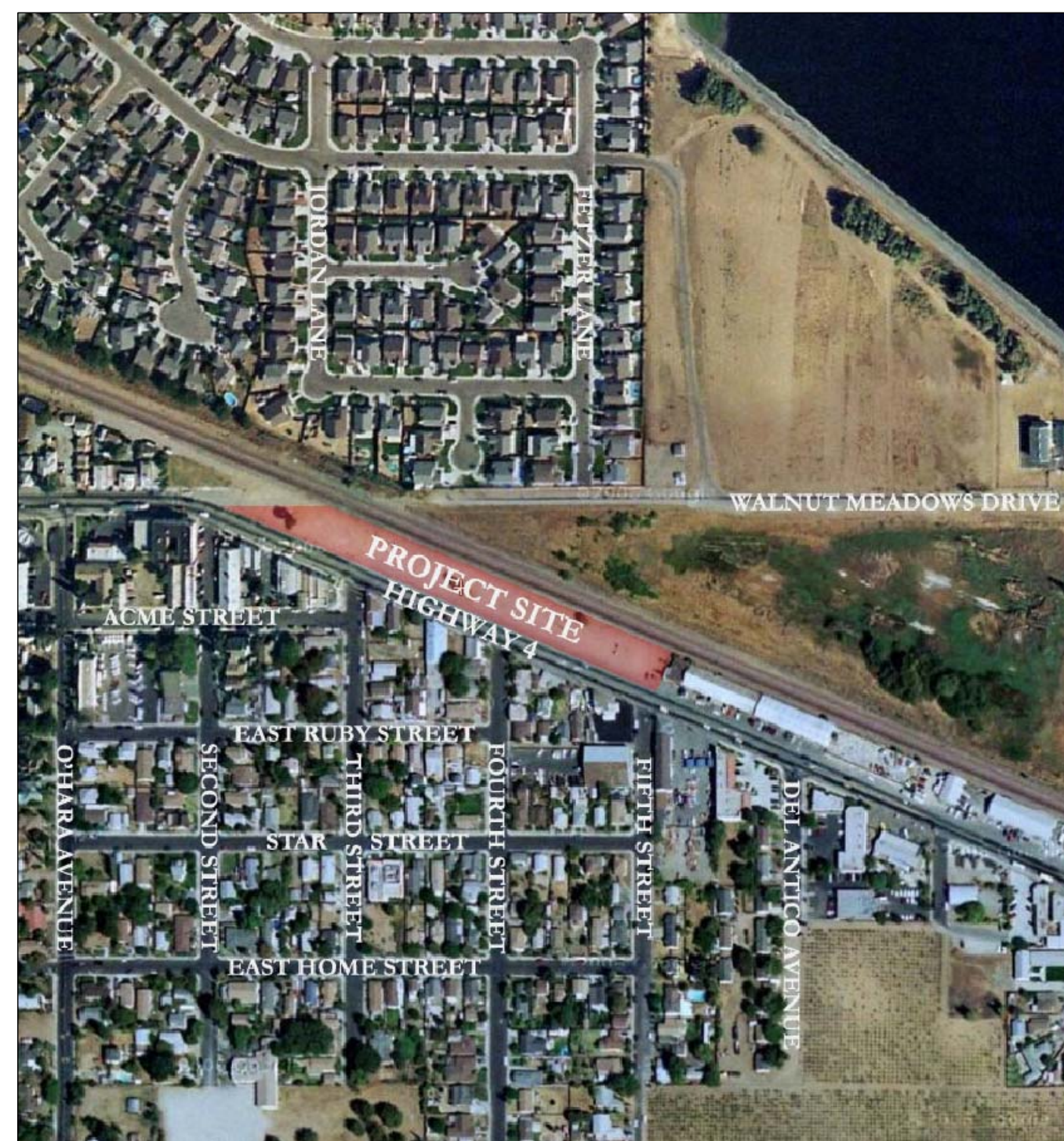
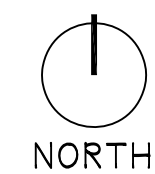




OAKLEY COMMERCIAL

OAKLEY, CALIFORNIA

VICINITY MAP



PROJECT DATA

APN #: 035-122-008, 035-164-002
LOCATION: MAIN STREET (HIGHWAY 4)
 OAKLEY, CA
GENERAL PLAN: DOWNTOWN COMMERCIAL
ZONING: REDEVELOPMENT AREA - PLANNED UNIT DISTRICT (P-1)

FIRST FLOOR (RETAIL)	= 20,067 G.S.F. ±
SECOND FLOOR (OFFICE)	= 19,934 G.S.F. ±
TOTAL	= 40,001 G.S.F. ±

ON-SITE PARKING	= 54 SPACES ±
PARALLEL PARKING	= 31 SPACES ±
TOTAL	= 85 SPACES ±

PARKING PROVIDED = 85 SPACES ± @ 2.12/1000 G.S.F.
TOTAL LOT AREA = 73,192 S.F.± (1.68 ACRES±)

PROJECT TEAM

APPLICANT

NATURE PROPERTIES L.L.C.
 108 BARBARA ROAD
 ORINDA, CA 94563
 PHONE: (925) 386-0093
 CELL: (925) 817-7762
 FAX: (925) 386-4036
 ATTN: FRED EZAZI

ARCHITECT

LOVING AND CAMPOS ARCHITECTS, INC.
 245 YGNACIO VALLEY ROAD, STE. 200
 WALNUT CREEK, CA 94596
 PHONE: (925) 944-1626
 FAX: (925) 944-1666
 ATTN: PETER STACKPOLE

CIVIL ENGINEER

LUK AND ASSOCIATES
 738 ALFRED NOBEL DRIVE
 HERCULES, CA 94547
 PHONE: (510) 724-3388
 FAX: (510) 724-3383
 ATTN: GEORGE LUK

LANDSCAPE ARCHITECT

THOMAS BAAK ASSOCIATES
 1620 N. MAIN STREET, SUITE 4
 WALNUT CREEK, CA 94596
 PHONE: (925) 933-2583
 FAX: (925) 933-0242
 ATTN: RICK STOVER

SHEET INDEX

COVER SHEET

- A-1 CONCEPTUAL SITE PLAN
- A-2 CONCEPTUAL FLOOR PLANS
- A-3 CONCEPTUAL ROOF PLAN AND CROSS SECTION
- A-4 CONCEPTUAL ELEVATIONS

- C-1 STORMWATER TREATMENT PLAN
- C-2 GRADING PLAN
- C-3 UTILITY PLAN
- C-4 DIMENSIONAL AND STRIPING PLAN

- L-1 PRELIMINARY LANDSCAPE PLAN
- L-2 PRELIMINARY LANDSCAPE PLAN



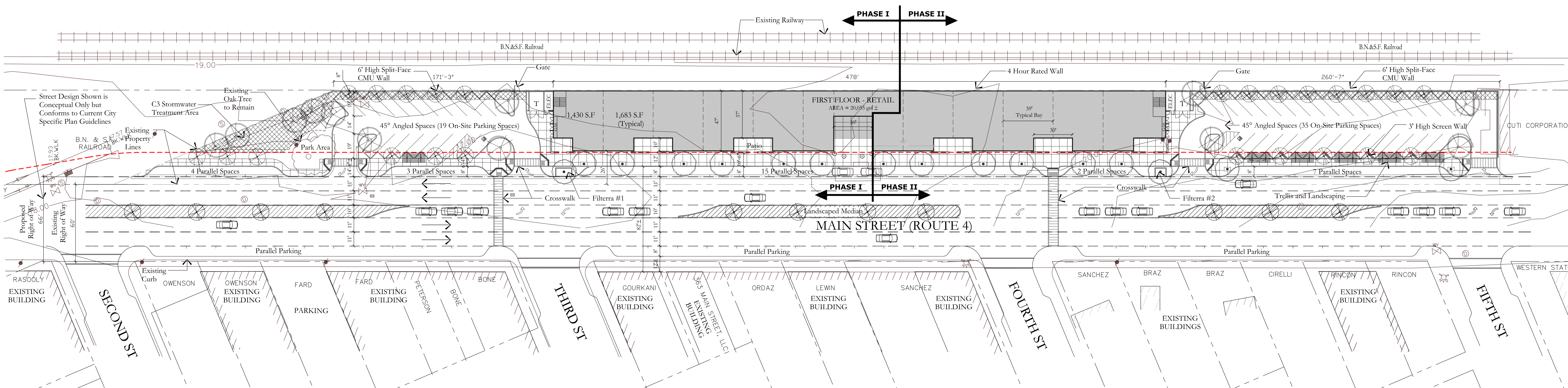
ISSUE	DATE
DESIGN REVIEW SUBMITTAL	06-03-08
REV. DESIGN REVIEW RESUBMITTAL	01-21-09
REV. DESIGN REVIEW RESUBMITTAL	02-19-08

SUMMARY:

FIRST FLOOR (RETAIL) = 20,067 G.S.F. ±
 SECOND FLOOR (OFFICE) = 19,934 G.S.F. ±
 TOTAL = 40,001 G.S.F. ±

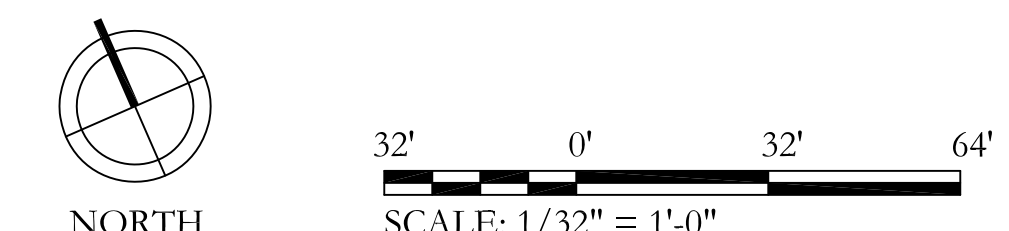
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 TOTAL = 85 SPACES ±

PARKING PROVIDED = 85 SPACES ± @ 2.12/1000 G.S.F.
 TOTAL LOT AREA = 73,192 S.F. ± (1.68 ACRES ±)



FOR SITE IMPROVEMENT PLANS REFER TO THE CITY OF OAKLEY SITE PLANS PREPARED BY BKF ENGINEERS

Conceptual Site Plan

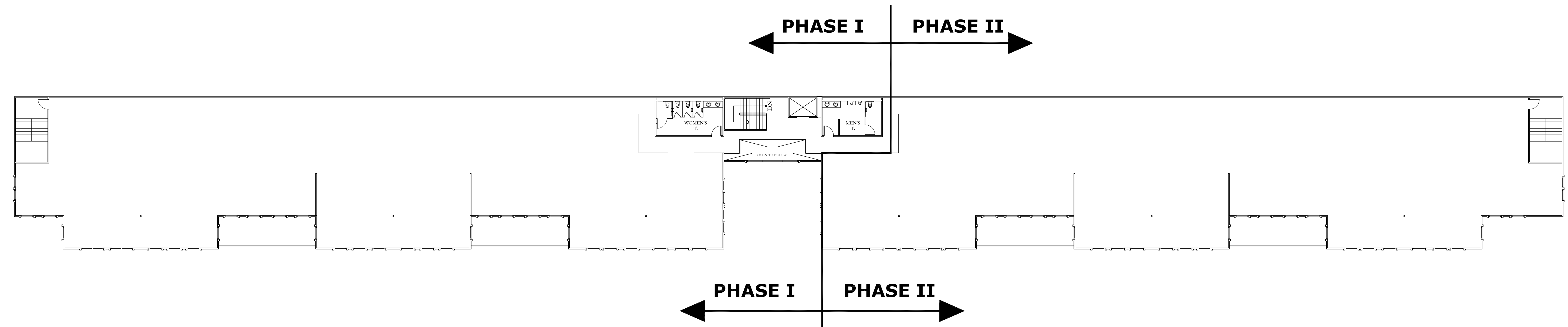


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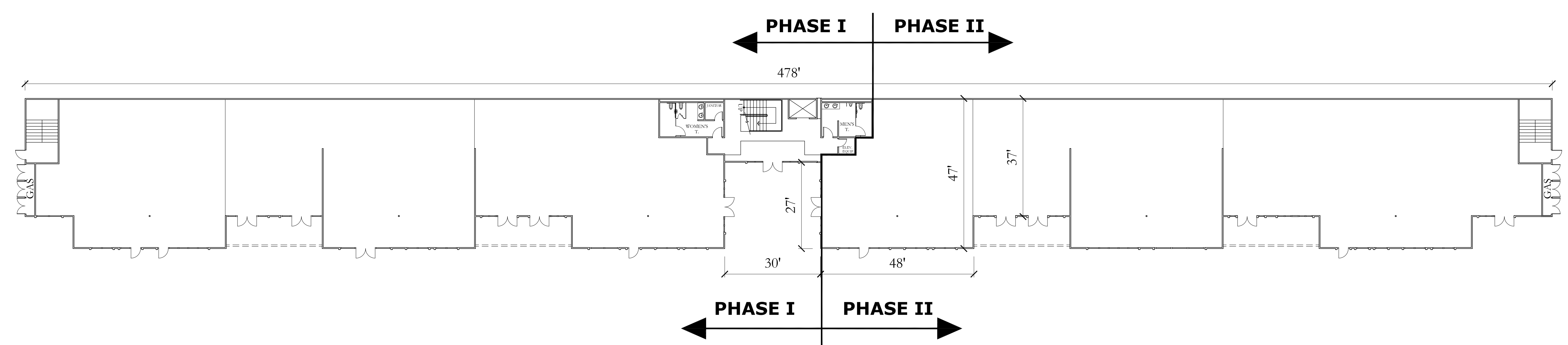
CONCEPTUAL SITE PLAN

SCALE: AS SHOWN
 DATE: 6 / 3 / 2008
 REVISIONS:
 1 / 21 / 2009
 2 / 19 / 2016

PROJECT NO. 04055
A-1
 SHEET OF

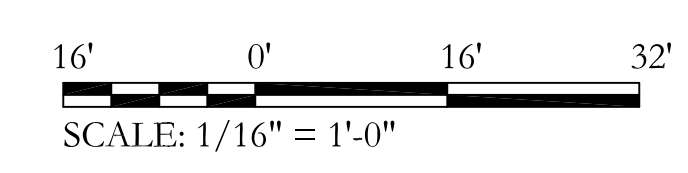
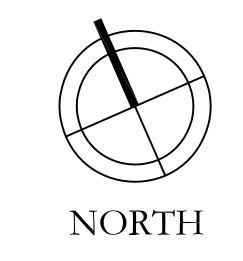


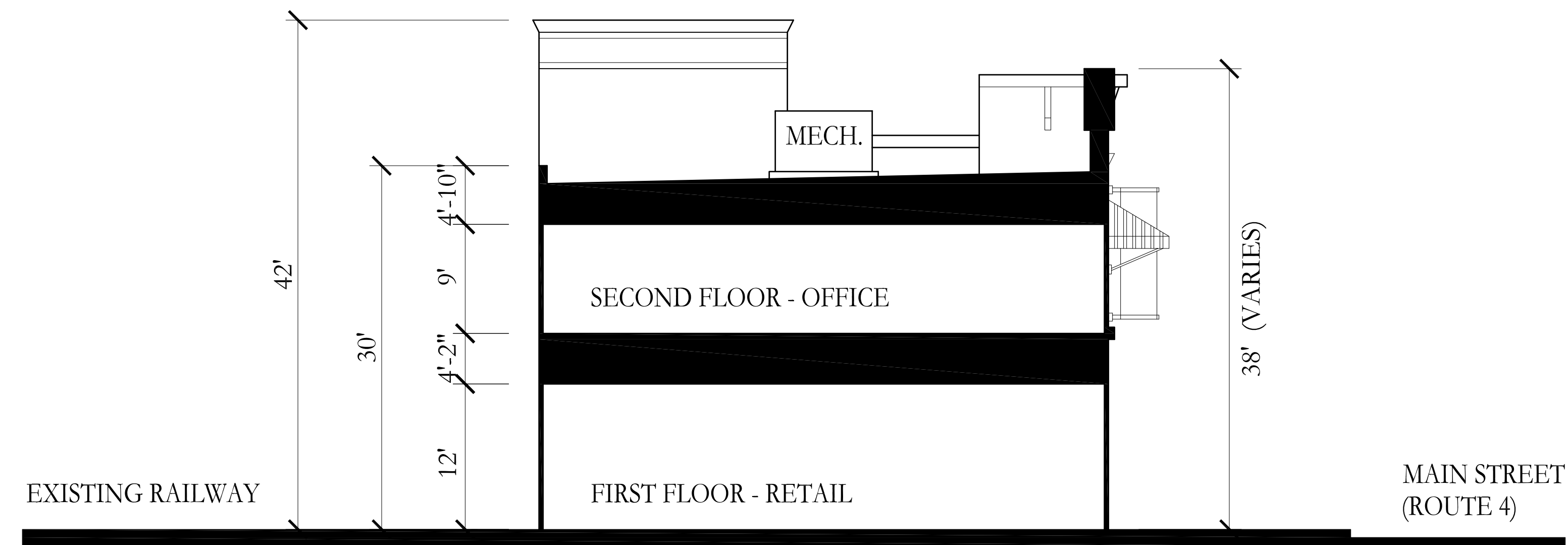
Second Floor Plan - Office



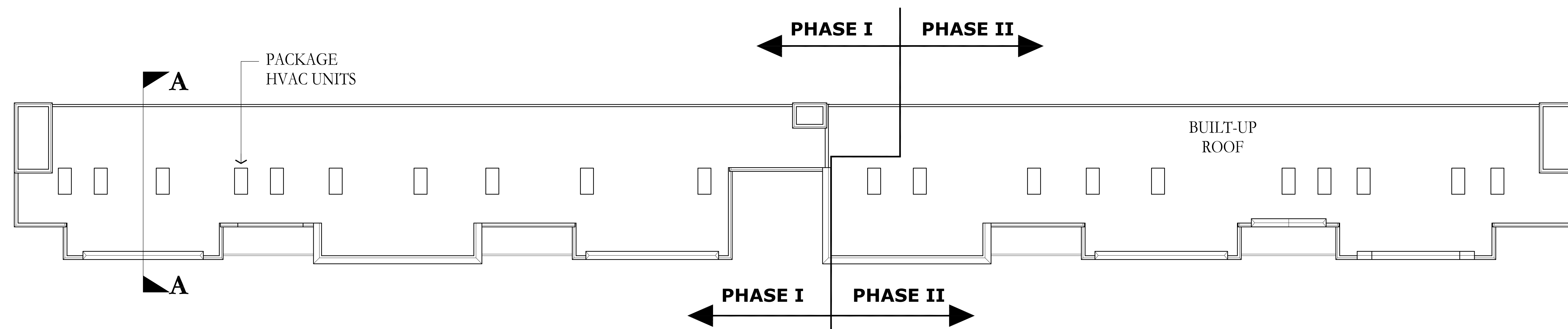
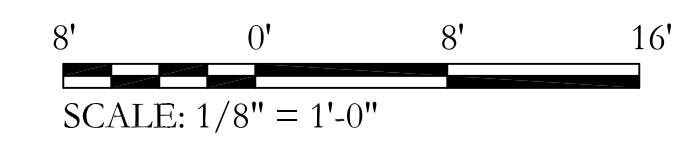
First Floor Plan - Retail

Conceptual Floor Plans

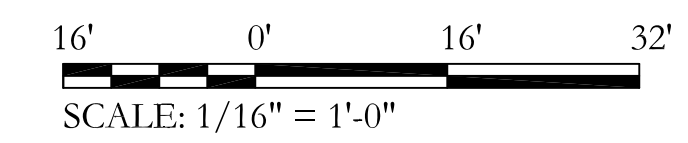
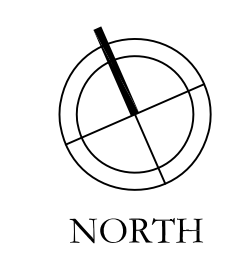




Section AA



Roof Plan

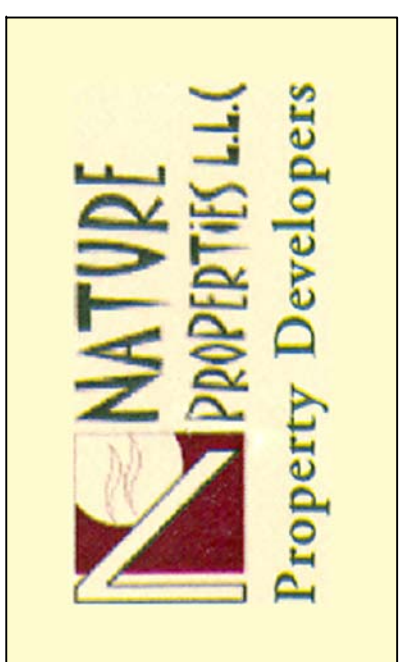


Conceptual Roof Plan and Section



WWW.LCA-ARCHITECTS.COM
 CARL E. CAMPOS
 DAVID BOGSTAD
 PETER STACKPOLE
 590 YONACIO VALLEY ROAD, SUITE 310
 WALNUT CREEK, CALIFORNIA 94596
 (925) 944-1625
 1975 BROADWAY, SUITE 600
 OAKLAND, CALIFORNIA 94612
 (510) 272-1000

OAKLEY COMMERCIAL
 Oakley, California

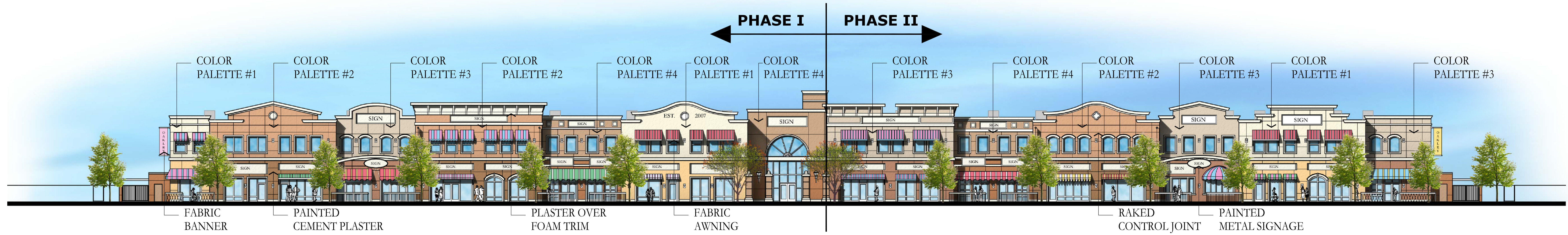


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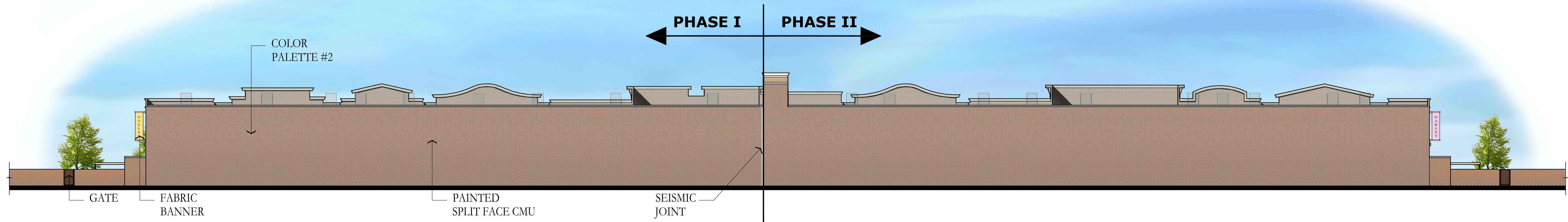
CONCEPTUAL
 ROOF PLAN
 AND SECTION

SCALE: AS SHOWN
 DATE: 6 / 3 / 2008
 REVISIONS:
 1 / 21 / 2009
 2 / 19 / 2016

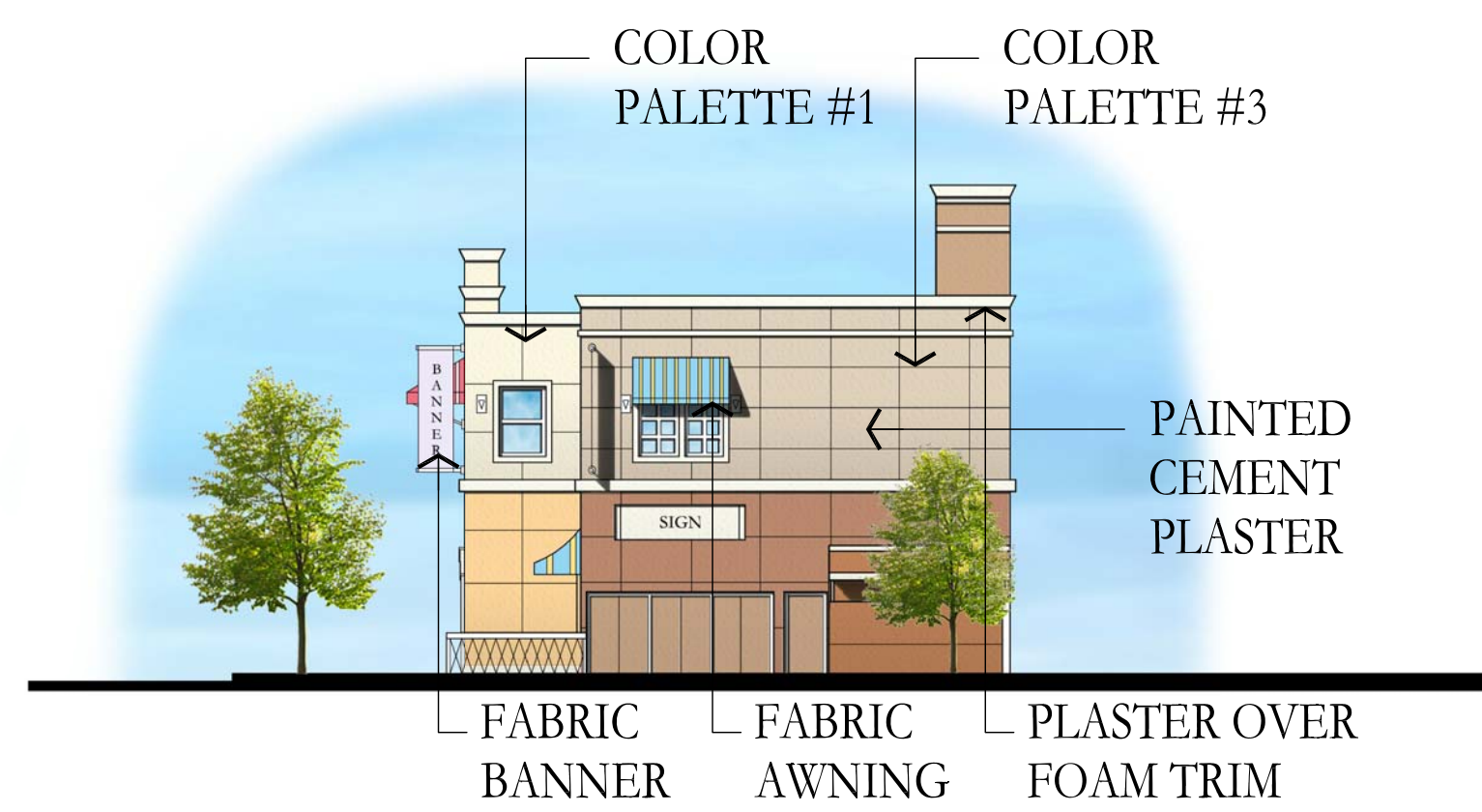
PROJECT NO. 04055
A-3
 SHEET OF



South Elevation



North Elevation



East Elevation



West Elevation

SCALE: 1/8" = 1'-0"

Conceptual Elevations

16' 0' 16' 32'
SCALE: 1/16" = 1'-0"



West Elevation

Conceptual Elevations

