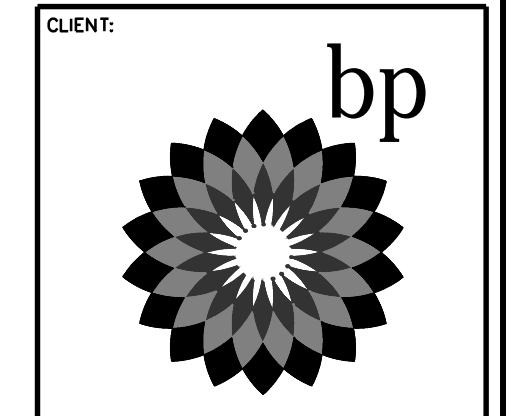
MATERIAL LEGEND

- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- S-FLEX STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING
- STONE PANELIZED STONE (OPTION) MFR: CORONADO, SERIES: ARCO LOGO COLOR: "ALASKAN SUNSET"

CLERESTORY DESIGNER NOTE:
SUN EXPOSURE SHOULD BE CONSIDERED FOR WINDOW USE AT CLERESTORY. IN TEMPERATE CLIMATE AVOID SOUTH AND WEST EXPOSURE OR ADD SHADING OR LOW E GLAZING

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Not for Construction

DEVELOPMENT INFORMATION:
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3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

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@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

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DESIGNED BY: ALLIANCE Z&M
CHECKED BY: BP REP:
DRAWN BY: ALLIANCE PM:
VERSION: PROJECT NO:
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DRAWING TITLE:
COLOR ELEVATIONS

SHEET NO:
A2.1

NOT FOR CONSTRUCTION

MATERIAL LEGEND

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- S-FLEX** STUC-O-FLEX ELASTOMERIC ACRYLIC FINISH OVER CEMENT PLASTER; INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ALUM** CLEAR ANODIZED ALUMINUM
- STL-1** STEEL AWNING
- STONE** PANELIZED STONE (ON EXTERIOR OPTION)
MFR: CORONADO, SERIES: ARB LIGN COLOR: "ALASKAN SUNSET"

CLERESTORY DESIGNER NOTE:
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- P-2** DUNN EDWARDS DE6128, "SAND DUNE"
- P-3** DUNN EDWARDS DEC756, "WEATHERED BROWN", HIGH GLOSS

ARCO AM/PM-OAKLEY, CALIFORNIA



GENERAL NOTES

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

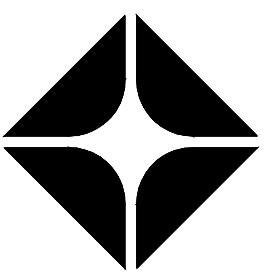
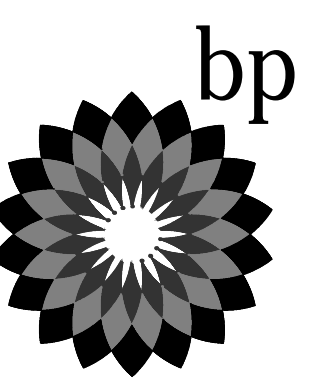
KEYED NOTES

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.3 & SPECIFICATION.
- 2 STEEL AWNING ROD AND CLEVIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
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CLIENT:



ARCO

BP WEST COAST PRODUCTS, LLC



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MATERIAL LEGEND

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ARCO AM/PM-OAKLEY, CALIFORNIA

GENERAL NOTES

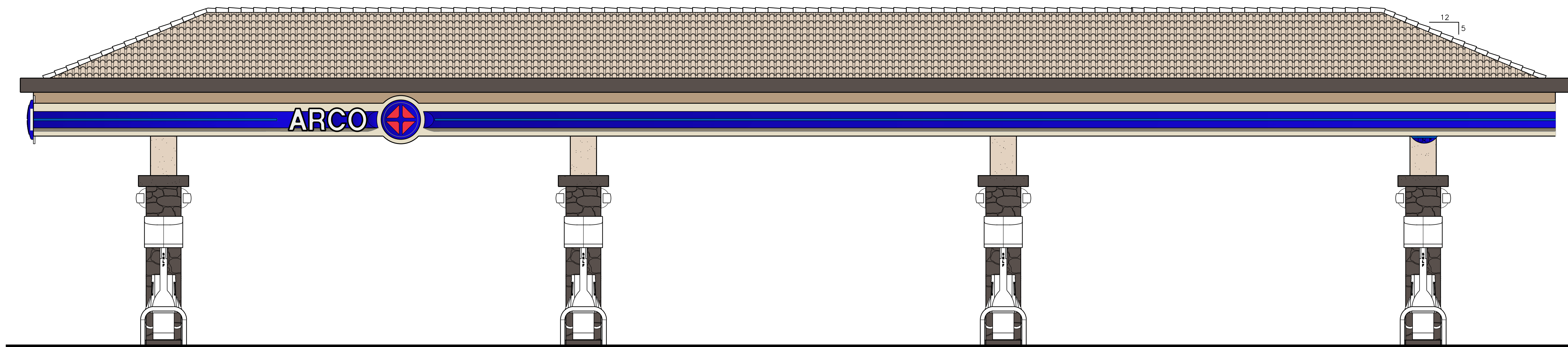
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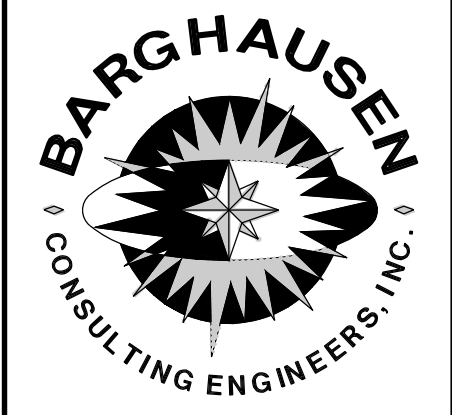
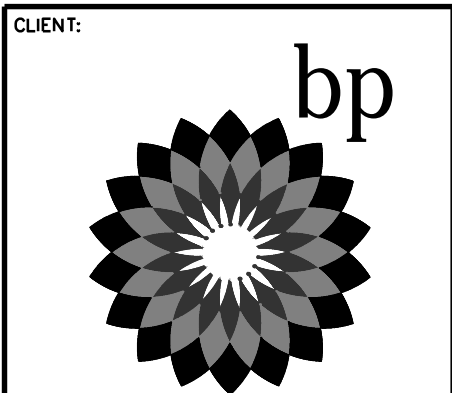
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24'x48' CAR WASH

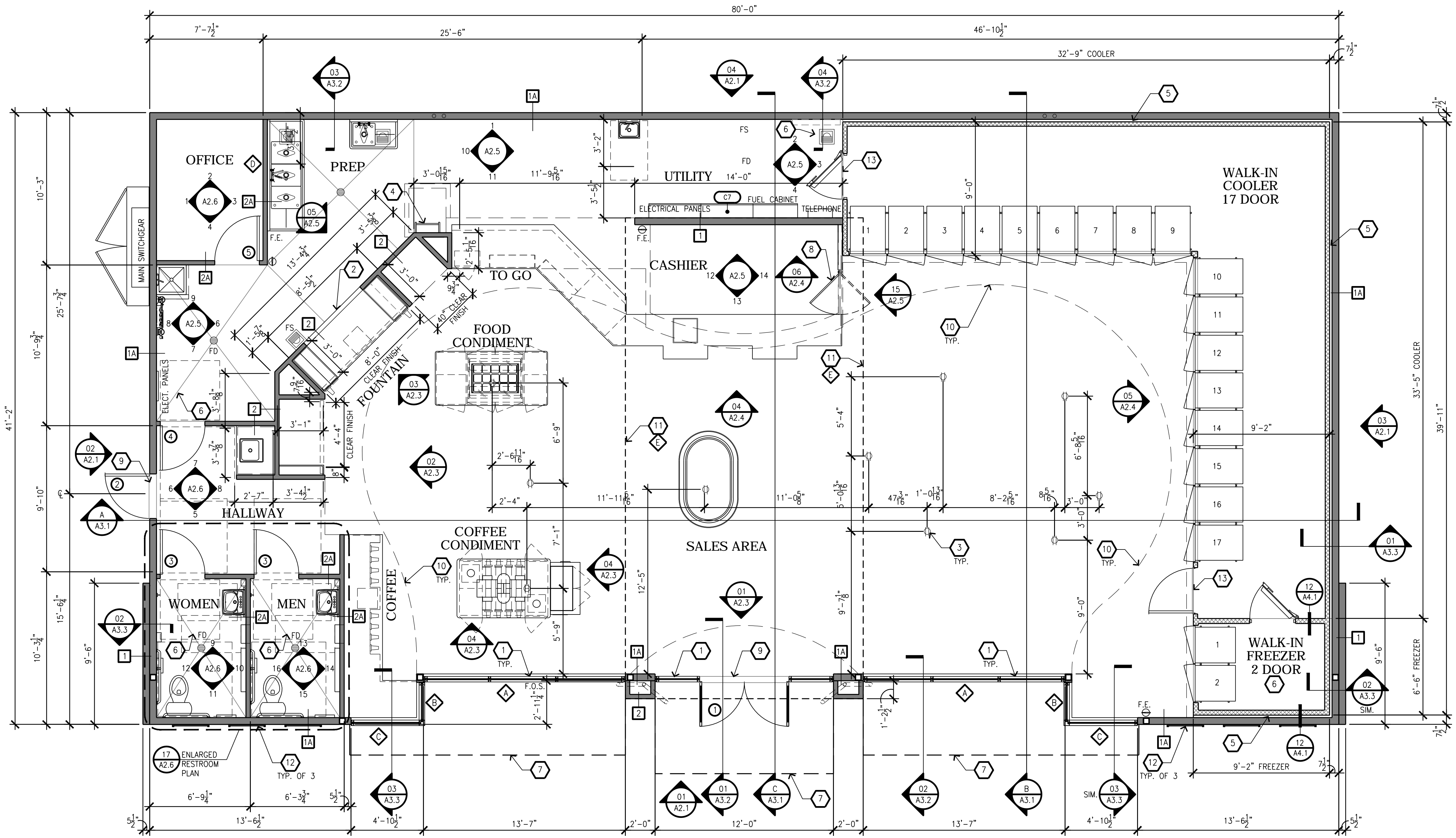
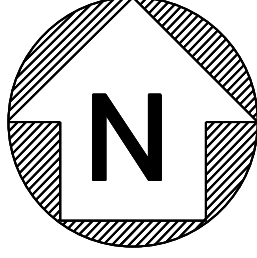
SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY:	ALLIANCE ZBOM
CHECKED BY:	BP REP:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO: 18299

DRAWING TITLE:
COLOR ELEVATIONS

SHEET NO:
A2.2



01 CONSTRUCTION FLOOR PLAN
SCALE: 1/4"=1'-0"

ROOM FINISH SCHEDULE							
INTERIOR FINISHES	SALES	CASHIER	HALLWAY	RESTROOMS	OFFICE	PREP/UTILITY	WALK-IN
FLOOR	GLAZED PORCELAIN TILE REFER TO FINISH CALLOUT ON A1.2.			QUARRY TILE REFER TO FINISH CALLOUT ON A1.2.		CLEAR CONCRETE SEALER REFER TO FINISH CALLOUT ON A1.2.	
BASE	CERAMIC SANITARY COVE BASE REFER TO FINISH CALLOUT ON A1.2.			PORCELAIN COVE BASE REFER TO FINISH CALLOUT ON A1.2.	QUARRY SANITARY COVE BASE. REFER TO FINISH CALLOUT ON A1.2.	INTEGRAL METAL COVE BASE WITH 3/8" RADIUS, BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.	
WALLS	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.3 - A2.6.			WALL TILE OVER 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A2.6.	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.6.	WALL TILE AND FRP OVER 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A2.5.	STUCCO-GALVALUM. BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.
FASCIA/SOFFIT	FASCIA PAINTED SMOOTH FINISH 1/2" GYPSUM BOARD. REFER TO CALLOUT ON A2.3 & A2.4. SOFFIT PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.			NOT APPLICABLE			
CEILING	PAINTED PLYWOOD AND OPEN WEB TRUSSES. REFER TO CALLOUT ON A1.3.			PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	WASHABLE SUSPENDED WHITE CEILING TILE REFER TO CALLOUT ON A1.3.	STUCCO-GALVALUM. BY COOLER MFR. REFER TO CALLOUT ON Q1.2 AND A1.3.

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 2x6, INTERIOR WALLS 2x4 U.N.O., SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
- SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES
- REFER TO SHEET Q1.1 FOR FOR EQUIPMENT PLAN.
- REFER TO SHEET Q2.1 FOR EQUIPMENT SCHEDULE.
- ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH REQUIREMENTS.
- PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0"
- ALL COUNTERTOPS SHALL BE MAX. 34" A.F.F. WITH A 3'-FOOT WIDE TRANSACTION AREA AT CASHIER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR CABINET INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SITE SPECIFIC CABINET SHOP DRAWINGS.
- 4" HIGH BACKSPASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPASH TO MATCH COUNTERTOP MATERIAL.
- THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING MERCHANDISE GONDOLAS AND SHELVING AS SHOWN ON Q1.1.
- ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SHARP EDGES. CONTACT MANUFACTURER OR PREP EDGES FOR SAFETY.
- CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
- CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH GYPSUM WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND INTERIOR ELEVATIONS ON SHEET A2.3 THRU A2.6. ALL PARTITIONS/WALLS SHALL BE BRACED FOR LATERAL FORCES, PER BUILDING CODE REQUIREMENTS.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A-10B:C) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FUEL CANOPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS, CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.
- CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELIVERY STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR GRAPHICS INSTALLATION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO WALL ERECTION. DISCREPANCIES SHALL BE DIRECTED TO OWNER.
- WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120" WATER TO ALL SINKS.
- ALL FLOOR/WALL TILE AND COVE BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE AND MUST HAVE A SWEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70° OPEN TO 3" FROM THE LATCH.
- CARBONATOR BACK-FLOW PREVENTOR DRAIN LINE OUTLET SHALL BE TO NEW FLOOR SINK PROVIDED FOR THIS AREA.

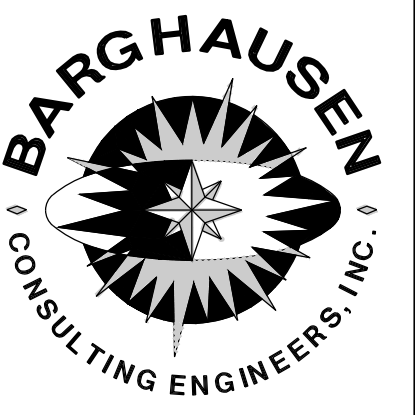
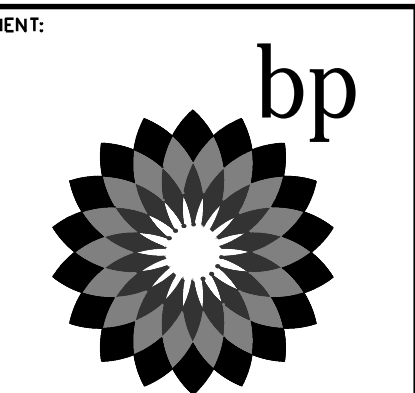
KEYED NOTES

- 01 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.1 & SPECIFICATION.
- 02 INSTALL 6" PVC CHASE FOR FOUNTAIN SYRUP LINES.
- 03 FLOOR RECEPTACLES, REFER TO ELECTRICAL PLANS.
- 04 ROOF LADDER PER DETAIL 7/A4.1
- 05 1" MINIMUM AIR GAP AT PREFABRICATED COOLER/FREEZER
- 06 DEPRESSED SLAB, REFER TO SLAB PLAN.
- 07 LINE OF CANOPY ABOVE
- 08 DOUBLE SWING METAL GATE PROVIDED BY SHOPCO
- 09 THRESHOLD, REFER TO DOOR SCHEDULE ON SHEET A5.1
- 10 LINE OF SOFFIT ABOVE
- 11 LINE OF CLERESTORY CEILING OPENING, REFER TO WINDOW SCHEDULE ON SHEET A5.1
- 12 WALL SIGNS
- 13 TRANSITION STRIP

WALL LEGEND

- WOOD FRAMED WALL
- PREFABRICATED COOLER/FREEZER WALL
- 1 2x6 STUDS @ 16"o.c.
- 1A 2x6 STUDS @ 16"o.c. W/ THERMAL INSULATION
- 2 2x4 STUDS @ 16"o.c.
- 2A 2x4 STUDS @ 16"o.c. W/ SOUND BATT INSULATION

NOT FOR CONSTRUCTION



18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX

CIVIL ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES

NO.	DATE	REVISION DESCRIPTION

SEAL:

DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
@ EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY: ALLIANCE Z&B
CHECKED BY: BP RPM
DRAWN BY: ALLIANCE PM
VERSION: PROJECT NO:
18299

OCCUPANCY LOAD

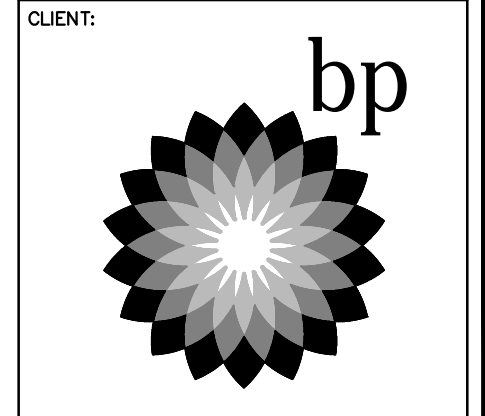
SALES - 1,706 S.F.(1706/30)	= 57
CASHIER - 131 S.F.(131/100)	= 2
OFFICE - 68 S.F. (68/100)	= 1
RESTROOMS - 114 S.F. (EXEMPT)	= 0
PREP/UTILITY - 402 S.F.(402/200)	= 3
COOLER/FREEZER - 533 S.F. (*EXEMPT)	= 0
TOTAL (NET): 2,954 S.F.	= 63 OCCUPANTS
TOTAL (GROSS): 3,054 S.F.	

*COOLER IS A NON OCCUPIABLE SPACE PER SECTION 202 DEFINITION OF AN OCCUPIABLE SPACE.

EXITS REQUIRED: 2
EXITS PROVIDED: 2

CONSTRUCTION FLOOR PLAN

A1.1



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KENT, WA 98032
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NO.	DATE	REVISION DESCRIPTION

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DEVELOPMENT INFORMATION:
ARCO NTI
3000 am/pm
FUEL CANOPY w/ 8 MPD's
24'x48' CAR WASH

SITE ADDRESS:
NWC LAUREL ROAD
EMPIRE AVENUE
OAKLEY, CALIFORNIA

FACILITY #TBD

DESIGNED BY:	ALLIANCE ZADM:
CHECKED BY:	BP REPM:
DRAWN BY:	ALLIANCE PM:
VERSION:	PROJECT NO:
	18299

DRAWING TITLE:
CONSTRUCTION FLOOR PLAN

SHEET NO:
CWA1.1

DOOR NOTES / HARDWARE

- (1) EQUIPMENT EXTERIOR DOOR:
- 1-1/2" PAIR FULL MORTISED STAINLESS STEEL BUTT HINGES (4-1/2"x4-1/2" NRP)
 - HEAVY DUTY OVERHEAD CLOSER, LCN 4040
 - KICK DOWN DOOR HOLDER, HAGER 270C S1
 - 12"x40" EXTERIOR STAINLESS STEEL KICK PLATE
 - 30"x40" INTERIOR STAINLESS STEEL KICK PLATE
 - LEVER HANDLE WITH KEY OUTSIDE AND PUSH BUTTON INSIDE LOCKSET (ANSI F82/SCHLAGE D50BD LESS CORE, RHODES LEVER 625, BEST CORE W/ 625 FINISH)

DOOR SCHEDULE

TYPE	SIZE	QTY	MFR/MODEL	MATERIAL	FRAME	RATING	HARDWARE	REMARKS
①	4'-0"x7'-0"x1-3/4"	1		18 GA. INSULATED METAL	16 GA. INSULATED METAL	N/A	1	DOOR AND FRAME FACTORY PRIMED

GENERAL NOTES

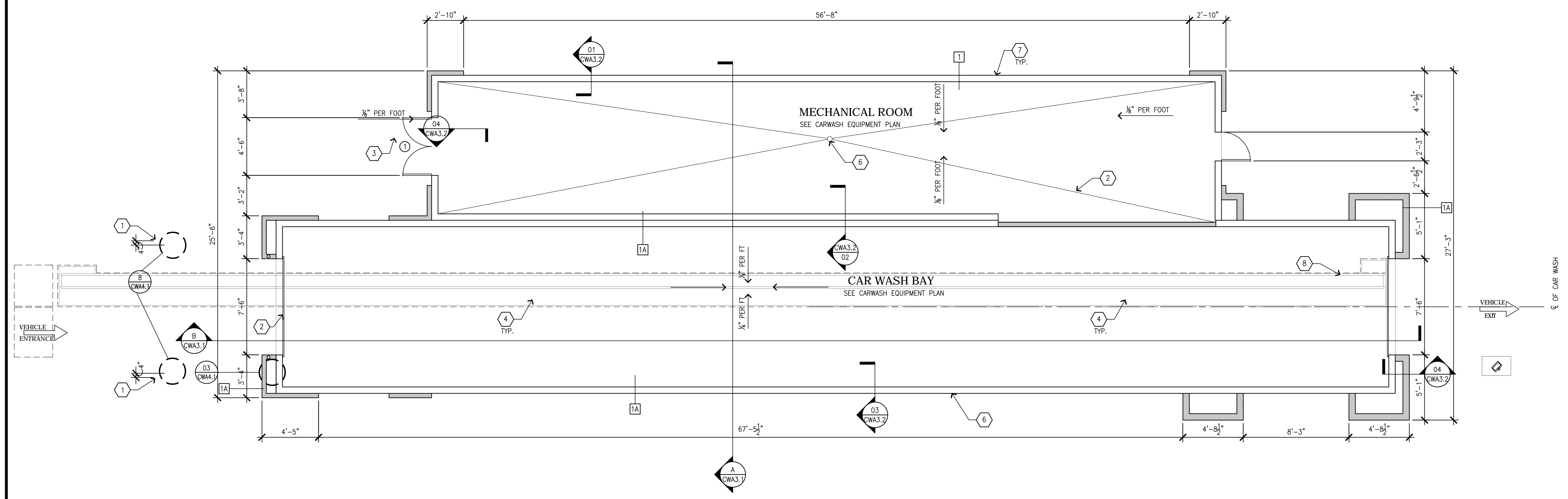
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 2x6, SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A:10B:C) SHALL BE INSTALLED AT CAR WASH BAY AND MECHANICAL ROOM. CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.

KEYED NOTES

- 4"ø x 48" HIGH BOLLARD FILLED WITH CONCRETE, REFER TO DETAIL 05/CWA4.2
- CAR WASH BAY DOOR, REFER TO EQUIPMENT SCHEDULE ON CWD1.1
- EQUIPMENT ROOM DOOR, REFER TO DOOR SCHEDULE
- DEPRESSED SLAB, REFER TO STRUCTURAL SLAB PLAN
- CATCH BASIN, REFER TO PLUMBING PLANS
- FLOOR DRAIN, REFER TO PLUMBING PLANS
- ROOF DRAINS, REFER TO PLUMBING PLANS
- TRENCH BY GC FOR UNDER CAR MANIFOLD, REFER TO EQUIPMENT & STRUCTURAL PLANS
- STEEL BOLTING WITH CAR WASH BAY WINDOWS SPECIFIED

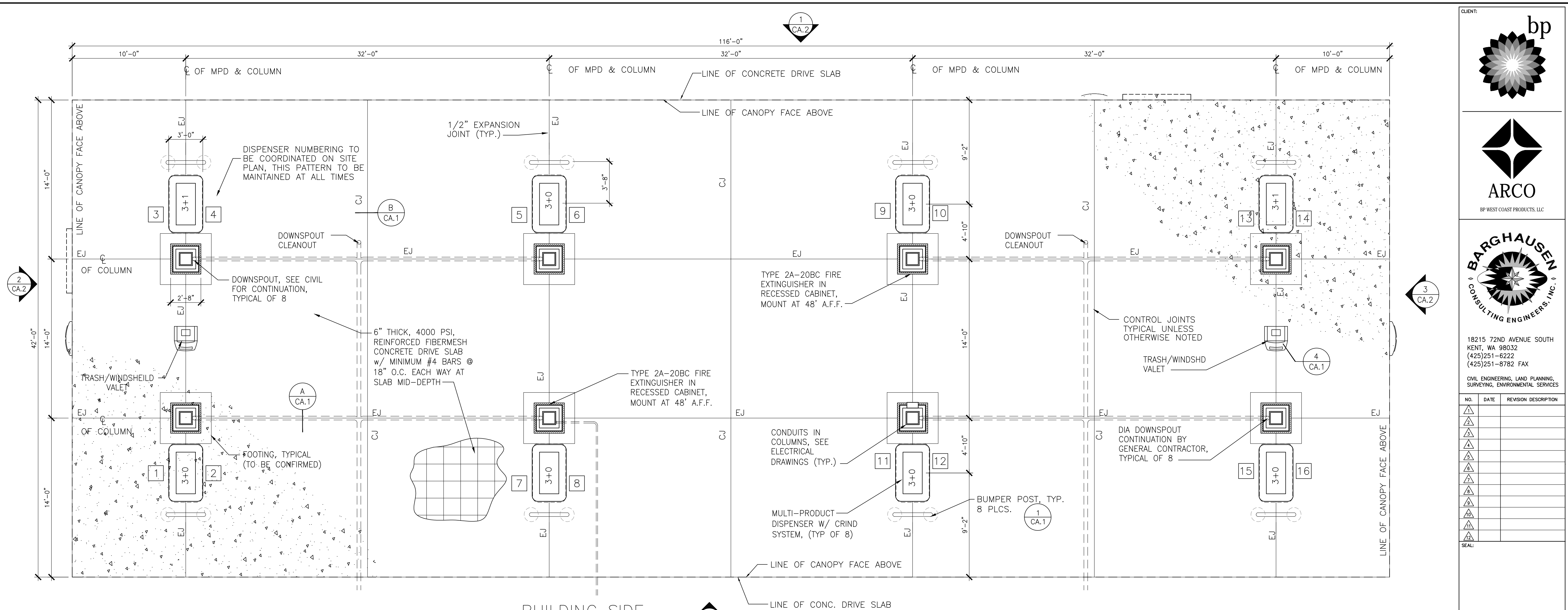
WALL LEGEND

- WOOD FRAMED WALL
- 1 2x6 STUDS @ 16"o.c.
- 1A 2x6 STUDS @ 16"o.c. W/ R-21 BATT INSULATION



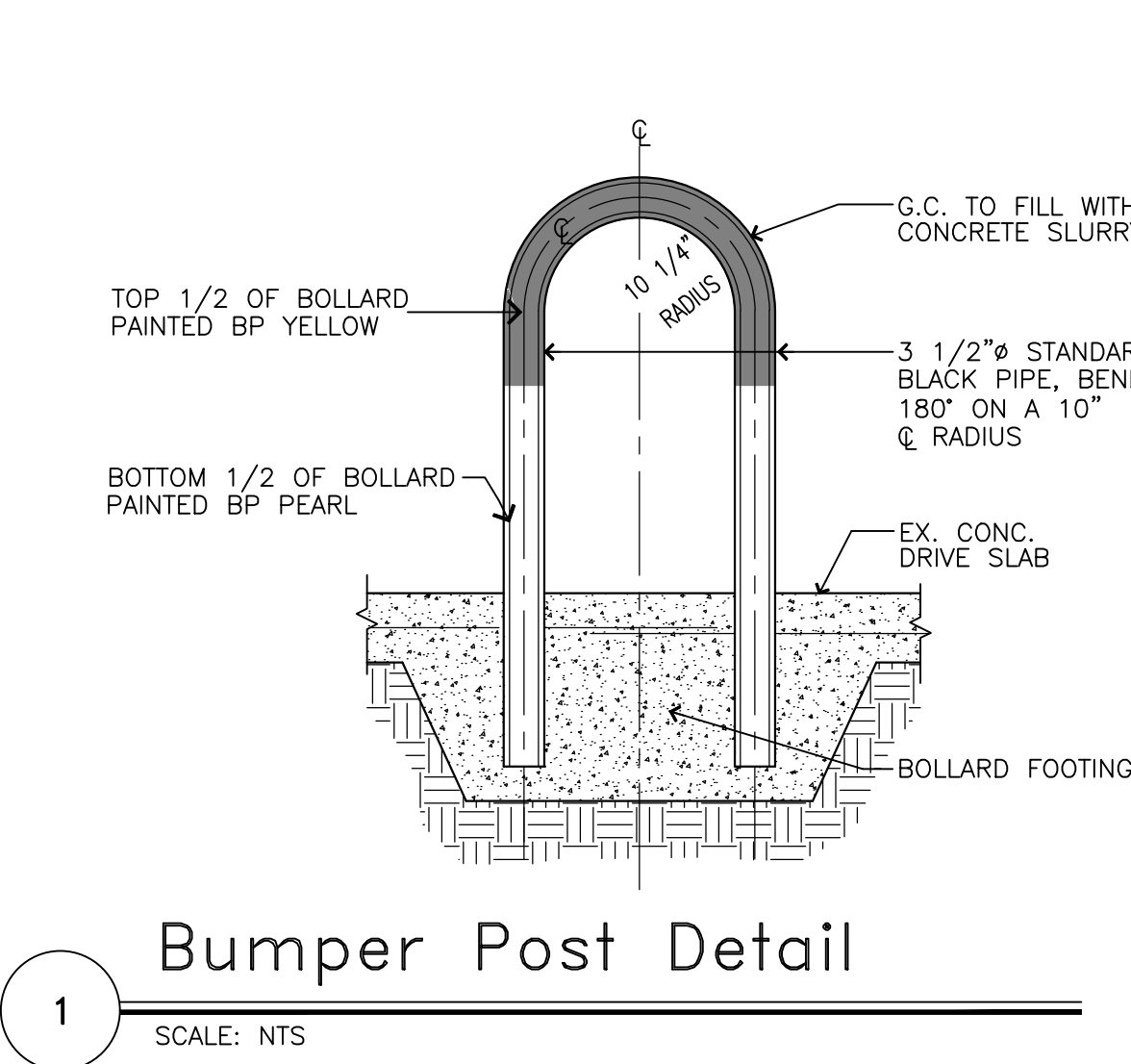
01 CONSTRUCTION FLOOR PLAN
SCALE: 3/16"=1'-0"

NOT FOR CONSTRUCTION

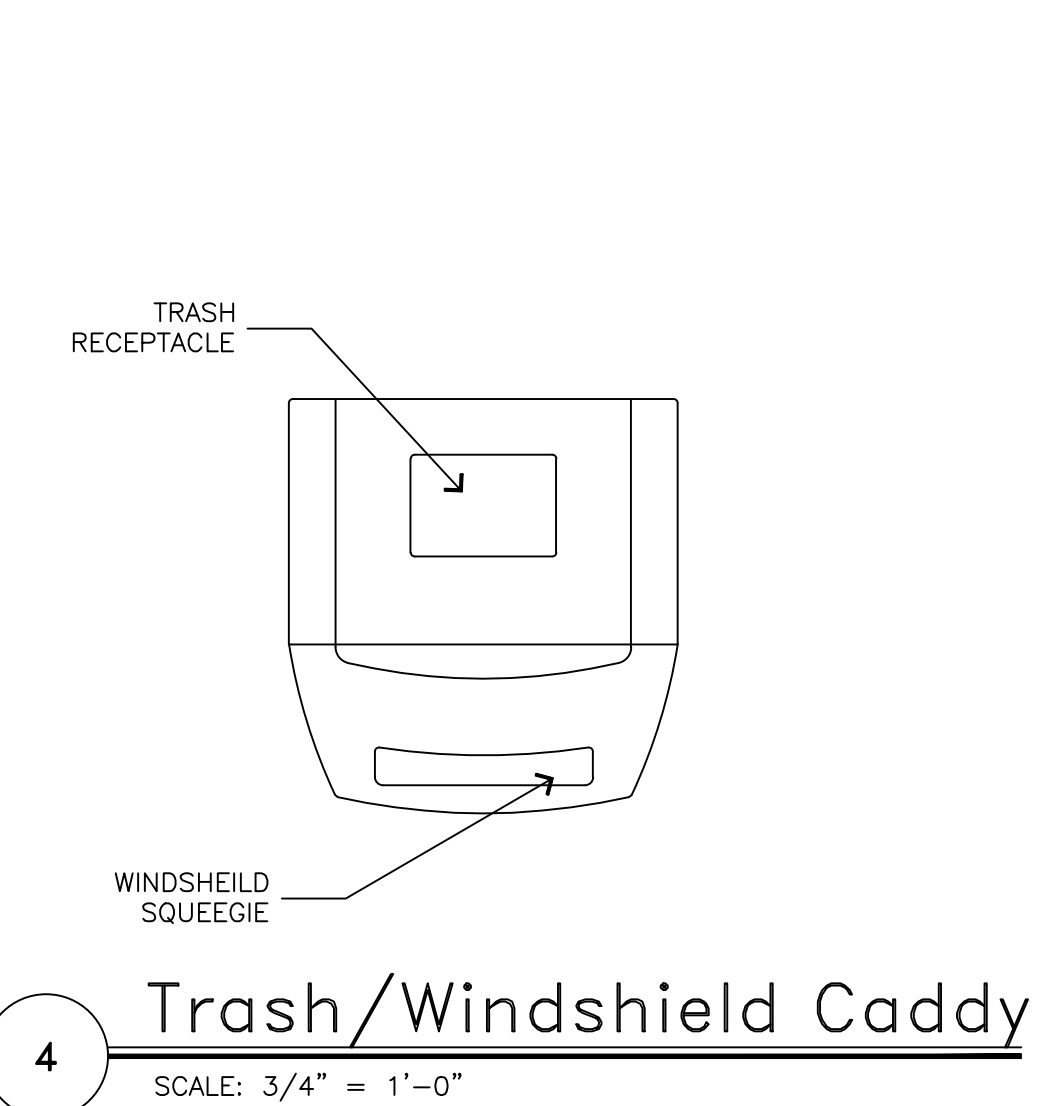


1 CANOPY SLAB PLAN
 SCALE: 1/4" = 1'-0"

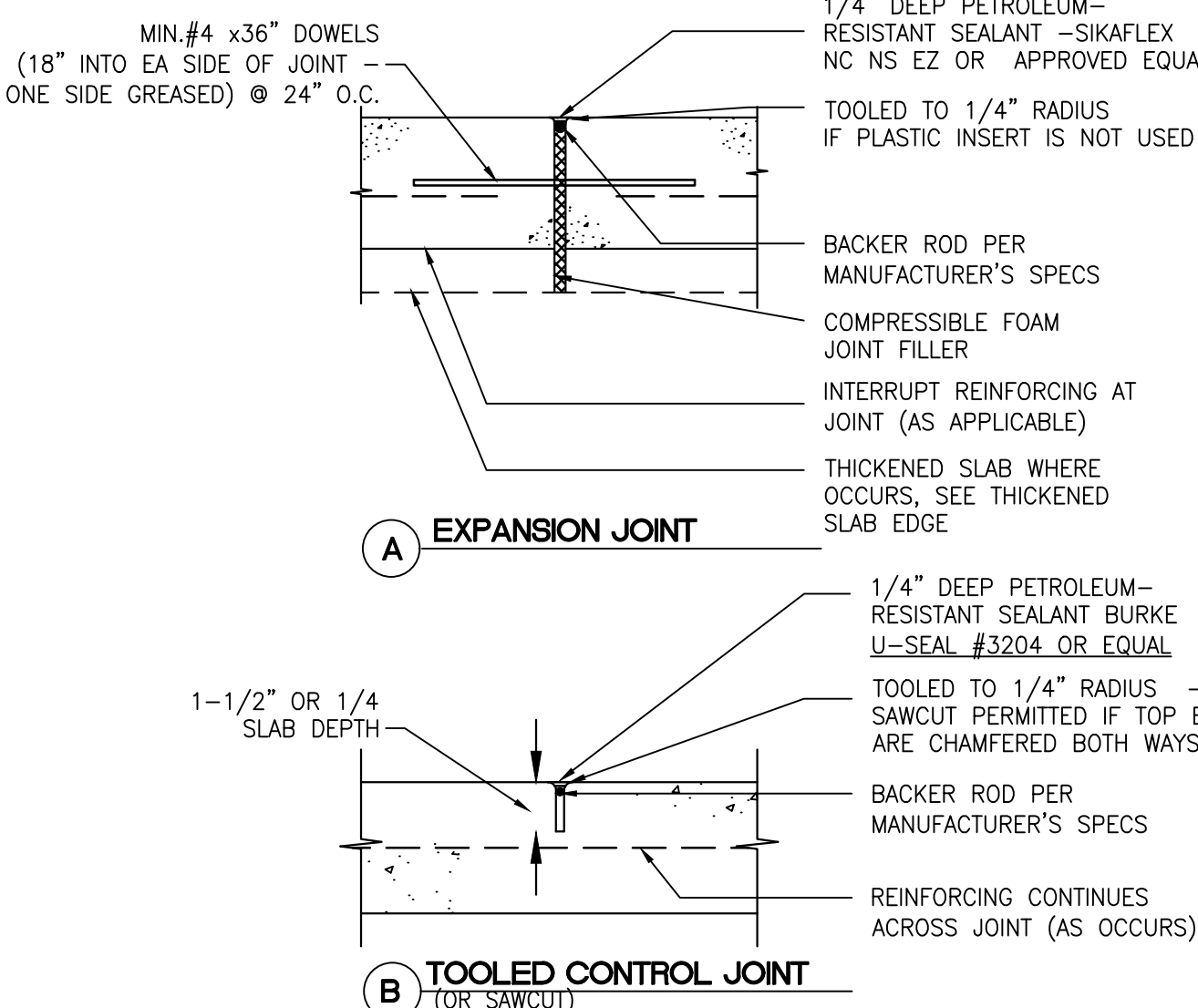
- Notes:**
1. DOWNSPOUTS ARE DESIGNED TO BE TIGHTLINED TO THE SITE'S UNDERGROUND STORM DRAINAGE SYSTEM.
 2. DRIVE SLAB SHALL BE 6" THICK REINFORCED CONCRETE w/ FIBERMESH ADDITIVE OVER 6" CRUSHED ROCK OR AS SPECIFIED IN SOILS REPORT. FINISH SHALL BE A MEDIUM BROOM PERPENDICULAR TO ISLAND LAYOUT w/ EXPANSION AND CONTROL JOINTS AS SHOWN.
 3. CANOPY CONTRACTOR SHALL PROVIDE DOWNSPOUTS AND CONDUITS FOR LIGHTING, SIGN, MUSIC SYSTEM, CCTV AND SOLAR IN COLUMNS WHERE SPECIFIED. COORDINATE WITH GENERAL CONTRACTOR FOR EXACT LOCATION OF CONDUITS, AND HAND HOLES PRIOR TO FABRICATION. SEE ELECTRICAL DRAWINGS.
 4. EACH PAIR OF ISLANDS HEIGHTS SHALL BE THE SAME.
 5. ISLAND FORMS SHALL BE PAINTED GREY.
 6. PAYMENT ISLAND CASHIER (P.I.C.) UNITS DEPICTED ARE GEN3 FRONT LOAD DOUBLE SIDED UNITS.
 7. SEE SHEET CA.3 AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND IN COLUMN ELECTRICAL CONDUIT AND LIGHTING INFORMATION.
 8. GRADE BREAKS AT CONCRETE DRIVE SLAB SHALL OCCUR WITHIN DRIPLINE OF CANOPY. SEE GRADING PLAN FOR SLAB DRAINAGE ISOLATION AND OIL/WATER SEPARATOR.



1 Bumper Post Detail
 SCALE: NTS



4 Trash/Windshield Caddy
 SCALE: 3/4" = 1'-0"



A EXPANSION JOINT
B TOOLED CONTROL JOINT (OR SAWCUT)

CLIENT: **bp**

ARCO
 BP WEST COAST PRODUCTS, LLC

BARGHAUSEN
 CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425)251-6222
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